

Appendix A

Glossary

Note: definitions for terms are also included in the Dictionary contained within the Growth Centres SEPP, and in the event of any inconsistency, the definition in the Growth Centres SEPP takes precedence over the definitions in this DCP.

“Access Streets and Laneways” provide local residential access to a small number of dwellings and serve a shared vehicular-pedestrian-cyclist use. They are intended to encourage a safe, low vehicle speed environment in which the residential function is dominant. Access streets function at the lowest level of the road hierarchy. They generally have development on one side and are located along drainage or open space reserves or along access-denied roads. The construction and dedication of access streets is the responsibility of the developer.

“Articulation zone” includes verandahs, porches, awnings, shading devices, bay windows, pergolas and the like. A carport is not considered part of the articulation zone.

“Active Frontages” are defined as one or a combination of the following:

- entrance to retail;
- shop front;
- glazed entries to commercial and residential lobbies;
- café or restaurant if accompanied by an entry from the street;
- active office uses, such as reception, if visible from the street; and
- public building if accompanied by an entry.

Note: In some instances active frontages may be indicated in residential areas. In these circumstances, the active frontage indicates that the dwelling should be designed to orient building entries, living rooms and glazing towards the active frontage.

“Attic” means a room within the main roof space of a building that has a 1.5m minimum wall height at edge of the room, a minimum 30 degree ceiling slope and does not incorporate or access a balcony.

“Attached dwellings” are defined in the Dictionary to the Growth Centres SEPP and comprise 3 or more dwellings on separate allotments that are joined by at least one common wall. An example layout for attached dwellings is at **Figure 1**.

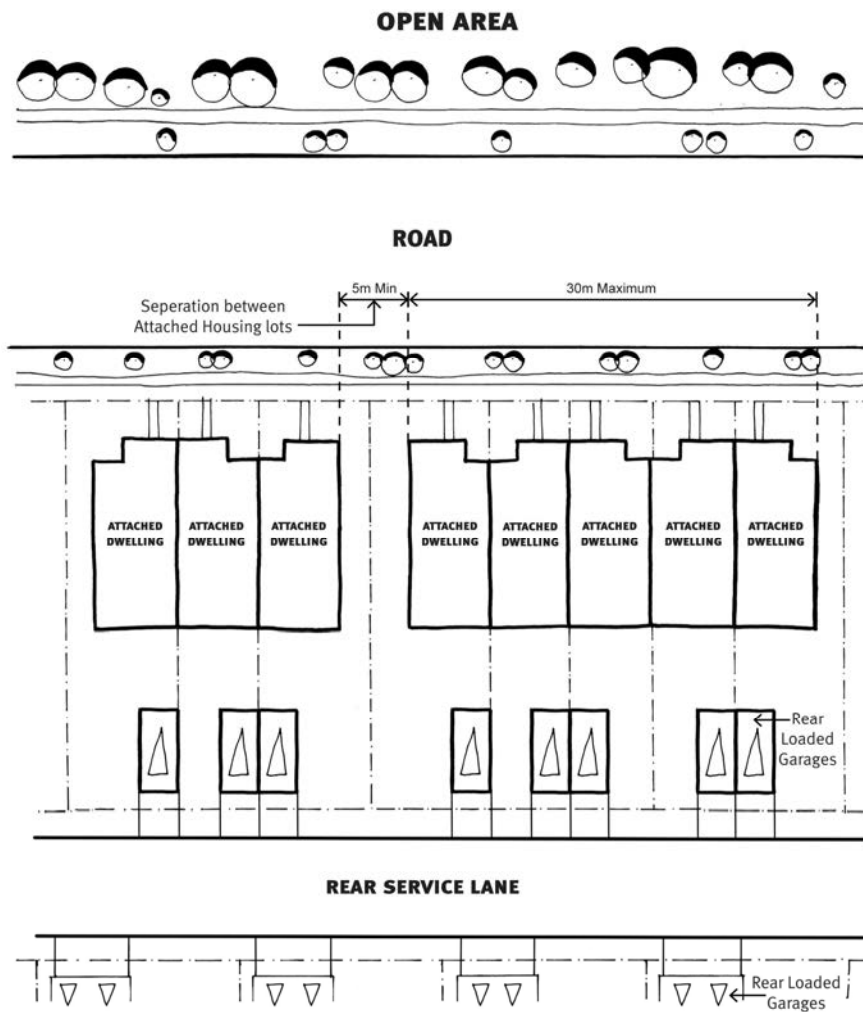


Figure 1: Attached Dwellings

“**Arterial roads**” are roads marked as such on the **Precinct Road Hierarchy** figure in the relevant Precinct Schedule. They are major roads that carry the majority of inter-regional traffic. Vehicular access from adjacent land is denied to ensure both the efficiency of the road and the safety of road users.

“**Building footprint**” means the area of land measured at finished ground level that is enclosed by the external walls of a building.

“**Camden Growth Centre Precinct Plan**” means Appendix 9 to *State Environmental Planning Policy (Sydney Region Growth Centres) 2006*.

“**Collector roads**” are roads marked as such on the **Precinct Road Hierarchy** figure in the relevant Precinct Schedule. They are the main internal roads that carry local traffic through the residential neighbourhoods to the sub-arterial and arterial roads, and provide access to major attractors within the precinct such as retail, commercial and educational facilities.

Dual Occupancy is defined in the Dictionary to the Growth Centres SEPP. A dual occupancy comprises two dwellings on a single allotment of land (which may or may not be strata subdivided). The dwellings may be attached to each other or separate.

Dual occupancy housing includes:

- the alteration or addition to an existing dwelling-house erected on an allotment so as to create two dwellings;
- the erection of another detached dwelling-house in addition to one already erected on an allotment, but only if not more than two dwellings will be created as a result of the development being carried out;
- the erection of a single building containing two dwellings on one allotment.
- the erection of two detached dwellings on one allotment.

In each example above, the dwellings may or may not be strata subdivided. See **Figure 3**.

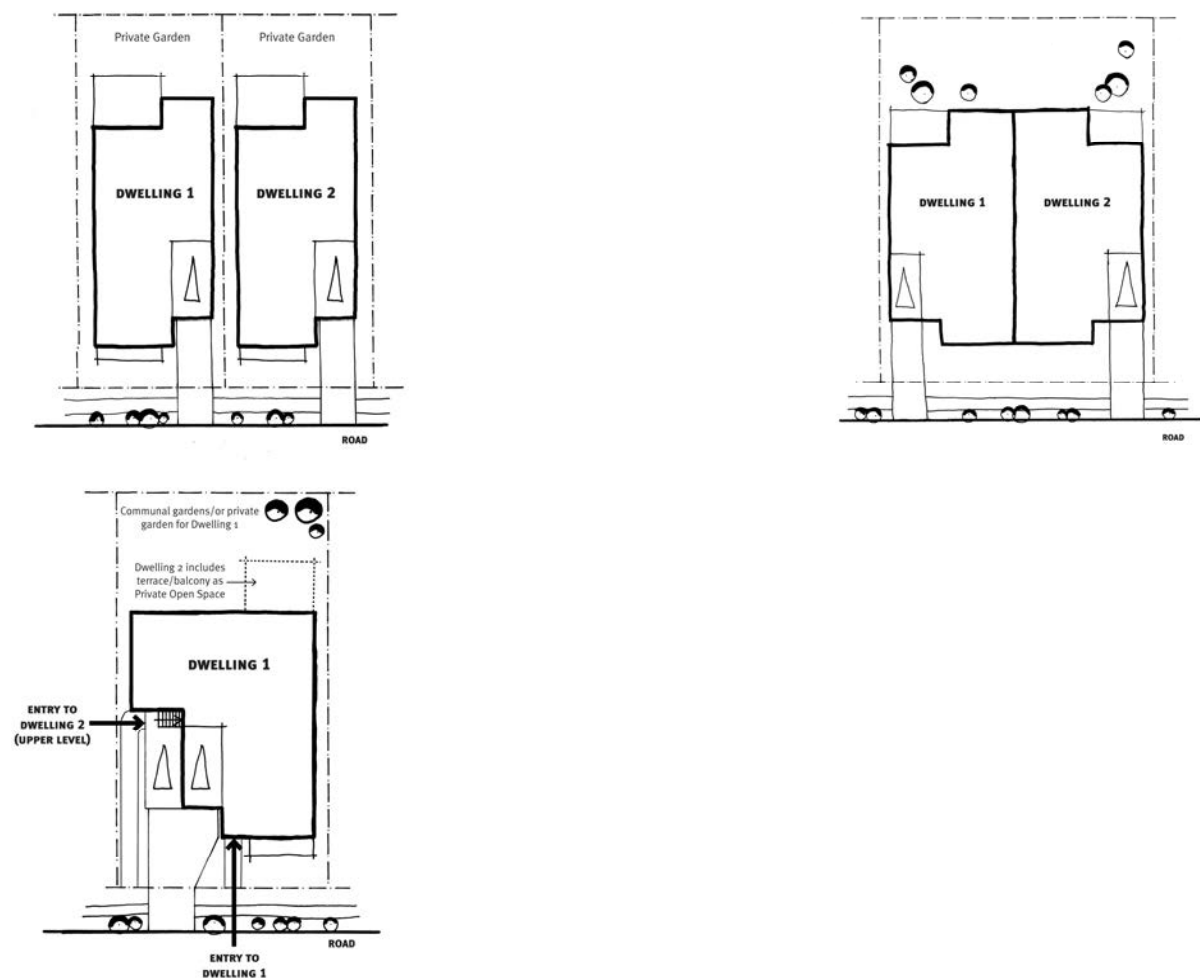


Figure 2: Dual Occupancy Dwellings – detached; attached; two storey

“Dual Occupancy – Lifehouse Dwellings” - The life house is a housing initiative that is designed to facilitate the

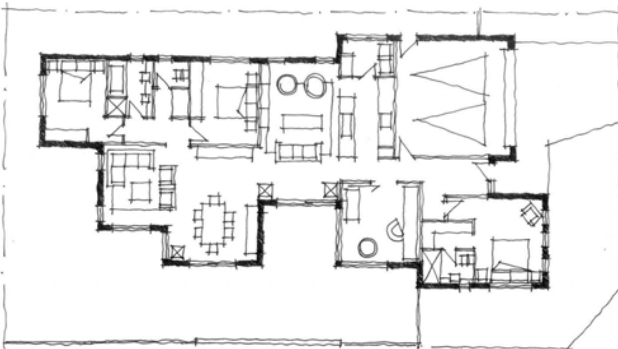
changing lifestyle needs of the home buyer. When built, the Lifehouse can respond to the current need of the resident. In time, as the residents' needs change, the dwelling can grow/downsize according to their needs, without them having to go through the expense of relocating. See **Figure 4**.

Lifehouse dwellings:

- can only occur on corner lots or lots with a rear lane and sufficient frontage width to allow a front-loaded garage, so that separate vehicle and pedestrian access will be possible to each dwelling;
- can be built on a single level, on split level or as two storey dwellings. The development of Stage 2 must comply with separation controls nominated in Australian Standards and the National Construction Code, enabling the final dual occupancy division of Stage 3 to progress without major works.
- must have all stages of the development designed and approved as part of the initial DA regardless of the proposed staging of construction and subdivision.



Phase 1: establish the home



Phase 2: grow to suit occupant



Phase 3: downsize and strata subdivide to suit occupant (Optional)

Figure 3: Lifehouse Dwelling (single level)

“**Dwelling House**” is a building containing one dwelling, on a single block of land. An example of a dwelling house is at **Figure 2**.

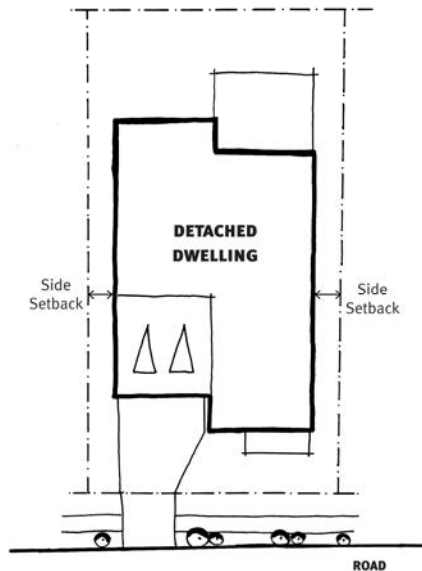


Figure 4: Dwelling house

“**Flood Planning Levels (FPLs)**” are the combinations of flood levels (derived from significant historical flood events or floods of specific AEPs) and freeboards selected for floodplain risk management purposes, as determined in management studies and incorporated in management plans. Flood planning area is the area of land below the FPL and thus subject to flood related development controls. The concept of flood planning area generally supersedes the ‘flood liable land’ concept in the 1986 Manual. Flood Prone Land is land susceptible to flooding by the PMF event. Flood Prone Land is synonymous with flood liable land.

“**Green roof**” is space which is not occupied by structures housing plant, equipment or stairway accesses. The green roof includes a vegetated layer, growing medium, and a waterproof membrane. Potted plants/planter boxes are acceptable as green roofs as long as they provide the minimum 30 per cent requirement of rooftop area as vegetation cover. In addition to the minimum 30 per cent vegetation cover, a green roof can include facilities for renewable energy, water collection infrastructure, walkways, furnishings, and the like.

“**Habitable room**” means any room or area used for normal domestic activities, including living, dining, family, lounge, bedrooms, study, kitchen, sun room, home entertainment room, alfresco room and play room.

“**Non-habitable**” room spaces of a specialised nature not occupied frequently or for extended periods, including bathrooms, toilets, pantries, walk-in wardrobes, corridors, lobbies, photographic darkrooms and clothes drying rooms.

“**Liverpool Growth Centre Precinct Plan**” means Appendix 8 to *State Environmental Planning Policy (Sydney Region Growth Centres) 2006*.

“**Landscaped area**” means any part of a site, at ground level, that is permeable and consists of soft landscaping, turf or planted areas and the like. It does not include driveways, parking areas, hard paved drying yards or other service areas, swimming pools, tennis courts, undercroft areas, roofed areas (excluding eaves <450mm to fascia board), outdoor rooms, balconies, rooftop gardens, terraces, decks, verandahs and the like.

“**Local roads**” are roads marked as such on the **Precinct Road Hierarchy** figure in the relevant Precinct Schedule. The function of the subdivisional roads, which may include minor loop roads and culs-de-dac, is to provide access to residential properties.

“**Outdoor room**”, also known as an ‘alfresco room’ is a semi enclosed space (at least 1 side open) located adjacent a living / dining / kitchen area of a dwelling that sits within the main roof line of a dwelling.

“**Principal dwelling**” means the largest dwelling house on a lot, measured by gross floor area.

“**Principal private open space**” means the portion of private open space which is conveniently accessible from a living zone of the dwelling, and which receives the required amount of solar access.

“**Private open space**” means the portion of private land which serves as an extension of the dwelling to provide space for relaxation, dining, entertainment and recreation. It includes an outdoor room.

“**Riparian Corridor**” means the riparian protection area as shown on the Riparian Protection Areas map under the Growth Centres SEPP.

“**Secondary Dwellings**” - Secondary dwellings are defined in the Dictionary to the Growth Centres SEPP. They are dwellings that are on the same parcel of land as another dwelling, but are separate to the principle dwelling, have a separate access and have a maximum internal floor area as specified in the Precinct Plan.

Secondary dwellings must form a part of the DA submission for the main dwelling. A secondary dwelling that has its own separate access and parking can be strata subdivided at the time of DA approval or after the dwelling has been established.

Types of secondary dwelling:

- On grade studio unit (at ground level – See **Figures 5 and 7**) within the principle dwelling lot. This is only permitted within detached dwelling lots;
- Above garage studio units (See **Figures 6, 8 and 9**). This is only permitted on lots that have garages with rear access.
- A Type 1 Secondary Dwelling is one that is not strata subdivided from the principle dwelling.
- A Type 2 Secondary Dwelling is one that is, or is capable of being, strata subdivided from the principle dwelling.

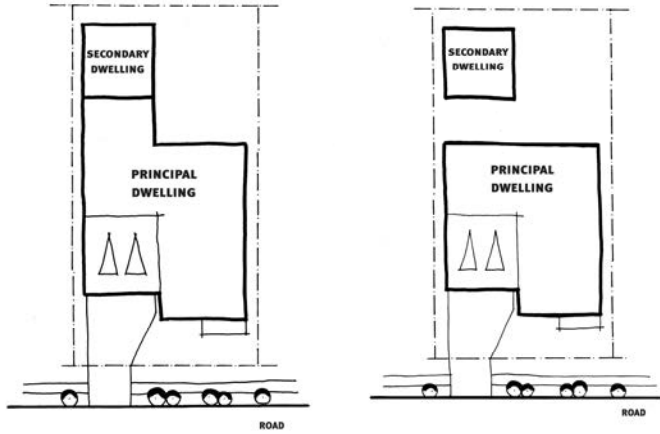


Figure 5: Secondary Dwelling (at ground level)

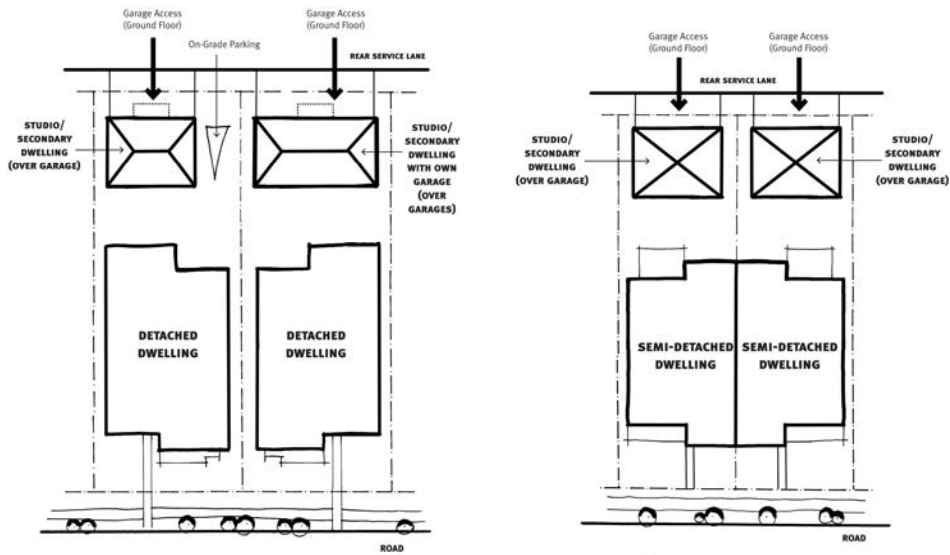


Figure 6: Secondary Dwelling (above garages)

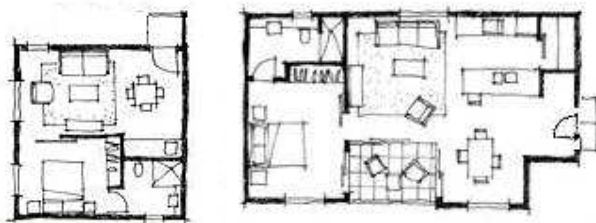


Figure 7: Indicative examples of Type 1 Studios – on ground level

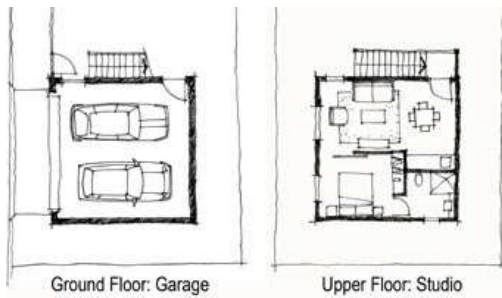


Figure 8: Indicative example of a secondary dwelling above a garage (Type 1 not strata subdivided)

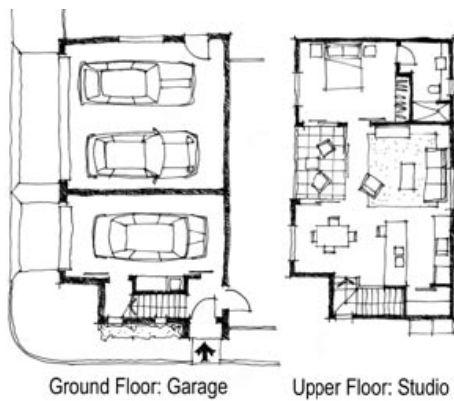


Figure 9: Indicative example of a secondary dwelling above a garage (Type 2 strata subdivided)

“**Semi-detached dwellings**” is defined in the Dictionary to the Growth Centres SEPP. They comprise two dwellings that share one common wall. Whilst their internal layout may be identical and their external appearance should have continuance of material and style, the external appearance of the two dwellings should not be identical. They should combine to appear as one large house by having varied façade treatment and articulation. Refer to **Figure 10**.

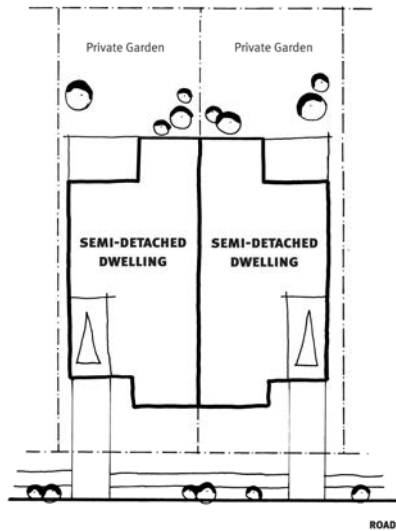


Figure 10: Semi-Detached Dwelling

“**Sub-arterial roads**” are roads marked as such on the **Precinct Road Hierarchy** figure in the relevant Precinct Schedule. Sub-arterial roads link regional and local traffic routes. Access from private properties is generally denied to these roads (except in special circumstances) for reasons of traffic safety and to maintain the capacity and efficiency of the road system. Council is normally responsible for the acquisition and construction of sub-arterial roads.

“**Town Centre Streets**” are roads marked as such on the **Precinct Road Hierarchy** figure or elsewhere in the relevant Precinct Schedule. They are specially designed to create a pleasant and comfortable pedestrian environment. Amenity and safety is to be maintained through wide shaded footpaths, traffic calming measures and pedestrian crossings.

“**Walking Distance**” is typically 400m or a 5 minute walk from a local destination or bus stop, or 800m or a 10 minute walk from a train station.