

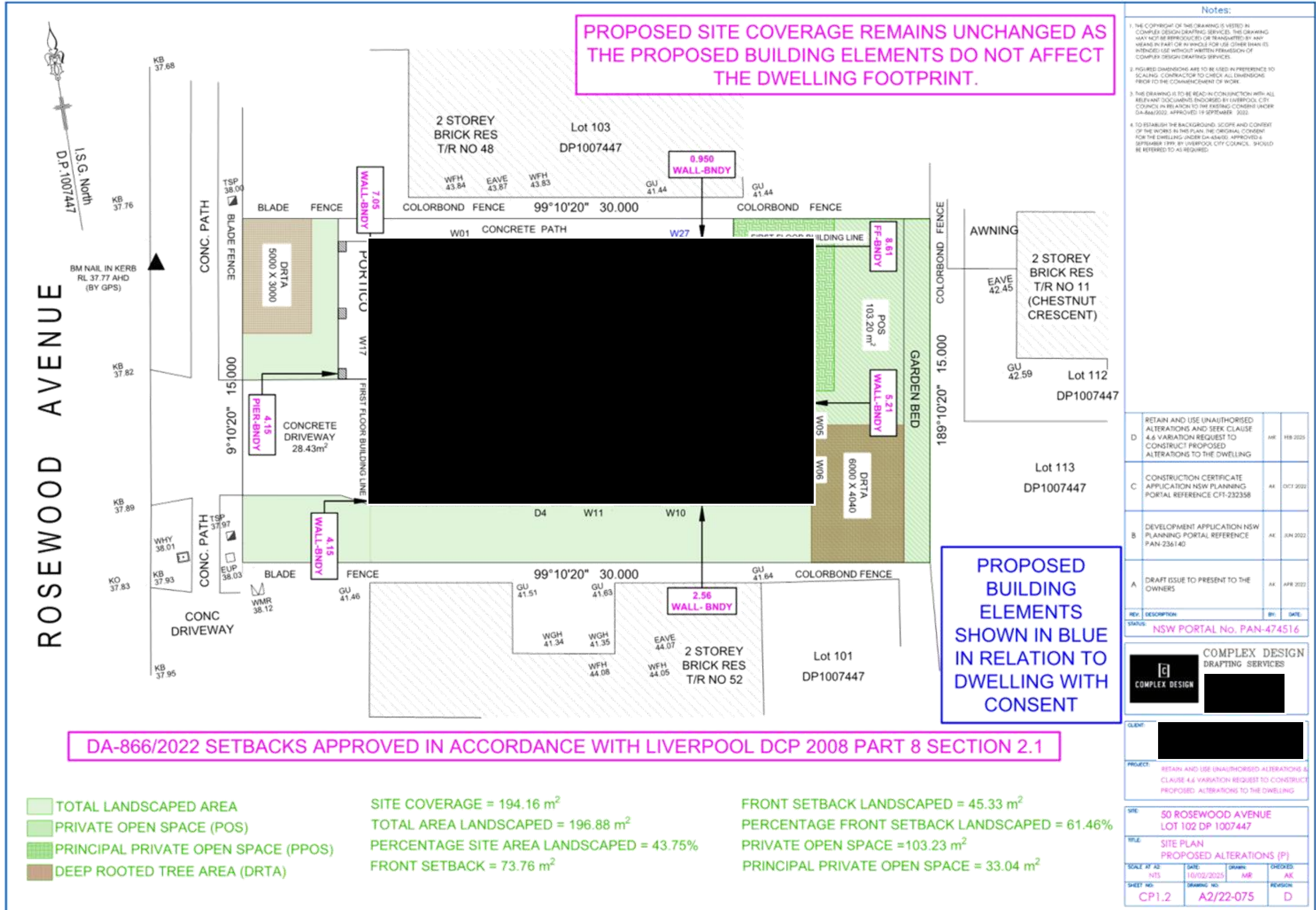
ATTACHMENT BOOKLET

LOCAL PLANNING PANEL MEETING
31 MARCH 2025

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4. TO ESTABLISH THE BACKGROUND, SCOPE AND CONTEXT OF THE WORKS IN THIS PLAN, THE ORIGINAL CONSENT FOR THE DWELLING UNDER DA-454/00, APPROVED 6 SEPTEMBER 1999, BY LIVERPOOL CITY COUNCIL, SHOULD BE REFERRED TO AS REQUIRED.

REV	DESCRIPTION	BY	DATE
D	RETAIN AND USE UNAUTHORISED ALTERATIONS AND SEEK CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING	MR	FEB 2025
C	CONSTRUCTION CERTIFICATE APPLICATION NSW PLANNING PORTAL REFERENCE CFI-232358	AK	OCT 2022
B	DEVELOPMENT APPLICATION NSW PLANNING PORTAL REFERENCE PAN-236140	AK	JUN 2022
A	DRAFT ISSUE TO PRESENT TO THE OWNERS	AK	APR 2022

STATUS: NSW PORTAL No. PAN-474516

COMPLEX DESIGN DRAFTING SERVICES

COMPLEX DESIGN

CLIENT: [REDACTED]

PROJECT: RETAIN AND USE UNAUTHORISED ALTERATIONS & CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING

SITE: 50 ROSEWOOD AVENUE
LOT 102 DP 1007447

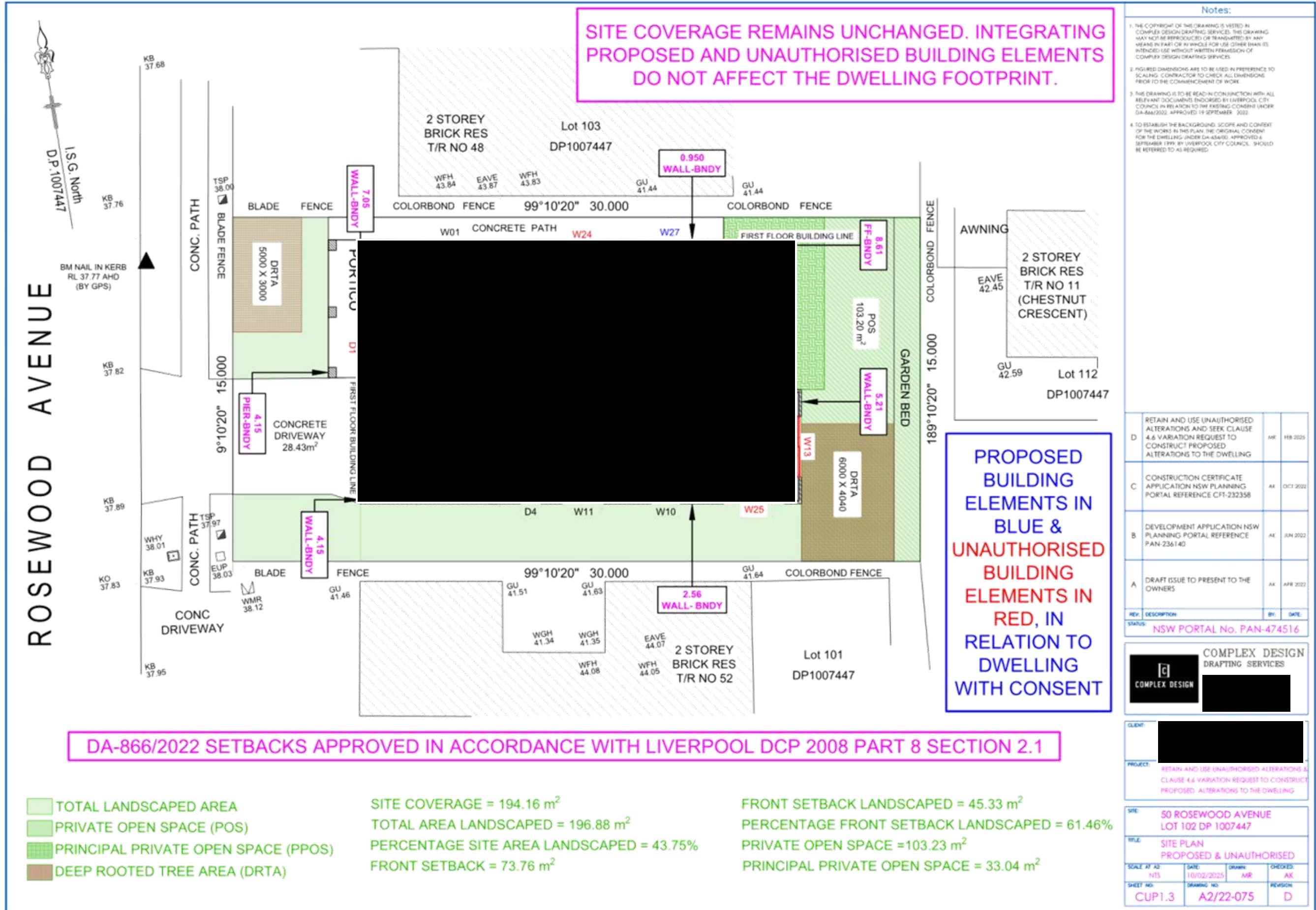
TITLE: SITE PLAN
PROPOSED ALTERATIONS (P)

SCALE AT A2	DATE	DRAWN	CHECKED
NTS	10/02/2025	MR	AK
SHEET NO.	DRAWING NO.	REVISION	
CP1.2	A2/22-075	D	

- TOTAL LANDSCAPED AREA
- PRIVATE OPEN SPACE (POS)
- PRINCIPAL PRIVATE OPEN SPACE (PPOS)
- DEEP ROOTED TREE AREA (DRTA)

SITE COVERAGE = 194.16 m²
 TOTAL AREA LANDSCAPED = 196.88 m²
 PERCENTAGE SITE AREA LANDSCAPED = 43.75%
 FRONT SETBACK = 73.76 m²

FRONT SETBACK LANDSCAPED = 45.33 m²
 PERCENTAGE FRONT SETBACK LANDSCAPED = 61.46%
 PRIVATE OPEN SPACE = 103.23 m²
 PRINCIPAL PRIVATE OPEN SPACE = 33.04 m²



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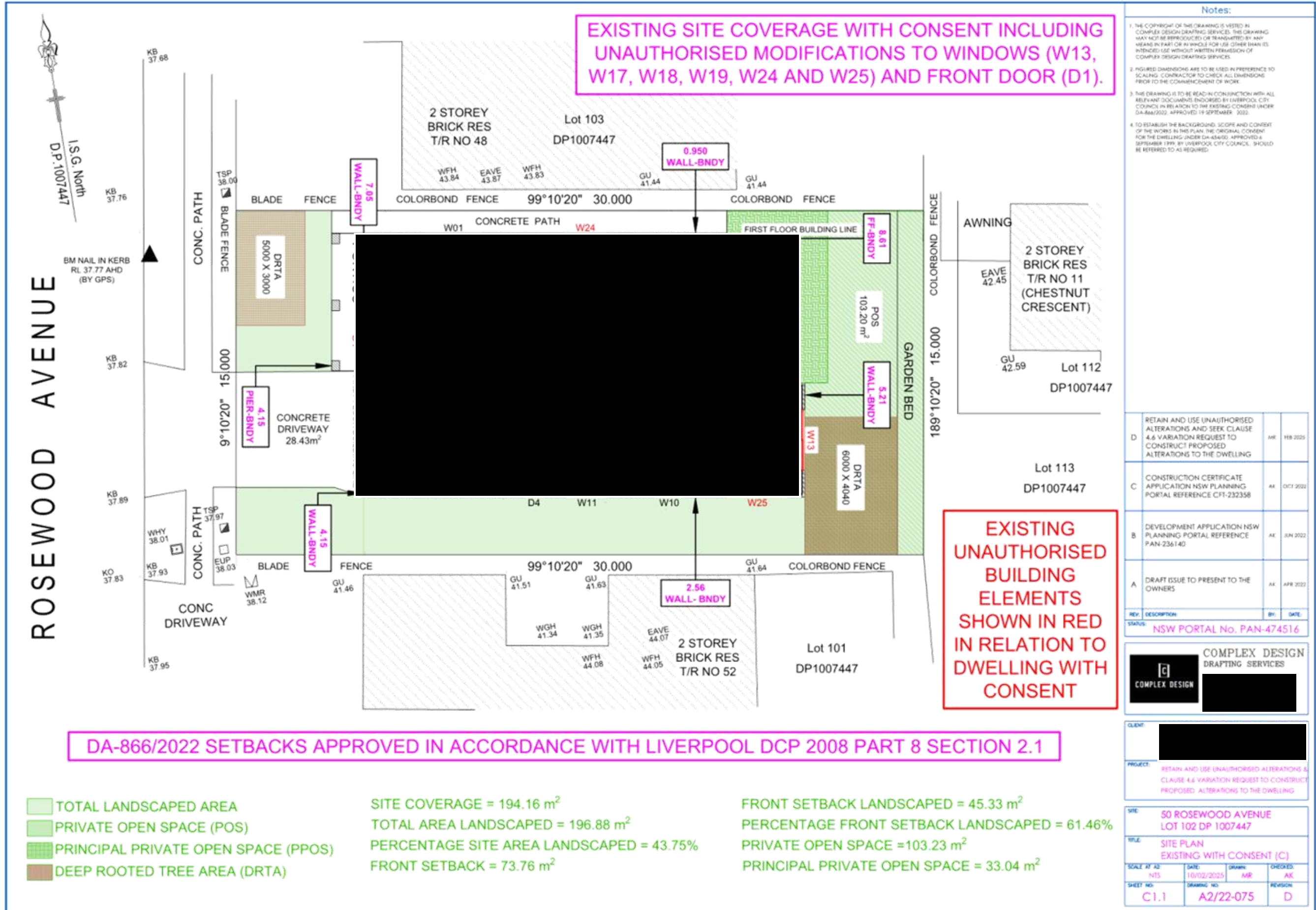
TITLE: SITE PLAN PROPOSED & UNAUTHORISED

SCALE AT A2	DATE	DRAWN	CHECKED
NTS	10/02/2025	MR	AK
SHEET NO.	DRAWING NO.	REVISION	
CUP1.3	A2/22-075	D	

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COMPLEX DESIGN

CLIENT: [REDACTED]

PROJECT: RETAIN AND USE UNAUTHORISED ALTERATIONS & CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING

SITE: 50 ROSEWOOD AVENUE LOT 102 DP 1007447

TITLE: SITE PLAN EXISTING WITH CONSENT (C)

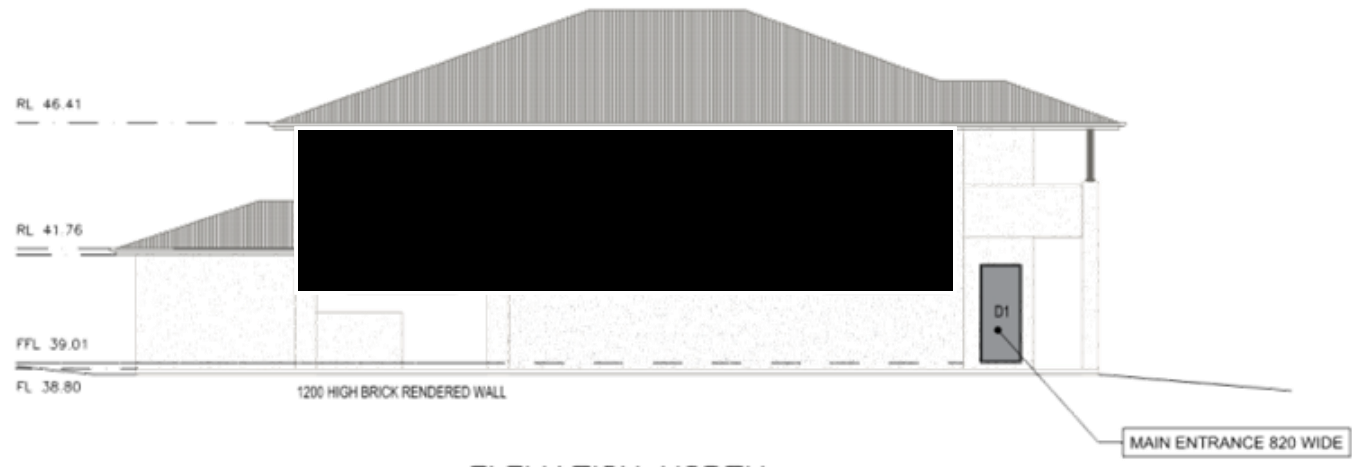
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NTS	10/02/2025	MR	AK

SHEET NO.	DRAWING NO.	REVISION
C1.1	A2/22-075	D

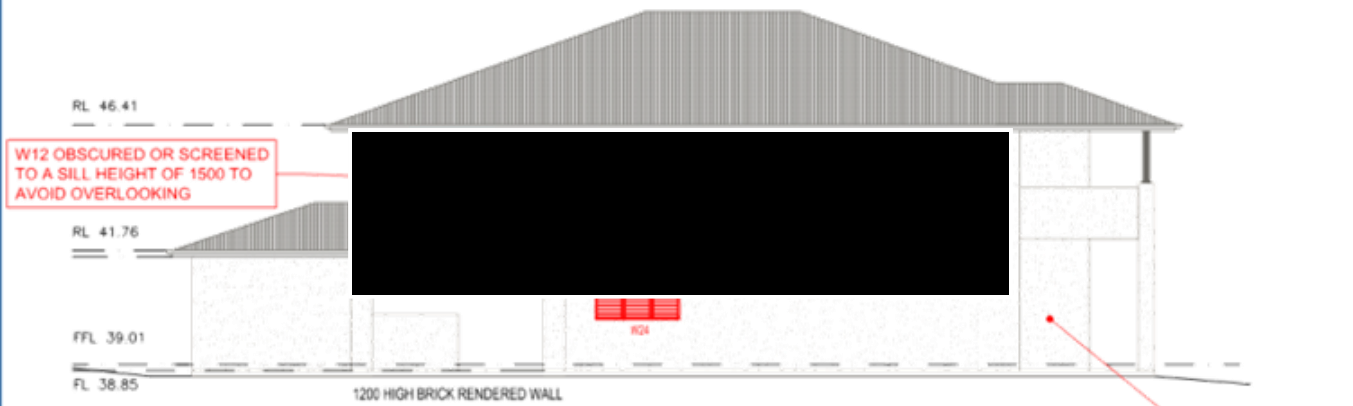
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- PRIVATE OPEN SPACE (POS)
- PRINCIPAL PRIVATE OPEN SPACE (PPOS)
- DEEP ROOTED TREE AREA (DRTA)

SITE COVERAGE = 194.16 m²
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 PERCENTAGE SITE AREA LANDSCAPED = 43.75%
 FRONT SETBACK = 73.76 m²

FRONT SETBACK LANDSCAPED = 45.33 m²
 PERCENTAGE FRONT SETBACK LANDSCAPED = 61.46%
 PRIVATE OPEN SPACE = 103.23 m²
 PRINCIPAL PRIVATE OPEN SPACE = 33.04 m²



ELEVATION NORTH
EXISTING WITH CONSENT (DA-866/2022)



ELEVATION NORTH
EXISTING WITHOUT CONSENT (U)

KEY

BLACK -> EXISTING WITH CONSENT (C), BA-866/2022 AND DA-654/00.

BLUE -> PROPOSED (P) ALTERATIONS, SEEKING TO CONSENT TO CONSTRUCT.

RED -> EXISTING WITHOUT CONSENT, UNAUTHORISED (U) ALTERATIONS SEEKING TO RETAIN AND USE.

SHEET CU9.8 INCLUDES THE FOLLOWING PLANNING STATUS TYPES:

- EXISTING WITH CONSENT (C) ALTERATIONS ENDORSED UNDER DA-866/2022.
- EXISTING WITHOUT CONSENT (U) ALTERATIONS SEEKING CONSENT TO RETAIN AND USE.
- ON THIS SHEET, EXISTING WITHOUT CONSENT ALTERATIONS REFERS TO THE FOLLOWING BUILDING ELEMENTS:
 - ADDITION OF WINDOW, W12 IN BED 4.
 - ADDITION OF WINDOW, W24 IN EXISTING KITCHEN.
 - CHANGE IN ORIENTATION OF FRONT DOOR, D1.



ELEVATION 2

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A	DRAFT ISSUE TO PRESENT TO THE OWNERS	AK	APR 2022
REV	DESCRIPTION	BY	DATE
STATUS: NSW PORTAL No. PAN-474516			

COMPLEX DESIGN DRAFTING SERVICES

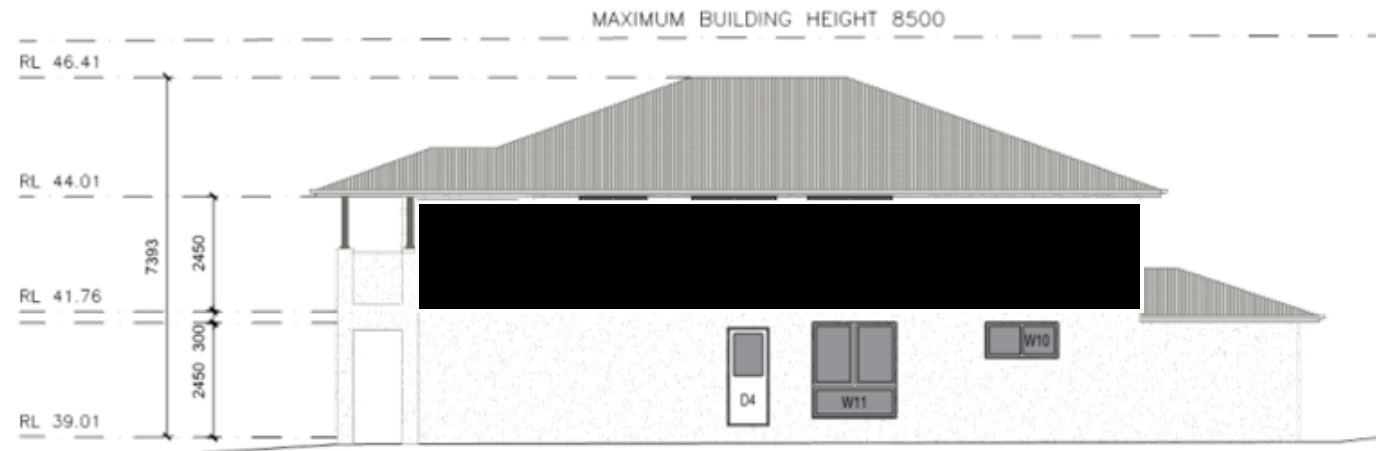
CLIENT: [REDACTED]

PROJECT: RETAIN AND USE UNAUTHORISED ALTERATIONS & CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING

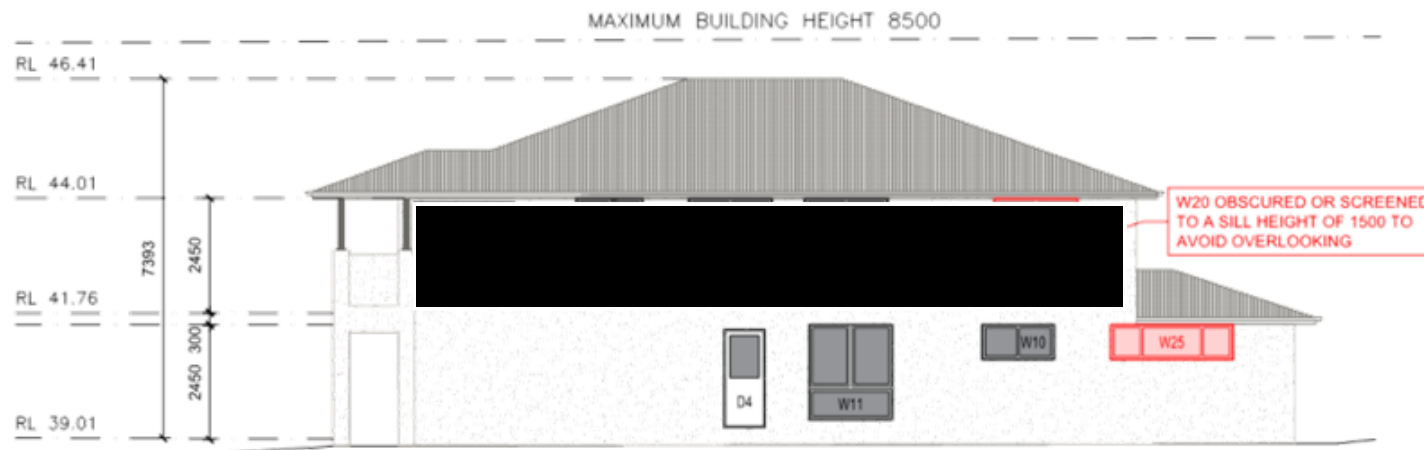
SITE: 50 ROSEWOOD AVENUE LOT 102 DP 1007447

TITLE: ELEVATION NORTH EXISTING WITHOUT CONSENT (U)

SCALE AT A2	DATE	DRAWN	CHECKED
1:100	04/12/2024	MR	AK
SHEET NO.	DRAWING NO.	REVISION	
CU9.8	A2/22-075	D	



ELEVATION SOUTH
EXISTING WITH CONSENT (DA-866/2022)



ELEVATION SOUTH
EXISTING WITHOUT CONSENT (U)

KEY

BLACK -> EXISTING WITH CONSENT (C), DA-866/2022 AND DA-654/00.

BLUE -> PROPOSED (P) ALTERATIONS, SEEKING CONSENT TO CONSTRUCT.

RED -> EXISTING WITHOUT CONSENT, UNAUTHORISED (U) ALTERATIONS SEEKING CONSENT TO RETAIN AND USE.

SHEET CU9.10 INCLUDES THE FOLLOWING PLANNING STATUS TYPES:

1. EXISTING WITH CONSENT (C) ALTERATIONS ENDORSED UNDER DA-866/2022.
2. EXISTING WITHOUT CONSENT (U) ALTERATIONS SEEKING CONSENT TO RETAIN AND USE.
3. ON THIS SHEET, EXISTING WITHOUT CONSENT ALTERATIONS REFERS TO THE FOLLOWING BUILDING ELEMENTS:
 - ADDITION OF WINDOW, W20 IN BED 5.
 - ADDITION OF WINDOW, W25 IN BED 2.

Notes:

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STATUS: NSW PORTAL No. PAN-474516			

COMPLEX DESIGN DRAFTING SERVICES

CLIENT: [REDACTED]

PROJECT: RETAIN AND USE UNAUTHORISED ALTERATIONS & CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING

SITE: 50 ROSEWOOD AVENUE LOT 102 DP 1007447

TITLE: ELEVATION SOUTH UNAUTHORISED ALTERATION (U)

SCALE AT A2:	DATE:	DRAWN:	CHECKED:
1:100	04/12/2024	MR	AK
SHEET NO:	DRAWING NO:	REVISION:	
CU9.10	A2/22-075	D	

ALUMINIUM WINDOW SCHEDULE

NUMBER	SIZE		ORIENTATION & LOCATION	STATUS	MODEL	NOTE
	Width	Height				
W01	2650	772	NORTH (LOUNGE)	EXISTING WITH CONSENT, MODIFIED	ASW0726	INCREASED WIDTH (2170 -> 2650)
W02	1810	1370	NORTH (BED 3)	EXISTING WITH CONSENT, MODIFIED	ASW1318	DECREASED WIDTH (2170 -> 1810)
W03	1210	2100	NORTH (STAIRCASE)	EXISTING WITH CONSENT, MODIFIED	AFW2112	DECREASED WIDTH (1570 -> 1210)
W04	2170	772	NORTH (OFFICE)	EXISTING WITH CONSENT, MODIFIED	ASW0721	DECREASED WIDTH (2410 -> 2170)
W05	-	-	-	DEMOLITION WITHOUT CONSENT	-	REPLACED WITH W13
W06	-	-	-	DEMOLITION WITHOUT CONSENT	-	REPLACED WITH W13
W07	2650	1370	EAST (BED 5)	EXISTING WITH CONSENT	ASW1326	DA-866/2022
W08	1810	1370	EAST (HALLWAY)	EXISTING WITH CONSENT	ASW1318	DA-866/2022
W09	2650	1370	EAST (BED 4)	EXISTING WITH CONSENT	ASW1326	DA-866/2022
W10	1210	772	SOUTH (BED 5 ENS.)	EXISTING WITH CONSENT, MODIFIED	ASW0712	DECREASED WIDTH (1570 -> 1210)
W11	1810	2100	SOUTH (FAMILY)	EXISTING WITH CONSENT, MODIFIED	ASW2018T	REDUCED OVERALL SIZE
W12	1810	1370	NORTH (BED 4)	EXISTING WITHOUT CONSENT	ASW1318	OBSCURED OR SCREENED TO SILL HEIGHT OF 1500. SEEKING TO RETAIN AND USE.
W13	2650	1370	EAST (BED 5)	EXISTING WITHOUT CONSENT	ASW1326	SEEKING TO RETAIN AND USE.
W14	1450	772	SOUTH (DRESSING)	EXISTING WITH CONSENT, MODIFIED	ASW0714	DECREASED WIDTH (2410 -> 1450)
W15	1810	772	SOUTH (BED 1 ENS.)	EXISTING WITH CONSENT, MODIFIED	ASW0718	INCREASED WIDTH (1210 -> 1810)
W16	1810	772	SOUTH (BATHROOM)	EXISTING WITH CONSENT, MODIFIED	ASW0718	DA-866/2022
W17	730	2058	WEST (LOUNGE)	EXISTING WITH CONSENT, MODIFIED	AAW2006T	DECREASED WIDTH (1210 -> 730)
W18	730	2058	WEST (LOUNGE)	EXISTING WITH CONSENT, MODIFIED	AAW2006T	DECREASED WIDTH (1210 -> 730)
W19	730	2058	WEST (LOUNGE)	EXISTING WITH CONSENT, MODIFIED	AAW2006T	DECREASED WIDTH (1210 -> 730)
W20	1810	1370	SOUTH (BED 5)	EXISTING WITHOUT CONSENT	ASW1318	OBSCURED OR SCREENED TO SILL HEIGHT OF 1500. SEEKING TO RETAIN AND USE.
W21	850	1370	WEST (BED 1)	EXISTING WITH CONSENT	ASW1309	DA-866/2022
W22	850	1370	WEST (BED 1)	EXISTING WITH CONSENT	ASW1309	DA-866/2022
W23	850	1370	WEST (BED 1)	EXISTING WITH CONSENT	ASW1309	DA-866/2022
W24	1810	631	NORTH (KITCHEN)	EXISTING WITHOUT CONSENT	BLW03	SEEKING TO RETAIN AND USE
W25	2650	771	SOUTH (BED 2)	EXISTING WITHOUT CONSENT	ASW0726	SEEKING TO RETAIN AND USE
W26	1810	1171	EAST (KITCHEN)	PROPOSED	BLW03	NEW WINDOW IN PROPOSED KITCHEN
W27	2650	631	NORTH (KITCHEN)	PROPOSED	FIXED	NEW WINDOW IN PROPOSED KITCHEN

EXTERNAL DOOR SCHEDULE

NUMBER	SIZE		ORIENTATION & LOCATION	STATUS	MODEL	NOTE
	Width	Height				
D1	1200	2040	NORTH (LOUNGE)	EXISTING WITH CONSENT, MODIFIED	1200 WIDE	ORIENTATION CHANGED TO STREET FACING (WEST)
D2	2410	2100	WEST (OFFICE)	EXISTING WITH CONSENT, MODIFIED	ASD2124	DECREASED HEIGHT (2143 -> 2100)
D3	2684	2143	EAST (KITCHEN)	EXISTING WITH CONSENT	AST2227	DA-866/2022
D4	820	2040	SOUTH (LAUNDRY)	EXISTING WITH CONSENT	XF8	DA-866/2022
D5	2170	2100	SOUTH (BED 1)	EXISTING WITH CONSENT, MODIFIED	ASD2121	DECREASED HEIGHT (2143 -> 2100)

WINDOW AND DOOR SCHEDULE
EXISTING (C, U & CM) AND PROPOSED (P) ELEMENTS

KEY

BLACK -> EXISTING WITH CONSENT (C)

PURPLE -> EXISTING WITH CONSENT, MODIFIED (CM)

BLUE -> PROPOSED (P)

RED -> EXISTING WITHOUT CONSENT (U)

SHEET CUP15.2 INCLUDES THE FOLLOWING PLANNING STATUS TYPES:

- EXISTING WITH CONSENT (C) WINDOWS APPROVED UNDER DA-866/2022.
- EXISTING WITH CONSENT WINDOWS WITH SIZE MODIFIED (CM) DURING CONSTRUCTION OF THE APPROVED DEVELOPMENT.
- PROPOSED (P) WINDOWS SEEKING CONSENT TO CONSTRUCT.
- EXISTING WITHOUT CONSENT (U) WINDOWS SEEKING CONSENT TO RETAIN AND USE.

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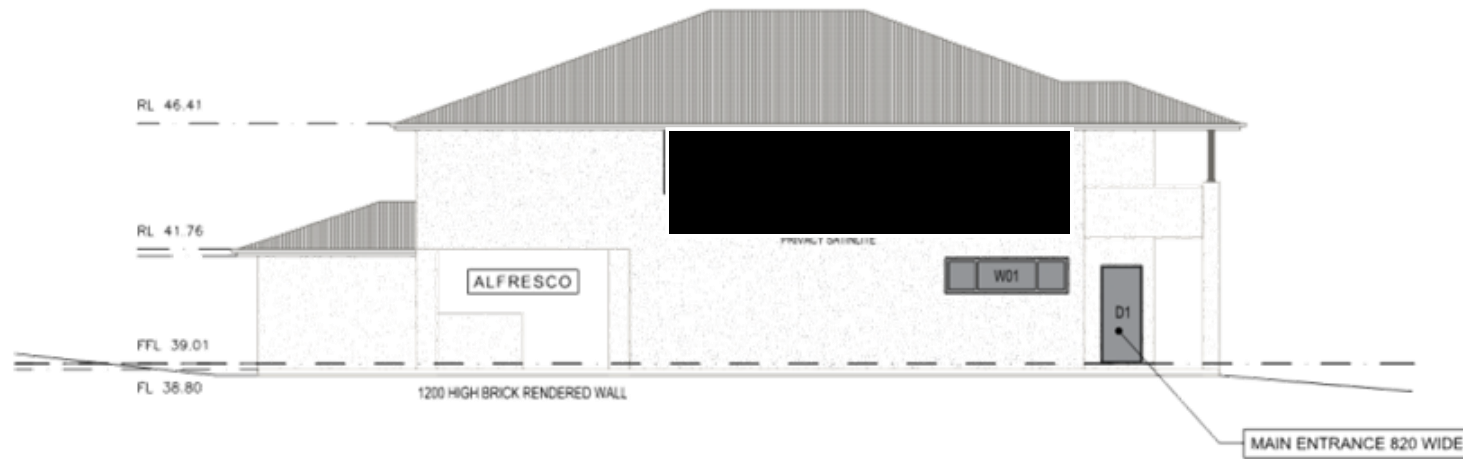


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PROJECT: RETAIN AND USE UNAUTHORISED ALTERATIONS & CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING

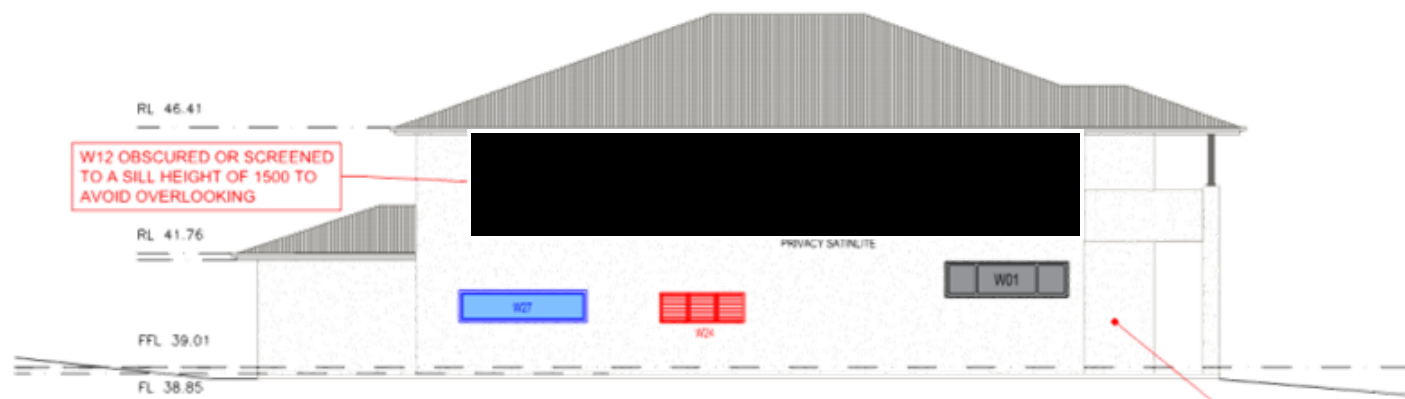
SITE: 50 ROSEWOOD AVENUE
LOT 102 DP 1007447

TITLE: WINDOW & DOOR SCHEDULE
EXISTING & PROPOSED (CUP)

SCALE AT A2	DATE	DRAWN	CHECKED
NTS	04/12/2024	MR	AK
SHEET NO.	DRAWING NO.	REVISION	
CUP15.2	A2/22-075	D	



ELEVATION NORTH
EXISTING WITH CONSENT (DA-866/2022)



ELEVATION NORTH
UNAUTHORISED (U) WORKS INTEGRATED WITH PROPOSED (P) WORKS

KEY

BLACK -> EXISTING WITH CONSENT (C), DA-866/2022 AND DA-654/00.

BLUE -> PROPOSED (P) ALTERATIONS, SEEKING CONSENT TO CONSTRUCT.

RED -> EXISTING WITHOUT CONSENT, UNAUTHORISED (U) ALTERATIONS SEEKING TO RETAIN AND USE.

SHEET CUP9.9 INCLUDES THE FOLLOWING PLANNING STATUS TYPES:

1. EXISTING WITH CONSENT (C) ALTERATIONS ENDORSED UNDER DA-866/2022.
2. PROPOSED (P) ALTERATIONS SEEKING CONSENT TO CONSTRUCT.
3. EXISTING WITHOUT CONSENT ALTERATIONS SEEKING CONSENT TO RETAIN AND USE. TO RETAIN AND USE.

NOTE:

THIS PLAN ILLUSTRATES HOW THE THREE PLANNING STATUS, (1) EXISTING WITH CONSENT DWELLING, (2) EXISTING UNAUTHORISED ALTERATIONS AND (3) PROPOSED ALTERATIONS, WILL INTEGRATE TO PROVIDE THE DESIRED OUTCOME FOR THE DWELLING'S OCCUPANTS.

Notes:

1. THE COPYRIGHT OF THIS DRAWING IS VESTED IN COMPLEX DESIGN DRAFTING SERVICES. THIS DRAWING MAY NOT BE REPRODUCED OR TRANSMITTED BY ANY MEANS IN PART OR IN WHOLE FOR USE OTHER THAN ITS INTENDED USE WITHOUT WRITTEN PERMISSION OF COMPLEX DESIGN DRAFTING SERVICES.
2. FIGURED DIMENSIONS ARE TO BE USED IN PREFERENCE TO SCALING. CONTRACTOR TO CHECK ALL DIMENSIONS PRIOR TO THE COMMENCEMENT OF WORK.
3. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT DOCUMENTS ENDORSED BY LIVERPOOL CITY COUNCIL IN RELATION TO THE EXISTING CONSENT UNDER DA-866/2022, APPROVED 19 SEPTEMBER 2022.
4. TO ESTABLISH THE BACKGROUND, SCOPE AND CONTEXT OF THE WORKS IN THIS PLAN, THE ORIGINAL CONSENT FOR THE DWELLING UNDER DA-654/00, APPROVED 6 SEPTEMBER 1999, BY LIVERPOOL CITY COUNCIL, SHOULD BE REFERRED TO AS REQUIRED.

D	RETAIN AND USE UNAUTHORISED ALTERATIONS AND SEEK CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING	MR	FEB 2025
C	CONSTRUCTION CERTIFICATE APPLICATION NSW PLANNING PORTAL REFERENCE CFT-232358	AK	OCT 2022
B	DEVELOPMENT APPLICATION NSW PLANNING PORTAL REFERENCE PAN-236140	AK	JUN 2022
A	DRAFT ISSUE TO PRESENT TO THE OWNERS	AK	APR 2022
REV	DESCRIPTION	BY	DATE
STATUS: NSW PORTAL No. PAN-474516			

COMPLEX DESIGN DRAFTING SERVICES

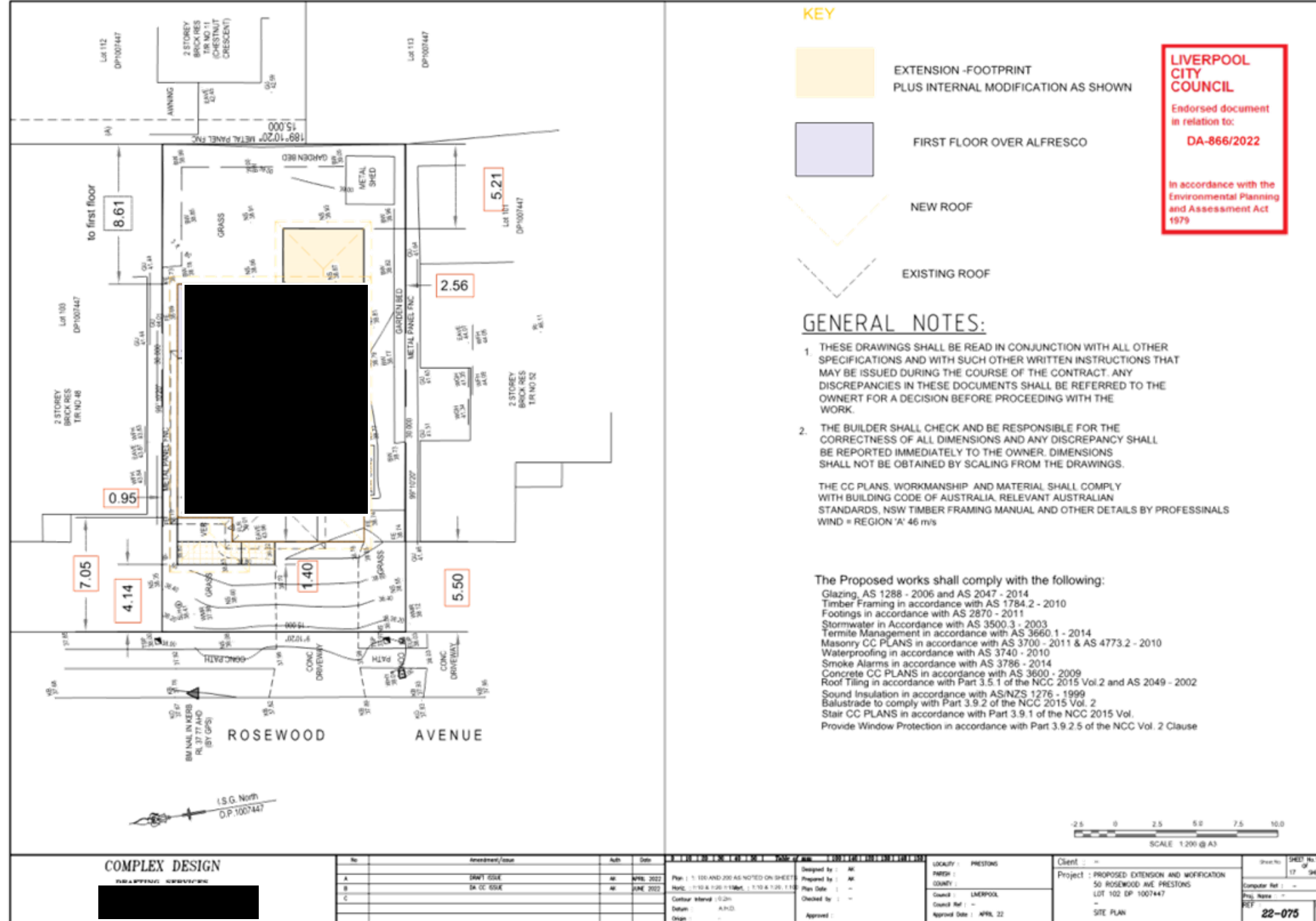
CLIENT: [REDACTED]

PROJECT: RETAIN AND USE UNAUTHORISED ALTERATIONS & CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING

SITE: 50 ROSEWOOD AVENUE LOT 102 DP 1007447

TITLE: ELEVATION - NORTH INTEGRATED PLAN (CUP)

SCALE AT A2: 1:100	DATE: 04/12/2024	DRAWN: MR	CHECKED: AK
SHEET NO: CUP9.9	DRAWING NO: A2/22-075	REVISION: D	



SITE PLAN EXISTING WITH CONSENT (C)

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REV	DESCRIPTION	BY	DATE
D	RETAIN AND USE UNAUTHORISED ALTERATIONS AND SEEK CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING	AK	DEC 2024
C	CONSTRUCTION CERTIFICATE APPLICATION NSW PLANNING PORTAL REFERENCE CFI-232358	AK	OCT 2022
B	DEVELOPMENT APPLICATION NSW PLANNING PORTAL REFERENCE PAN-236140	AK	JUN 2022
A	DRAFT ISSUE TO PRESENT TO THE OWNERS	AK	APR 2022

STATUS: NSW PORTAL No. PAN-474516

COMPLEX DESIGN
 DRAFTING SERVICES

CLIENT: [REDACTED]

PROJECT: RETAIN AND USE UNAUTHORISED ALTERATIONS & CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING

SITE: 50 ROSEWOOD AVENUE
LOT 102 DP 1007447

TITLE: SITE PLAN
EXISTING WITH CONSENT (C)

SCALE AT A2	DATE	DRAWN	CHECKED
NTS	04/12/2024	MR	AK

SHEET NO.	DRAWING NO.	REVISION
C1	A2/22-075	D

KEY

BLACK -> EXISTING WITH CONSENT EXTERNAL COLOURS
RED -> EXISTING WITHOUT CONSENT EXTERNAL COLOURS



ROOF, GUTTER, FASCIA, POSTS & GARAGE DOOR

PRODUCT: COLORBOND STEEL
COLOUR: COLORBOND WALLABY
SOLAR ABSORPTANCE: 0.640
LIGHT REFLECTION VALUE: 39
COLOUR CODE: #7F7C78



FRONT ENTRY DOOR

PRODUCT: DULUX AQUANAMEL
COLOUR: HAMMER GREY
SOLAR ABSORPTANCE: 0.866
LIGHT REFLECTION VALUE: 17
COLOUR CODE: SG6H6



EAVES & BALCONY CEILING

PRODUCT: DULUX WEATHERSHIELD
COLOUR: VIVID WHITE
SOLAR ABSORPTANCE: 0.121
LIGHT REFLECTION VALUE: 94
COLOUR CODE: SW1G1



ALUMINIUM DOORS, WINDOWS & GARAGE DOOR

PRODUCT: COLORBOND STEEL
COLOUR: COLORBOND SURFMIST MATT FINISH
SOLAR ABSORPTANCE: 0.350
LIGHT REFLECTION VALUE: 78
COLOUR CODE: #EAE9E0



MAIN RENDER (EXTERIOR WALL, COLUMN & DOWNPIPE)

PRODUCT: ROCKCOTE COLOURED RENDER & PAINTED WITH DULUX WEATHERSHIELD
COLOUR: WINTER FOG
SOLAR ABSORPTANCE: 0.618
LIGHT REFLECTION VALUE: 47
COLOUR CODE: SN4A6



DRIVEWAY & GARAGE FLOOR

PRODUCT: DULUX AVISTA TINTABLE CONCRETE SEALER
COLOUR: WOODLAND GREY
SOLAR ABSORPTANCE: 0.905
LIGHT REFLECTION VALUE: 12
COLOUR CODE: #535140

EXTERNAL COLOURS SCHEDULE EXISTING WITH CONSENT (C) AND EXISTING WITHOUT CONSENT (U)

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A	DRAFT ISSUE TO PRESENT TO THE OWNERS	AK	APR 2022
REV	DESCRIPTION	BY	DATE
STATUS: NSW PORTAL No. PAN-474516			

COMPLEX DESIGN DRAFTING SERVICES

CLIENT: [REDACTED]

PROJECT: RETAIN AND USE UNAUTHORISED ALTERATIONS & CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING

SITE: 50 ROSEWOOD AVENUE
LOT 102 DP 1007447

TITLE: EXTERNAL COLOURS SCHEDULE
UNAUTHORISED MODIFICATION

SCALE: A2	DATE: 04/12/2024	DRAWN: MR	CHECKED: AK
SHEET NO: CU17.1	DRAWING NO: A2/22-075	REVISION: D	

KEY
 ASW1321 = WINDOW NOMINAL 1320mm HIGH x2120mm WIDE
 D102 = DOOR NOMINAL 2170mmHx1020mm WIDE
 OLD = EXISTING/RECYCLED
 AFW= FIXED WINDOW
 ALSO REFER TO BASIX CERTIFICATE A455769

LIVERPOOL CITY COUNCIL
 Endorsed document
 in relation to:
DA-866/2022
 In accordance with the
 Environmental Planning
 and Assessment Act
 1979

REV	DESCRIPTION	BY	DATE
D	RETAIN AND USE UNAUTHORISED ALTERATIONS AND SEEK CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING	MR	DEC 2024
C	CONSTRUCTION CERTIFICATE APPLICATION NSW PLANNING PORTAL REFERENCE CFT-232358	AK	OCT 2022
B	DEVELOPMENT APPLICATION NSW PLANNING PORTAL REFERENCE PAN-236140	AK	JUN 2022
A	DRAFT ISSUE TO PRESENT TO THE OWNERS	AK	APR 2022

REV	DESCRIPTION	BY	DATE
STATUS: NSW PORTAL No. PAN-474516			

COMPLEX DESIGN
DRAFTING SERVICES







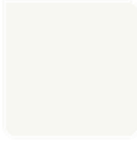

No.	Amendment/Issue	Auth	Date	Plan : 1:100 AND 200 AS NOTED ON SHEET 1 Draft Issue : APRIL 2022 DA DC ISSUE : JUNE 2022 Contour Interval : 0.2m Datum : AHD Origin : -	Designed By : AK Prepared By : AK Plan Date : - Checked By : - Approved : -	Locality : PRESTONS PRRP : - County : LIVERPOOL Council Ref : - Approval Date : APRIL 22	Client : - Project : PROPOSED EXTENSION AND MODIFICATION 50 ROSEWOOD AVE PRESTONS LOT 102 DP 1007447 WINDOW SCHEDULE	Sheet No. 15 of 17 SHEETS Computer Ref : - Proj. Name : - REF: 22-075 Rev B
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WINDOW AND DOOR SCHEDULE EXISTING WITH CONSENT (C)

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CLIENT:	[REDACTED]
PROJECT:	RETAIN AND USE UNAUTHORISED ALTERATIONS & CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING
SITE:	50 ROSEWOOD AVENUE LOT 102 DP 1007447
TITLE:	WINDOW & DOOR SCHEDULE EXISTING WITH CONSENT (C)
SCALE: A2	DATE: 04/12/2024
SHEET NO.: C15	DRAWING NO.: A2/22-075
NTS	GRABIN: MR
CHECKED: AK	REVISION: D

	ROOF CLADDING MANUFACTURER DULUX COLOUR COLORBOND MONUMENT RGB 64 65 65 LRV Value 8 HEX CODE #404141		FRONT DOOR MANUFACTURER DULUX COLOUR POWERED ROCK RGB 187 182 171 LRV Value 51 COLOUR CODE S15A2
	FASCIAS & DOWNPIPE MANUFACTURER DULUX COLOUR COLORBOND DUNE RGB 173 173 152 LRV Value 42 HEX #ADA398		GARAGE DOOR, ALUMINIUM DOORS & WINDOWS MANUFACTURER DULUX COLOUR COLORBOND DUNE RGB 173 173 152 LRV Value 42 HEX CODE #ADA398
	EXTERIOR WALLS RENDERED MANUFACTURER DULUX COLOUR DULUX DUNE RGB 173 173 152 LRV VALUE 42 HEX CODE #ADA398		GUTTERS MANUFACTURER DULUX COLOUR COLORBOND MONUMENT RGB 64 65 65 LRV Value 8 HEX CODE #404141
	EAVES CEILING MANUFACTURER DULUX COLOUR VIVID WHITE RGB 247 248 244 LRV Value 94 COLOUR CODE SW1G1		FACADE COLUMN, POSTS & RAILINGS (GLASS INFILL) MANUFACTURER DULUX COLOUR DULUX MONUMENT RGB 64 65 65 LRV Value 8 HEX CODE #404141

LIVERPOOL CITY COUNCIL
 Endorsed document
 in relation to:
DA-866/2022
 In accordance with the
 Environmental Planning
 and Assessment Act
 1979

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D	RETAIN AND USE UNAUTHORISED ALTERATIONS AND SEEK CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING	MR	DEC 2024
C	CONSTRUCTION CERTIFICATE APPLICATION NSW PLANNING PORTAL REFERENCE CFI-232358	AK	OCT 2022
B	DEVELOPMENT APPLICATION NSW PLANNING PORTAL REFERENCE PAN-236140	AK	JUN 2022
A	DRAFT ISSUE TO PRESENT TO THE OWNERS	AK	APR 2022
REV	DESCRIPTION	BY	DATE
STATUS: NSW PORTAL No. PAN-474516			

COMPLEX DESIGN DRAFTING SERVICES



CLIENT: [REDACTED]

PROJECT: RETAIN AND USE UNAUTHORISED ALTERATIONS & CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING

SITE:	50 ROSEWOOD AVENUE LOT 102 DP 1007447		
TITLE:	EXTERNAL COLOURS SCHEDULE EXISTING WITH CONSENT (C)		
SCALE:	A2	DATE:	04/12/2024
SHEET NO:	C17	DRAWING NO:	A2/22-075
CHECKED:	AK	REVISION:	D

SCHEDULE OF EXTERNAL COLOURS EXISTING WITH CONSENT (C)

COMPLEX DESIGN

No.	Amendment/Issue	Auth	Date	Plan : 1:100 AND 200 AS NOTED ON SHEETS	Designed by : AK	LOCALITY : PRESTONS	Client : -	Sheet No. 17 OF 17 SHEETS
A	DRAFT ISSUE	AK	APRIL 2022	Scale : 1:10 & 1:20 & 1:50 & 1:20 & 1:50	Prepared by : AK	COUNTRY : LIVERPOOL	Project : PROPOSED EXTENSION AND MODIFICATION 50 ROSEWOOD AVE PRESTONS LOT 102 DP 1007447 SCHEDULE OF EXTERNAL COLOURS	Computer Ref : -
B	DRAFT ISSUE	AK	JUNE 2022	Colour Intend : (C)20	Plan Date : -	Council Ref : -	Approved Date : APRIL 22	Proj. Name : -
C				Design : -	Checked by : -			22-075

ALUMINIUM WINDOW SCHEDULE						
NUMBER	SIZE		ORIENTATION & LOCATION	STATUS	MODEL	NOTE
	Width	Height				
W01	2650	772	NORTH (LOUNGE)	EXISTING WITH CONSENT, MODIFIED	ASW0726	INCREASED WIDTH (2170 -> 2650)
W02	1810	1370	NORTH (BED 3)	EXISTING WITH CONSENT, MODIFIED	ASW1318	DECREASED WIDTH (2170 -> 1810)
W03	1210	2100	NORTH (STAIRCASE)	EXISTING WITH CONSENT, MODIFIED	AFW2112	DECREASED WIDTH (1570 -> 1210)
W04	2170	772	NORTH (OFFICE)	EXISTING WITH CONSENT, MODIFIED	ASW0721	DECREASED WIDTH (2410 -> 2170)
W05	-	-	-	DEMOLITION WITHOUT CONSENT	-	REPLACED WITH W13
W06	-	-	-	DEMOLITION WITHOUT CONSENT	-	REPLACED WITH W13
W07	2650	1370	EAST (BED 5)	EXISTING WITH CONSENT	ASW1326	DA-866/2022
W08	1810	1370	EAST (HALLWAY)	EXISTING WITH CONSENT	ASW1318	DA-866/2022
W09	2650	1370	EAST (BED 4)	EXISTING WITH CONSENT	ASW1326	DA-866/2022
W10	1210	772	SOUTH (BED 5 ENS.)	EXISTING WITH CONSENT, MODIFIED	ASW0712	DECREASED WIDTH (1570 -> 1210)
W11	1810	2100	SOUTH (FAMILY)	EXISTING WITH CONSENT, MODIFIED	ASW2018T	REDUCED OVERALL SIZE
W12	1810	1370	NORTH (BED 4)	EXISTING WITHOUT CONSENT	ASW1318	SEEKING TO RETAIN AND USE
W13	2650	1370	EAST (BED 5)	EXISTING WITHOUT CONSENT	ASW1326	SEEKING TO RETAIN AND USE
W14	1450	772	SOUTH (DRESSING)	EXISTING WITH CONSENT, MODIFIED	ASW0714	DECREASED WIDTH (2410 -> 1450)
W15	1810	772	SOUTH (BED 1 ENS.)	EXISTING WITH CONSENT, MODIFIED	ASW0718	INCREASED WIDTH (1210 -> 1810)
W16	1810	772	SOUTH (BATHROOM)	EXISTING WITH CONSENT, MODIFIED	ASW0718	DA-866/2022
W17	730	2058	WEST (LOUNGE)	EXISTING WITH CONSENT, MODIFIED	AAW2006T	DECREASED WIDTH (1210 -> 730)
W18	730	2058	WEST (LOUNGE)	EXISTING WITH CONSENT, MODIFIED	AAW2006T	DECREASED WIDTH (1210 -> 730)
W19	730	2058	WEST (LOUNGE)	EXISTING WITH CONSENT, MODIFIED	AAW2006T	DECREASED WIDTH (1210 -> 730)
W20	1810	1370	SOUTH (BED 5)	EXISTING WITHOUT CONSENT	ASW1318	SEEKING TO RETAIN AND USE
W21	850	1370	WEST (BED 1)	EXISTING WITH CONSENT	ASW1309	DA-866/2022
W22	850	1370	WEST (BED 1)	EXISTING WITH CONSENT	ASW1309	DA-866/2022
W23	850	1370	WEST (BED 1)	EXISTING WITH CONSENT	ASW1309	DA-866/2022
W24	1810	631	NORTH (KITCHEN)	EXISTING WITHOUT CONSENT	BLW03	SEEKING TO RETAIN AND USE
W25	2650	771	SOUTH (BED 2)	EXISTING WITHOUT CONSENT	ASW0726	SEEKING TO RETAIN AND USE
W26	1810	1171	EAST (KITCHEN)	PROPOSED	BLW03	NEW WINDOW IN PROPOSED KITCHEN
W27	2650	631	NORTH (KITCHEN)	PROPOSED	FIXED	NEW WINDOW IN PROPOSED KITCHEN

EXTERNAL DOOR SCHEDULE						
NUMBER	SIZE		ORIENTATION & LOCATION	STATUS	MODEL	NOTE
	Width	Height				
D1	1200	2040	NORTH (LOUNGE)	EXISTING WITH CONSENT, MODIFIED	1200 WIDE	ORIENTATION CHANGED TO STREET FACING (WEST)
D2	2410	2100	WEST (OFFICE)	EXISTING WITH CONSENT, MODIFIED	ASD2124	DECREASED HEIGHT (2143 -> 2100)
D3	2684	2143	EAST (KITCHEN)	EXISTING WITH CONSENT	AST2227	DA-866/2022
D4	820	2040	SOUTH (LAUNDRY)	EXISTING WITH CONSENT	XF8	DA-866/2022
D5	2170	2100	SOUTH (BED 1)	EXISTING WITH CONSENT, MODIFIED	ASD2121	DECREASED HEIGHT (2143 -> 2100)

WINDOW AND DOOR SCHEDULE

EXISTING (C, U & CM) AND PROPOSED (P) ELEMENTS

KEY

BLACK -> EXISTING WITH CONSENT (C)

PURPLE -> EXISTING WITH CONSENT, MODIFIED (CM)

BLUE -> PROPOSED (P)

RED -> EXISTING WITHOUT CONSENT (U)

SHEET CUP15.1 INCLUDES THE FOLLOWING PLANNING STATUS TYPES:

- EXISTING WITH CONSENT (C) WINDOWS APPROVED UNDER DA-866/2022.
- EXISTING WITH CONSENT WINDOWS WITH SIZE MODIFIED (CM) DURING CONSTRUCTION OF THE APPROVED DEVELOPMENT.
- PROPOSED (P) WINDOWS SEEKING CONSENT TO CONSTRUCT.
- EXISTING WITHOUT CONSENT (U) WINDOWS SEEKING CONSENT TO RETAIN AND USE.

Notes:

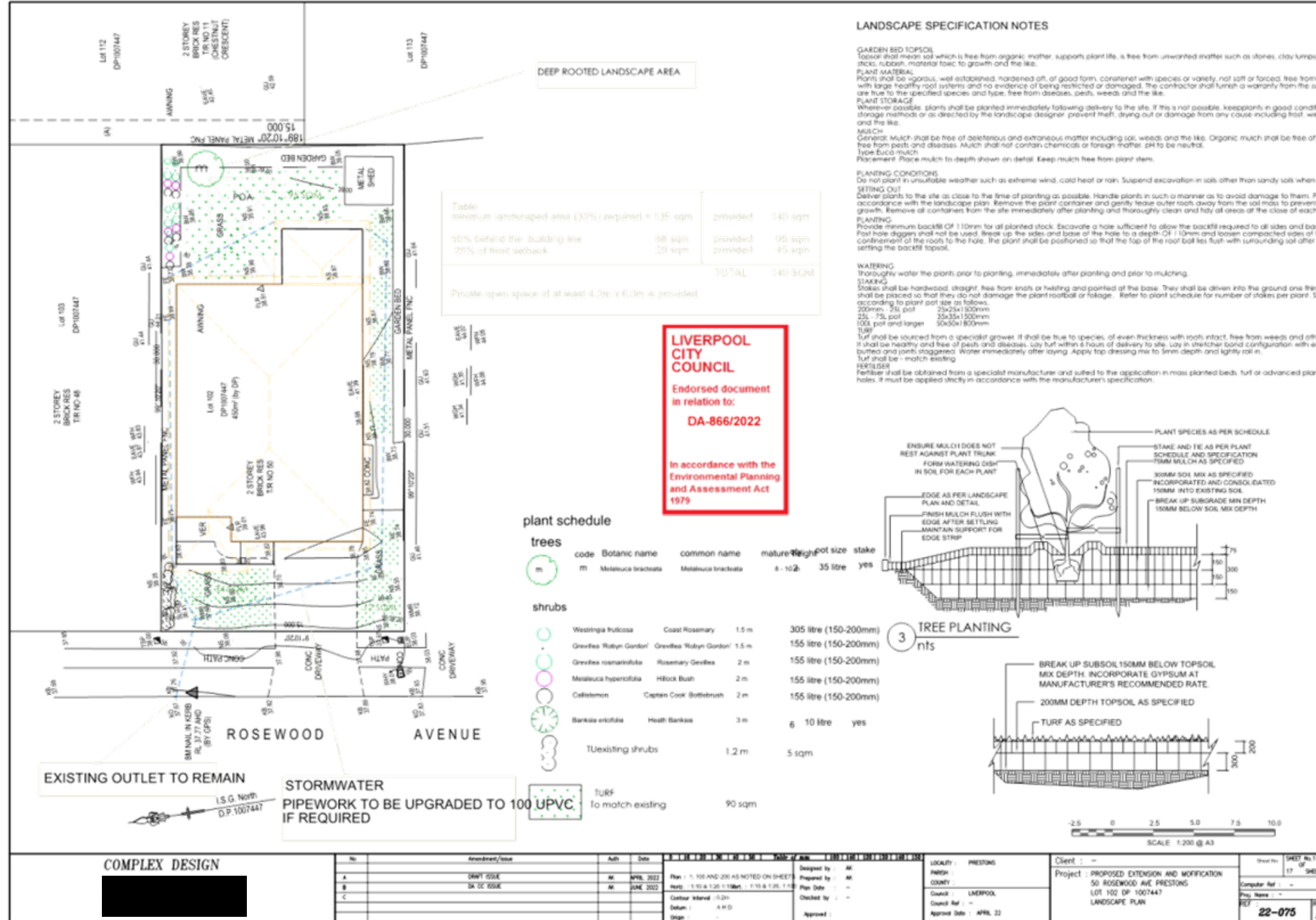
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A	DRAFT ISSUE TO PRESENT TO THE OWNERS	AK	APR 2022
REV	DESCRIPTION	BY	DATE
STATUS: NSW PORTAL No. PAN-474516			



CLIENT:	[REDACTED]
PROJECT:	RETAIN AND USE UNAUTHORISED ALTERATIONS & CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING

SITE:	50 ROSEWOOD AVENUE LOT 102 DP 1007447		
TITLE:	WINDOW & DOOR SCHEDULE EXISTING & PROPOSED (CUP)		
SCALE AT A2:	DATE:	DRAWN:	CHECKED:
NTS	04/12/2024	MR	AK
SHEET NO:	DRAWING NO:	REVISION:	
CUP15.1	A2/22-075	D	



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STATUS: NSW PORTAL No. PAN-474516

COMPLEX DESIGN DRAFTING SERVICES

COMPLEX DESIGN

CLIENT: [REDACTED]

PROJECT: RETAIN AND USE UNAUTHORISED ALTERATIONS AND CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING

SITE: 50 ROSEWOOD AVENUE LOT 102 DP 1007447

TITLE: LANDSCAPING EXISTING WITH CONSENT (C)

SCALE AT A2	DATE	DRAWN	CHECKED
NTS	04/12/2024	MR	AK
SHEET NO.	DRAWING NO.	REVISION	
C13	A2/22-075	D	

**LANDSCAPING PLAN
EXISTING WITH CONSENT (C)**

COMPLEX DESIGN

No.	Amendment/Issue	Auth.	Date	Design	Check	Appr.	Scale	Sheet No.	Total Sheets
A	DWPT ISSUE	AK	APRIL 2022	Plan - 1:100 AND 2/10 AS NOTED ON SHEET	Designed by	AK		17	17
B	DA DC ISSUE	AK	JUNE 2022	Scale - 1:100 & 1:200, 1:100m, 1:100 & 1:200, 1:100	Prepared by	AK			
C				Customer Interest - 1:200	Checked by				
				Detail - A.H.D.	Approved				
				Sign -					

LOCALITY: PRESTONS
COUNCIL: LIVERPOOL
Project: PROPOSED EXTENSION AND MODIFICATION 50 ROSEWOOD AVE PRESTONS LOT 102 DP 1007447 LANDSCAPE PLAN
Client: -
Scale: 1:200 @ A3
Sheet No: 17 OF 17 SHEETS
Computer Ref: -
Proj. Name: -
22-075

CONSIDERATIONS FOR FLOOR SPACE RATIO (FSR)

1. SITE AREA OF 450 m² IN ACCORDANCE WITH PRIOR DETERMINATION DOCUMENTS SUBMITTED WITH CURRENT APPLICATION.
2. THE DWELLING HAS AN ALLOWABLE FSR 0.6:1 (270 m²) IN ACCORDANCE WITH CLAUSE 4.4 OF LIVERPOOL LOCAL ENVIRONMENTAL PLAN 2008.
3. CALCULATION OF EXISTING AND PROPOSED FLOOR SPACE RATIO IS IN ACCORDANCE WITH CLAUSE 4.5 OF LIVERPOOL LOCAL ENVIRONMENTAL PLAN 2008.
4. GROSS FLOOR AREA (GFA) MEASURED FROM INTERNAL FACE OF EXTERNAL WALLS, MEASURED AT A HEIGHT 1.4 METRES ABOVE FLOOR LEVEL.
5. GFA EXCLUSIONS IN ACCORDANCE WITH CLAUSE 1.4 OF LIVERPOOL LOCAL ENVIRONMENTAL PLAN 2008.
6. GFA EXCLUSION SPACES FOR THE DWELLING = >> BALCONY 1, BALCONY 2, PORTICO, GARAGE (2 CAR SPACES) AND STAIRCASE VOID ON FIRST FLOOR ONLY.

CACLULATIONS FOR FSR

EXISTING GROUND FLOOR GFA WITH CONSENT	=	118.91 (INCLUDES 9.50 m ² OF EXISTING KITCHEN WITH CONSENT)
EXISTING FIRST FLOOR GFA WITH CONSENT	=	148.77 (150.50 m ² IN DA-866/2022, MINOR ADJUSTMENT FOR LARGER STAIRCASE VOID ON FIRST FLOOR)
TOTAL EXISTING GFA WITH CONSENT	=	267.68 m ² (269.30 m ² IN DA-866/2022, MINOR ADJUSTMENT FOR LARGER STAIRCASE VOID)
CURRENT FSR WITH CONSENT	=	TOTAL EXISTING GFA WITH CONSENT/SITE AREA
>	=	267.68/450
>	=	0.5949:1
PROPOSED ADDITIONAL GFA SEEKING CONSENT	=	29.93 (THIS IS THE FLOOR AREA OF EXISTING ALFRESCO WITH CONSENT, SEE SHEET CP7.1)
TOTAL NEW GFA	=	TOTAL EXISTING GFA WITH CONSENT + PROPOSED ADDITIONAL GFA SEEKING CONSENT
>	=	267.68 + 29.93
>	=	297.61
PROPOSED NEW FSR	=	TOTAL NEW GFA /SITE AREA
>	=	297.61/450
>	=	0.6614
FSR VARIATION SEEKING CONSENT	=	PROPOSED NEW FSR - ALLOWABLE FSR IAW LIVERPOOL LEP, CLAUSE 4.4
>	=	0.6614 - 0.6
>	=	0.0614
PERCENTAGE OF FSR SEEKING VARIATION	=	((PROPOSED NEW FSR - ALLOWABLE FSR)/ALLOWABLE FSR)X 100
>	=	((0.6614 - 0.6)/0.6) X 100
>	=	(0.0614/0.600) X 100
>	=	10.2259%

Notes:

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4. TO ESTABLISH THE BACKGROUND, SCOPE AND CONTEXT OF THE WORKS IN THIS PLAN, THE ORIGINAL CONSENT FOR THE DWELLING UNDER DA-454/00, APPROVED 6 SEPTEMBER 1999, BY LIVERPOOL CITY COUNCIL, SHOULD BE REFERRED TO AS REQUIRED.

D	RETAIN AND USE UNAUTHORISED ALTERATIONS AND SEEK CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING	MR	DEC 2024
C	CONSTRUCTION CERTIFICATE APPLICATION NSW PLANNING PORTAL REFERENCE CFT-232358	AK	OCT 2022
B	DEVELOPMENT APPLICATION NSW PLANNING PORTAL REFERENCE PAN-236140	AK	JUN 2022
A	DRAFT ISSUE TO PRESENT TO THE OWNERS	AK	APR 2022
REV	DESCRIPTION	BY	DATE
STATUS: NSW PORTAL No. PAN-474516			



CLIENT: [REDACTED]

PROJECT: RETAIN AND USE UNAUTHORISED ALTERATIONS & CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING

SITE: 50 ROSEWOOD AVENUE
LOT 102 DP 1007447

TITLE: FSR CALCULATION
PROPOSED ALTERATIONS (P)

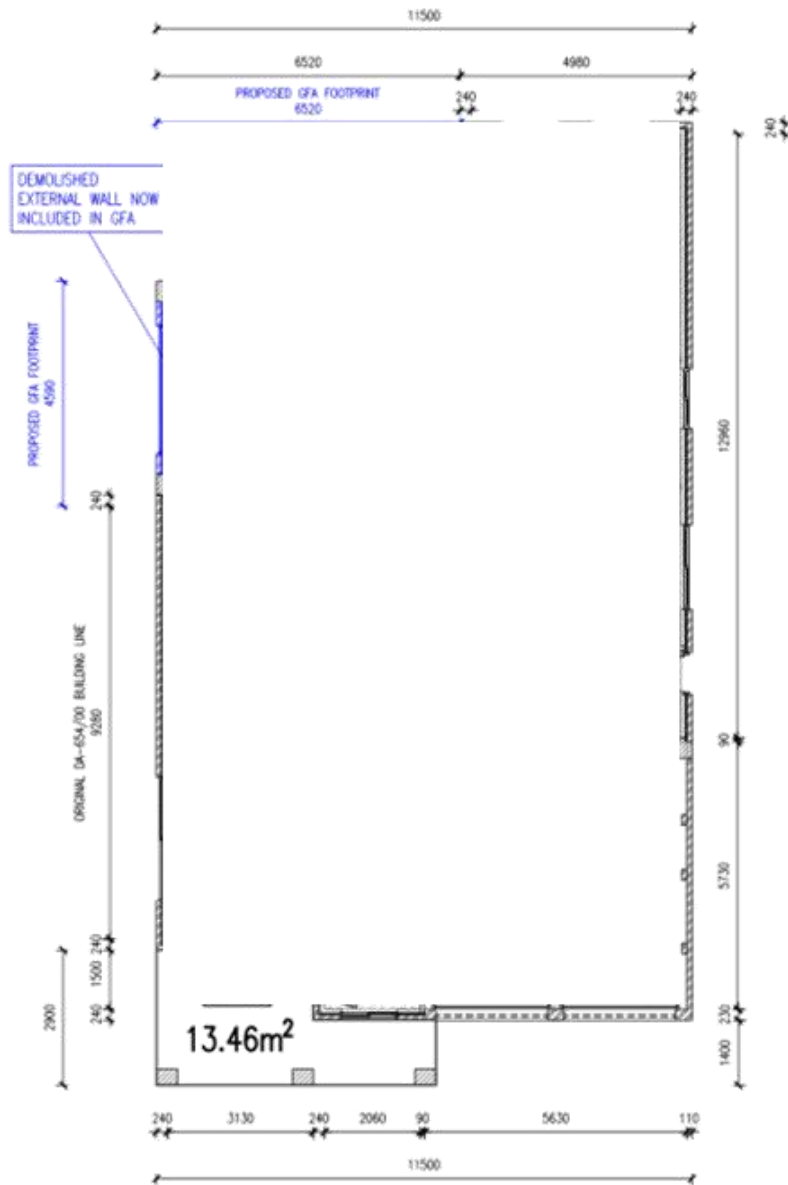
SCALE AT A2 1:100	DATE 04/12/2024	DRAWN MR	CHECKED AK
SHEET NO. CP7.2	DRAWING NO. A2/22-075	REVISION D	

SEE SHEET CP7.2 FOR FLOOR SPACE RATIO CALCULATION AND NUMERIC VALUE OF THE FSR VARIATION REQUEST.

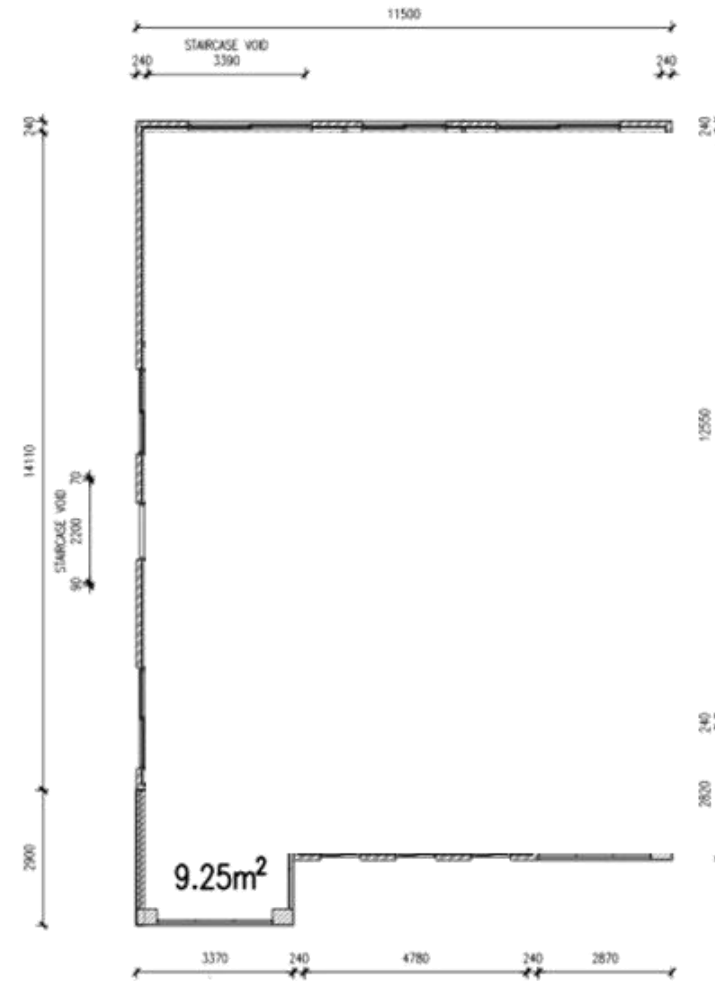
KEY → BLACK → EXISTING WITH CONSENT (C), DA-866/2022 AND DA-654/00.
BLUE → PROPOSED (P) ALTERATIONS SEEKING CONSENT TO CONSTRUCT.
RED → EXISTING WITHOUT CONSENT, UNAUTHORISED (U) ALTERATIONS SEEKING CONSENT TO RETAIN AND USE.

SHEET CP7.1 INCLUDES THE FOLLOWING PLANNING STATUS TYPES:

- EXISTING WITH CONSENT (C) GROSS FLOOR AREA (GFA) APPROVED IN DA-866/2022.
- PROPOSED (P) ADDITIONAL GROSS FLOOR AREA SEEKING CONSENT.
- ON THIS SHEET (P) REPRESENTS PROPOSED ADDITIONAL GROSS FLOOR AREA SEEKING CONSENT TO CONSTRUCT PROPOSED KITCHEN EXTENSION.



GROUND FLOOR
EXISTING WITH CONSENT (C) GFA
AND PROPOSED (P) GFA



FIRST FLOOR
EXISTING WITH CONSENT (C) GFA

- EXISTING GFA WITH CONSENT INCLUDED IN FSR
- AREAS EXCLUDED FROM GFA
- PROPOSED GFA SEEKING CONSENT FOR INCLUSION IN FSR

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- TO ESTABLISH THE BACKGROUND, SCOPE AND CONTEXT OF THE WORKS IN THIS PLAN, THE ORIGINAL CONSENT FOR THE DWELLING UNDER DA-654/00, APPROVED 6 SEPTEMBER 1999, BY LIVERPOOL CITY COUNCIL, SHOULD BE REFERRED TO AS REQUIRED.

D	RETAIN AND USE UNAUTHORISED ALTERATIONS AND SEEK CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING	MR	DEC 2024
C	CONSTRUCTION CERTIFICATE APPLICATION NSW PLANNING PORTAL REFERENCE CFI-232358	AK	OCT 2022
B	DEVELOPMENT APPLICATION NSW PLANNING PORTAL REFERENCE PAN-236140	AK	JUN 2022
A	DRAFT ISSUE TO PRESENT TO THE OWNERS	AK	APR 2022
REV	DESCRIPTION	BY	DATE
STATUS: NSW PORTAL No. PAN-474516			

COMPLEX DESIGN DRAFTING SERVICES

COMPLEX DESIGN

CLIENT: [REDACTED]

PROJECT: RETAIN AND USE UNAUTHORISED ALTERATIONS & CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING

SITE: 50 ROSEWOOD AVENUE
LOT 102 DP 1007447

TITLE: GFA CALCULATION
PROPOSED ALTERATIONS (P)

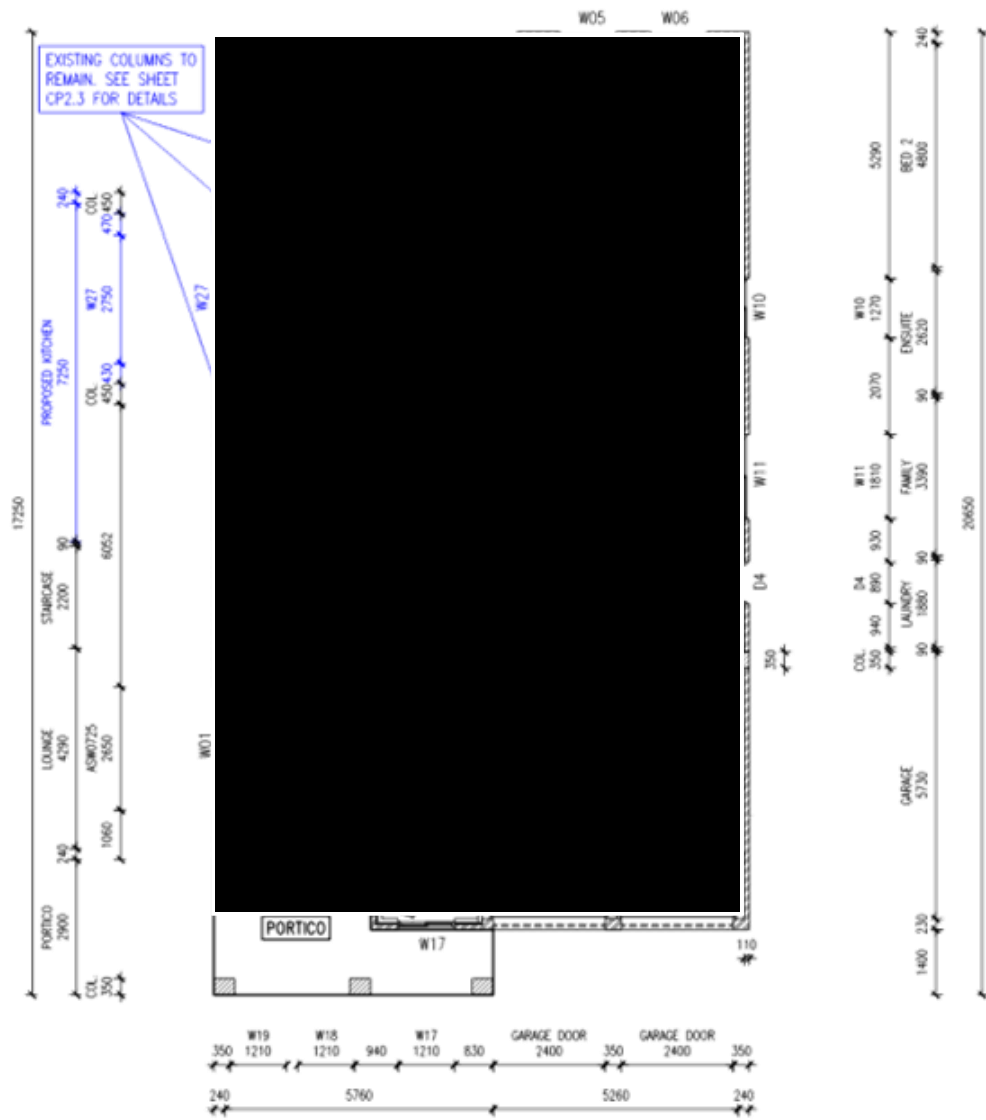
SCALE AT A2: 1:100	DATE: 04/12/2024	DRAWN: MR	CHECKED: AK
SHEET NO: CP7.1	DRAWING NO: A2/22-075	REVISION: D	

NOTE: PROPOSED PLANS ARE PRESENTED IN RELATION TO THE EXISTING APPROVED WORKS TO FACILITATE INDEPENDENT ASSESSMENT OF THE PROPOSED ALTERATIONS. THIS APPROACH ALLOWS COUNCIL TO EVALUATE THE PROPOSED WORKS IN THE CONTEXT OF APPROVED DEVELOPMENT, IRRESPECTIVE OF THE OUTCOME OF THE REQUEST TO RETAIN AND USE EXISTING UNAUTHORISED WORKS.

KEY ->
 BLACK -> EXISTING WITH CONSENT (C), DA-866/2022 AND DA-654/00.
 BLUE -> PROPOSED (P) ALTERATIONS, SEEKING CONSENT TO CONSTRUCT.
 RED -> EXISTING WITHOUT CONSENT, UNAUTHORISED (U) ALTERATIONS SEEKING CONSENT TO RETAIN AND USE.

SHEET CP5.2 INCLUDES THE FOLLOWING PLANNING STATUS TYPES:

- EXISTING WITH CONSENT (C) ALTERATIONS ENDORSED UNDER DA-866/2022.
- PROPOSED (P) ALTERATIONS SEEKING CONSENT TO BE CONSTRUCTED.
- ON THIS SHEET (P) REPRESENTS PROPOSED ALTERATIONS TO THE EXISTING WITH CONSENT ALFRESCO AND KITCHEN TO CONSTRUCT PROPOSED KITCHEN EXTENSION.



GROUND FLOOR PLAN
PROPOSED ALTERATIONS (P)



COMPARISON WITH GROUND FLOOR
EXISTING WITH CONSENT (C),
SEE SHEET C5 FOR APPROVAL.

Notes:

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D	RETAIN AND USE UNAUTHORISED ALTERATIONS AND SEEK CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING	MR	DEC 2024
C	CONSTRUCTION CERTIFICATE APPLICATION NSW PLANNING PORTAL REFERENCE CFI-232358	AK	OCT 2022
B	DEVELOPMENT APPLICATION NSW PLANNING PORTAL REFERENCE PAN-236140	AK	JUN 2022
A	DRAFT ISSUE TO PRESENT TO THE OWNERS	AK	APR 2022
REV	DESCRIPTION	BY	DATE
STATUS: NSW PORTAL No. PAN-474516			

COMPLEX DESIGN DRAFTING SERVICES

CLIENT: [REDACTED]

PROJECT: RETAIN AND USE UNAUTHORISED ALTERATIONS & CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING

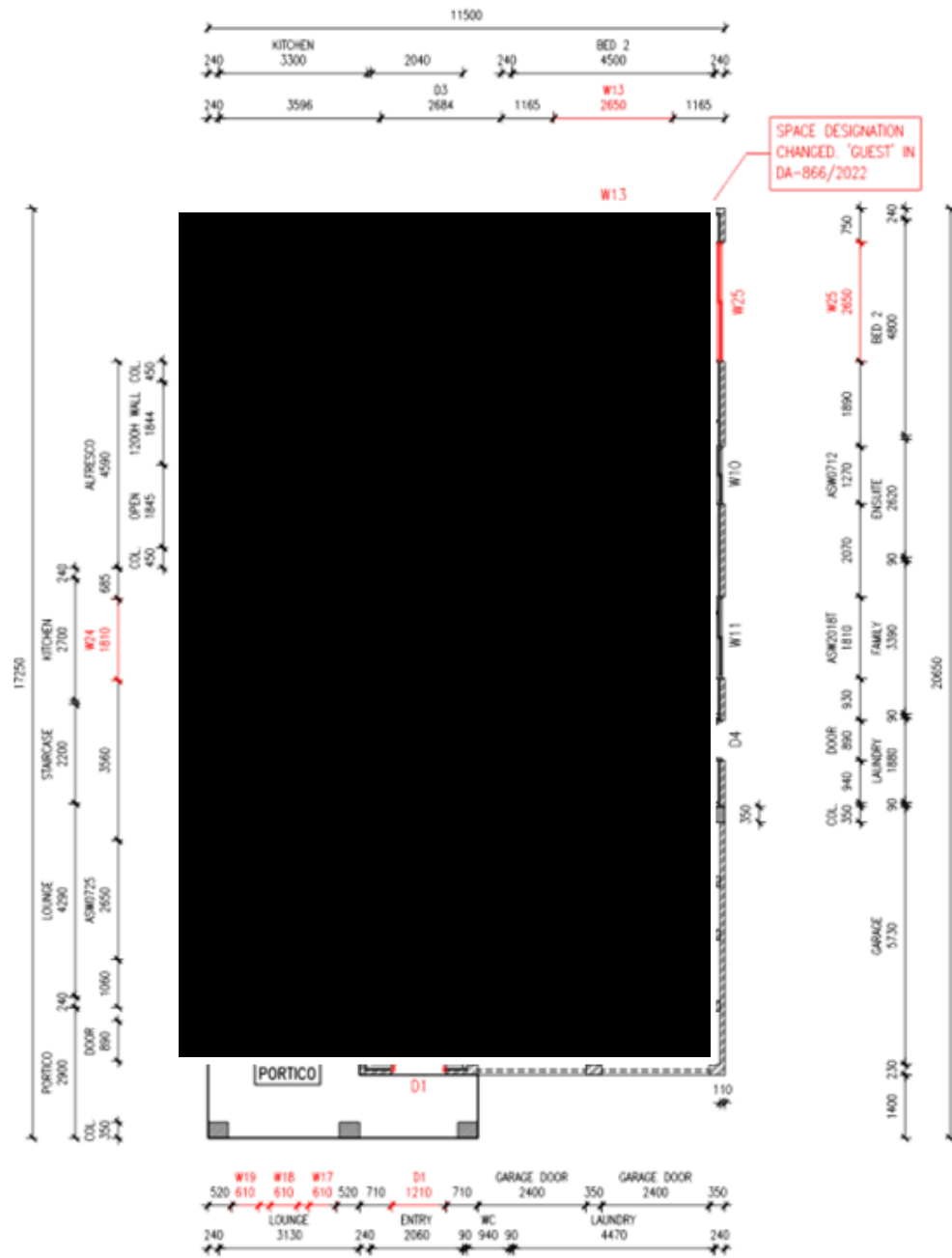
SITE: 50 ROSEWOOD AVENUE LOT 102 DP 1007447			
TITLE: GROUND FLOOR PROPOSED ALTERATIONS (P)			
SCALE AT A2: 1:100	DATE: 04/12/2024	DRAWN: MR	CHECKED: AK
SHEET NO: CP5.2	DRAWING NO: A2/22-075	REVISION: D	

KEY ->

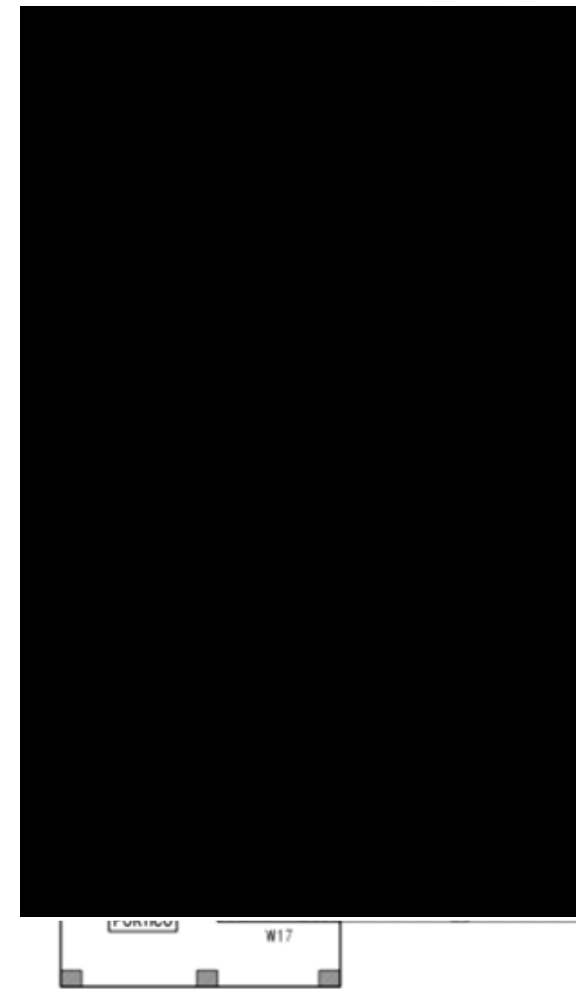
- BLACK -> EXISTING WITH CONSENT (C), DA-866/2022 AND DA-654/00.
- BLUE -> PROPOSED (P) ALTERATIONS, SEEKING CONSENT TO CONSTRUCT.
- RED -> EXISTING WITHOUT CONSENT UNAUTHORISED (U) ALTERATIONS SEEKING CONSENT TO RETAIN AND USE.

SHEET CU5.1 INCLUDES THE FOLLOWING PLANNING STATUS TYPES:

1. EXISTING WITH CONSENT (C) ALTERATIONS APPROVE IN DA-866/2022.
2. EXISTING WITHOUT CONSENT (U) ALTERATIONS SEEKING TO RETAIN AND USE.
3. ON THIS SHEET (U) REPRESENTS THE UNAUTHORISED BUILDING ELEMENTS INTEGRATED WITH THE DWELLING WITH CONSENT. THESE ELEMENTS ARE W13, W17, W18, W19, W24, W25 AND D1) ON GROUND FLOOR. THE SHEET ALSO ILLUSTRATES CHANGE IN SPACE DESIGNATION FOR 'GUEST BEDROOM' AND BRICK VENEER WALLING FOR UNAUTHORISED DEMOLITION OF OLD ASW1218 IN KITCHEN.



GROUND FLOOR PLAN
EXISTING WITHOUT CONSENT (U)



COMPARISON WITH GROUND FLOOR
EXISTING WITH CONSENT (C),
SEE SHEET C5 FOR APPROVAL.

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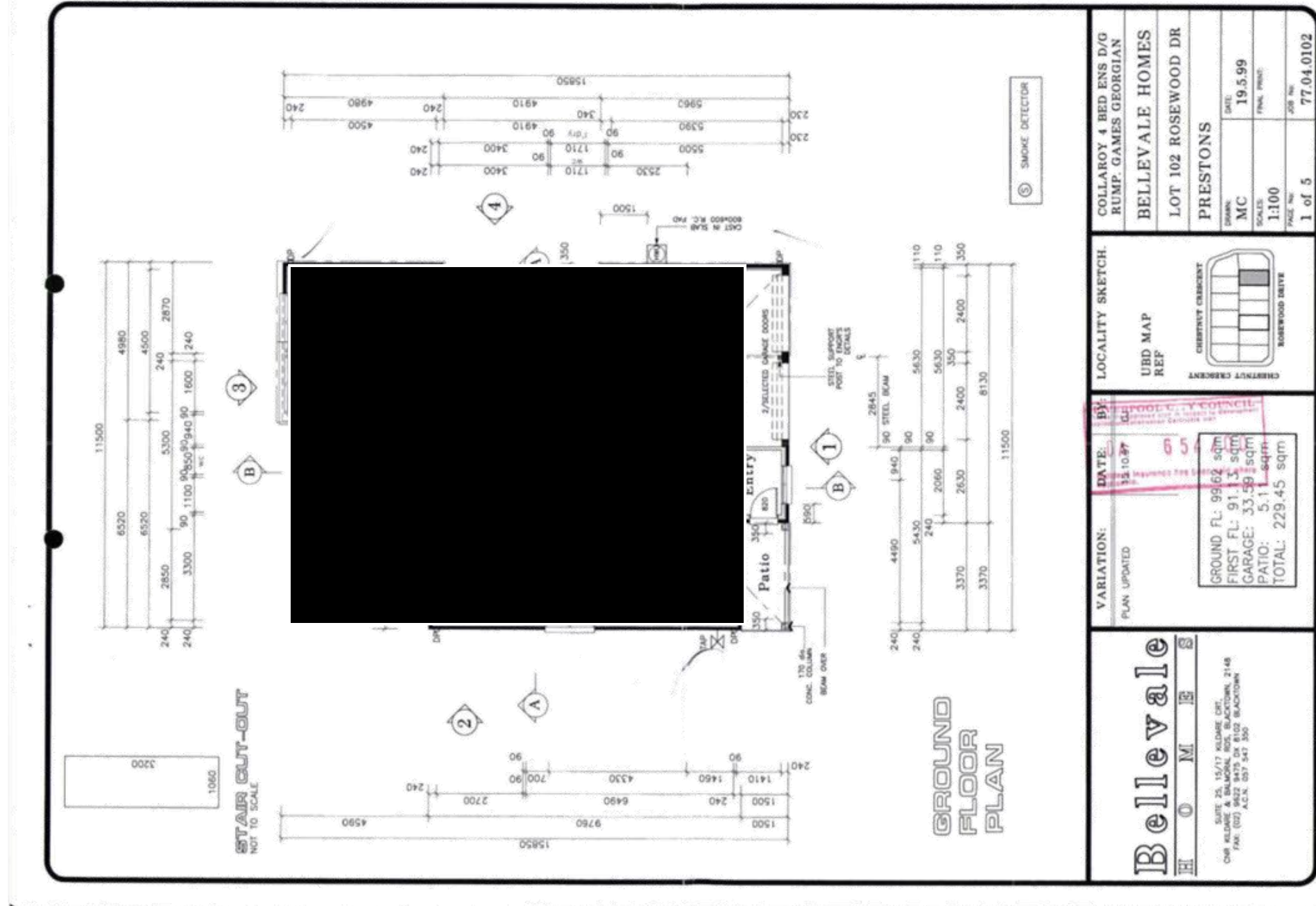
D	RETAIN AND USE UNAUTHORISED ALTERATIONS AND SEEK CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING	MR	DEC 2024
C	CONSTRUCTION CERTIFICATE APPLICATION NSW PLANNING PORTAL REFERENCE CFI-232358	AK	OCT 2022
B	DEVELOPMENT APPLICATION NSW PLANNING PORTAL REFERENCE PAN-236140	AK	JUN 2022
A	DRAFT ISSUE TO PRESENT TO THE OWNERS	AK	APR 2022
REV	DESCRIPTION	BY	DATE
STATUS: NSW PORTAL No. PAN-474516			

COMPLEX DESIGN DRAFTING SERVICES

CLIENT: [REDACTED]

PROJECT: RETAIN AND USE UNAUTHORISED ALTERATIONS & CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING

SITE: 50 ROSEWOOD AVENUE LOT 102 DP 1007447			
TITLE: GROUND FLOOR EXISTING WITHOUT CONSENT (U)			
SCALE AT A2: 1:100	DATE: 04/12/2024	DRAWN: MR	CHECKED: AK
SHEET NO: CU5.1	DRAWING NO: A2/22-075	REVISION: D	



GROUND FLOOR
ORIGINAL DWELLING (DA-654/00)

Bellevalle HOMES
SUITE 25, 15/17 KILMORE CRT.,
OUR KILMORE & BALMORAL BLDG. BLACKTOWN, 2148
TEL: (02) 947 547 500 FAX: (02) 947 547 500

Bellevale Homes
RUMP. GAMES GEORGIAN
LOT 102 ROSEWOOD DR
PRESTONS

DATE: 15.10.24
BY: [Signature]
VARIATION: PLAN UPDATED

GROUND FL: 99.64 sqm
FIRST FL: 91.13 sqm
GARAGE: 33.89 sqm
PATIO: 5.11 sqm
TOTAL: 229.45 sqm

LOCALITY SKETCH:
UBD MAP REF
CRESTVIEW CRESCENT
ROSEWOOD DRIVE

DATE: 19.5.99
DRAWN: MC
SCALE: 1:100
JOB No: 77.04.0102
PAGE No: 1 of 5

Notes:

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REV	DESCRIPTION	BY	DATE
D	RETAIN AND USE UNAUTHORISED ALTERATIONS AND SEEK CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING	MR	DEC 2024
C	CONSTRUCTION CERTIFICATE APPLICATION NSW PLANNING PORTAL REFERENCE CFI-232358	AK	OCT 2022
B	DEVELOPMENT APPLICATION NSW PLANNING PORTAL REFERENCE PAN-236140	AK	JUN 2022
A	DRAFT ISSUE TO PRESENT TO THE OWNERS	AK	APR 2022

STATUS: NSW PORTAL No. PAN-474516

COMPLEX DESIGN DRAFTING SERVICES

COMPLEX DESIGN

CLIENT: [Redacted]

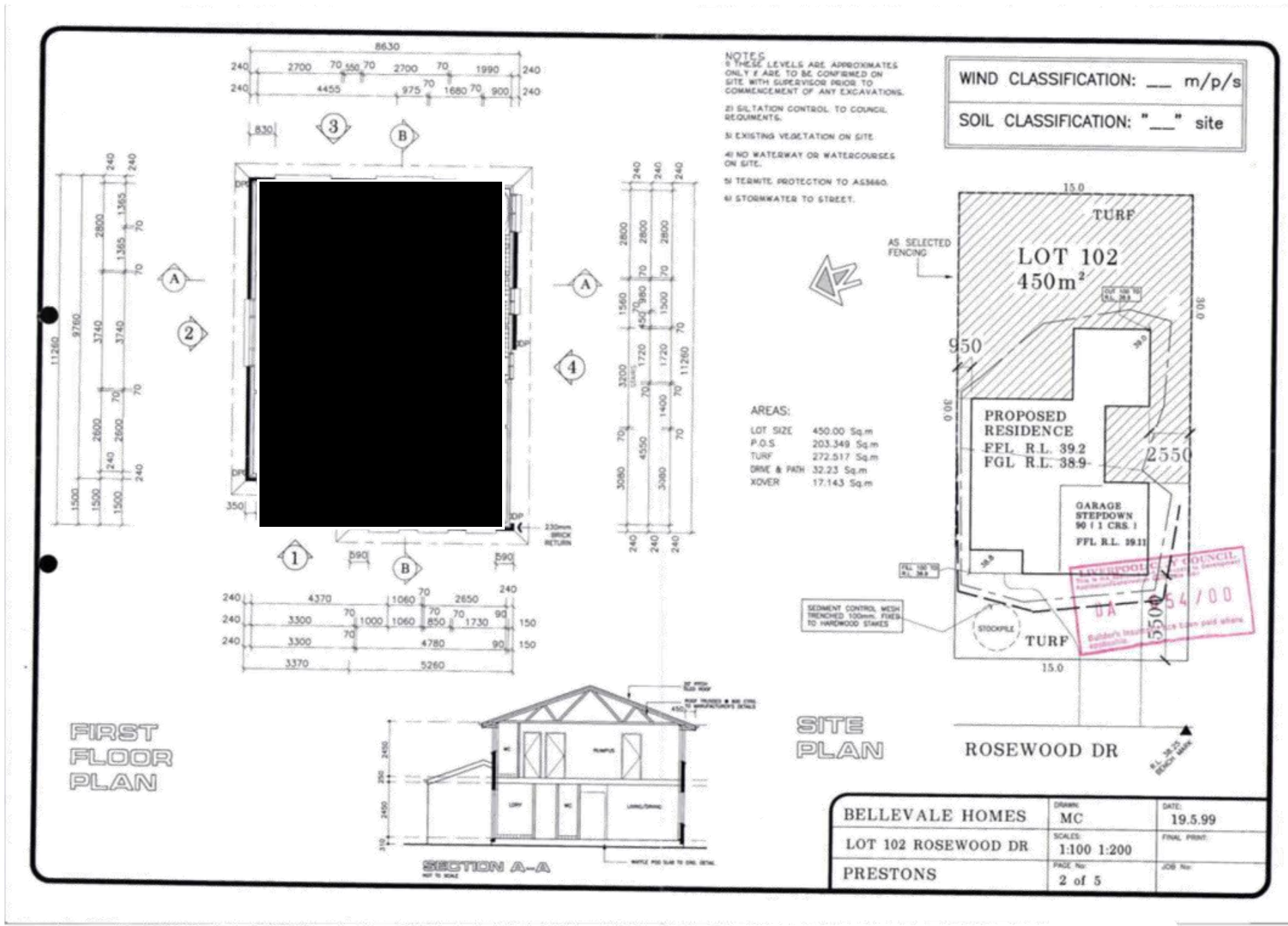
PROJECT: RETAIN AND USE UNAUTHORISED ALTERATIONS & CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING

SITE: 50 ROSEWOOD AVENUE
LOT 102 DP 1007447

TITLE: GROUND FLOOR
DA-654/00

SCALE AT AS	DATE	DRAWN	CHECKED
NTS	04/12/2024	MR	AK

SHEET NO.	DRAWING NO.	REVISION
C3.1	A2/22-075	D



FIRST FLOOR
ORIGINAL DWELLING (DA-654/00)

- NOTES:**
- 1) THESE LEVELS ARE APPROXIMATE ONLY & ARE TO BE CONFIRMED ON SITE WITH SUPERVISOR PRIOR TO COMMENCEMENT OF ANY EXCAVATIONS.
 - 2) SILTATION CONTROL TO COUNCIL REQUIREMENTS.
 - 3) EXISTING VEGETATION ON SITE.
 - 4) NO WATERWAY OR WATERCOURSES ON SITE.
 - 5) TERMITE PROTECTION TO AS3660.
 - 6) STORMWATER TO STREET.

WIND CLASSIFICATION: ___ m/p/s
SOIL CLASSIFICATION: "___" site

AREAS:
LOT SIZE 450.00 Sq.m
P.O.S 203.349 Sq.m
TURF 272.517 Sq.m
DRIVE & PATH 32.23 Sq.m
COVER 17.143 Sq.m

SEDIMENT CONTROL WITH TRENCHED 100mm FIBRE TO HARDWOOD STAKES

SITE PLAN

BELLEVALE HOMES	DRAWN: MC	DATE: 19.5.99
LOT 102 ROSEWOOD DR	SCALE: 1:100 1:200	FINAL PRINT:
PRESTONS	PAGE No: 2 of 5	JOB No:

Notes:

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C	CONSTRUCTION CERTIFICATE APPLICATION NSW PLANNING PORTAL REFERENCE CF1-232358	AK	OCT 2022
B	DEVELOPMENT APPLICATION NSW PLANNING PORTAL REFERENCE PAN-236140	AK	JUN 2022
A	DRAFT ISSUE TO PRESENT TO THE OWNERS	AK	APR 2022
REV:	DESCRIPTION:	BY:	DATE:
STATUS: NSW PORTAL No. PAN-474516			

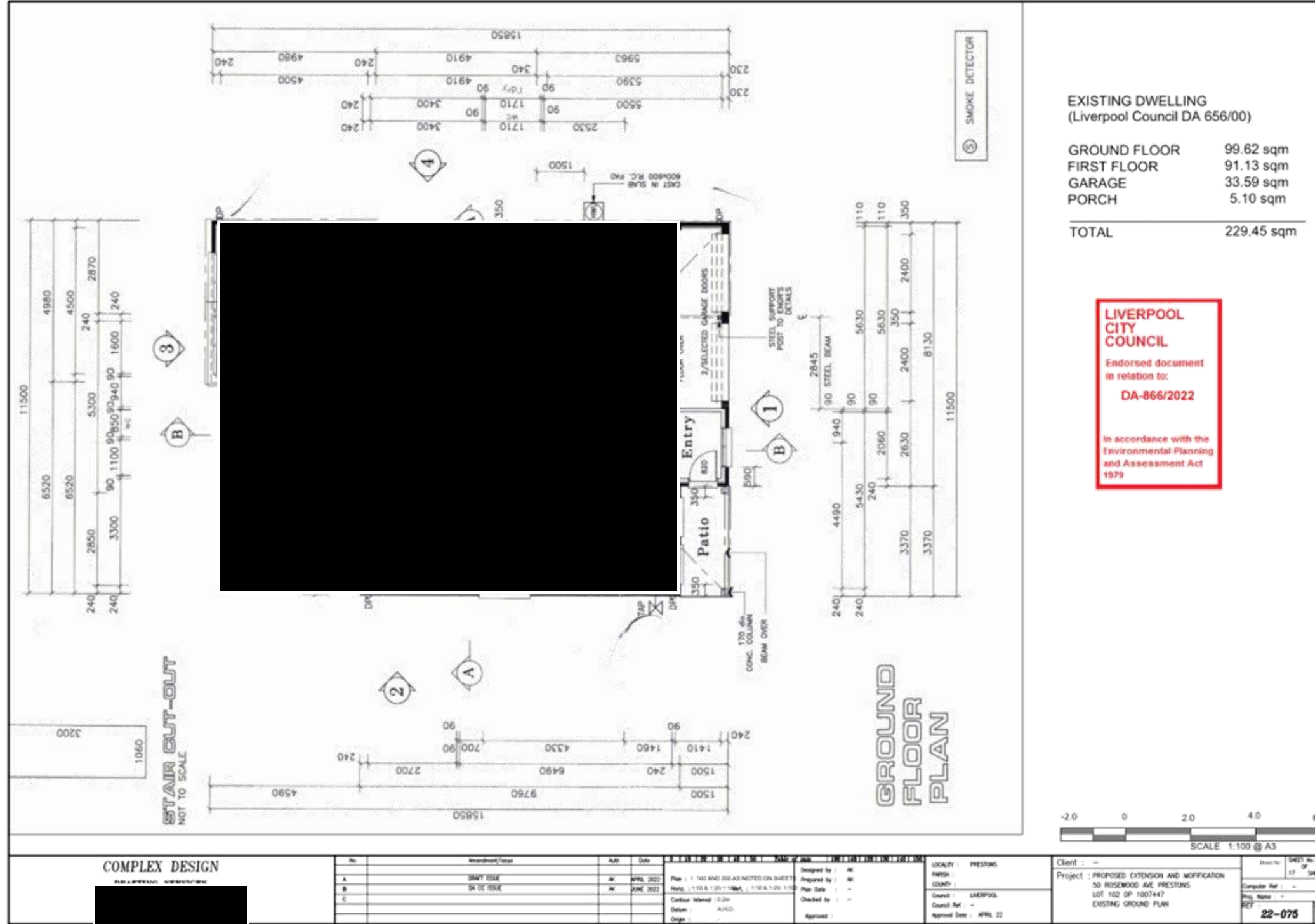
COMPLEX DESIGN DRAFTING SERVICES

COMPLEX DESIGN

CLIENT: [REDACTED]

PROJECT: RETAIN AND USE UNAUTHORISED ALTERATIONS & CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING

SITE: 50 ROSEWOOD AVENUE LOT 102 DP 1007447			
TITLE: FIRST FLOOR DA-654/00			
SCALE AT A2: NTS	DATE: 04/12/2024	DRAWN: MR	CHECKED: AK
SHEET No: C4.1	DRAWING No: A2/22-075	REVISION: D	



EXISTING DWELLING
(Liverpool Council DA 656/00)

GROUND FLOOR	99.62 sqm
FIRST FLOOR	91.13 sqm
GARAGE	33.59 sqm
PORCH	5.10 sqm
TOTAL	229.45 sqm

LIVERPOOL CITY COUNCIL
Endorsed document
in relation to:
DA-866/2022
In accordance with the
Environmental Planning
and Assessment Act
1979

- Notes:**
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COMPLEX DESIGN DRAFTING SERVICES

COMPLEX DESIGN

CLIENT: [REDACTED]

PROJECT: RETAIN AND USE UNAUTHORISED ALTERATIONS & CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING

SITE: 50 ROSEWOOD AVENUE
LOT 102 DP 1007447

TITLE: GROUND FLOOR ORIGINAL DWELLING (C)

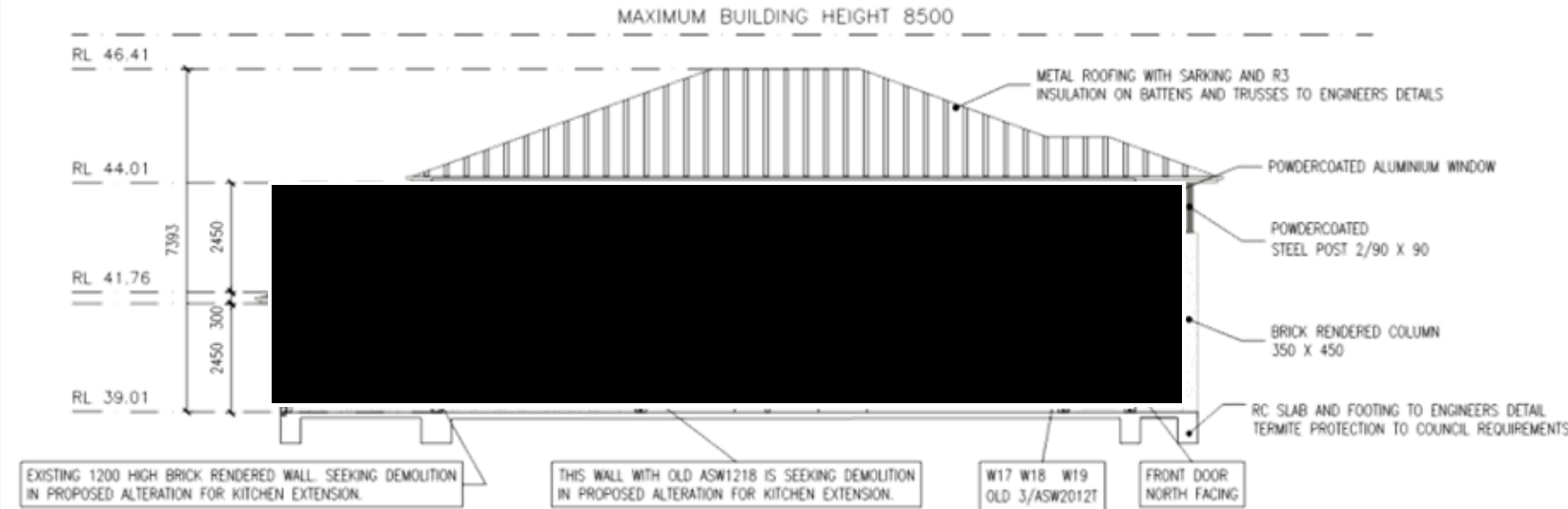
SCALE AT A3	DATE	DRAWN	CHECKED
NTS	04/12/2024	MR	AK
SHEET NO:	DRAWING NO:	REVISION:	
C3	A2/22-075	D	

GROUND FLOOR ORIGINAL DWELLING ENDORSED IN DA-866/2022

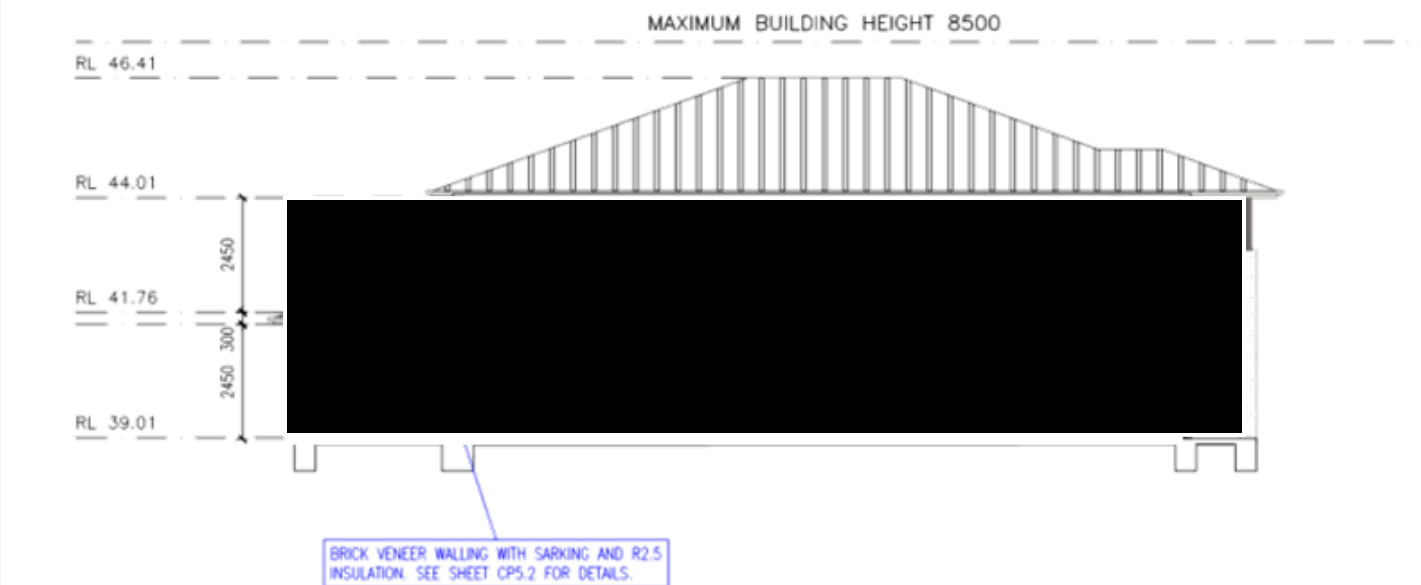
COMPLEX DESIGN

No.	Revised/Issue	Auth.	Date	DESCRIPTION	DESIGNED BY	CHECKED BY	APPROVED BY	DATE	LOCALITY	PROJECT	DATE	SHEET NO. 3 OF 17 SHEETS
A	DRAFT ISSUE	AK	APRIL 2022	Plan : 1:100 AND 200 AS NOTED ON SHEET	AK	AK	AK	APR 2022	PRESTONS	PROPOSED EXTENSION AND MODIFICATION	04/12/2024	17
B	DA OF ISSUE	AK	JUNE 2022	Notes : 1:10 & 1:20 1:100 & 1:200 1:100 & 1:200 1:100 & 1:200 1:100 & 1:200	AK	AK	AK	JUN 2022	LIVERPOOL	50 ROSEWOOD AVE PRESTONS		
C				Contract Number : C-20						LOT 102 DP 1007447		
				Design : AK/D						EXISTING GROUND PLAN		
				Drawn : AK/D								
				Checked : AK/D								
				Approved : AK/D								
				Drawn : AK/D								
				Checked : AK/D								
				Approved : AK/D								

KEY → BLACK → EXISTING WITH CONSENT (C), DA-866/2022 AND DA-654/00.
 BLUE → PROPOSED (P) ALTERATIONS SEEKING CONSENT TO CONSTRUCT.
 RED → EXISTING WITHOUT CONSENT UNAUTHORISED (U) ALTERATIONS SEEKING CONSENT TO RETAIN AND USE.



SECTION A-A (VIEW FROM NORTH)
EXISTING WITH CONSENT (C)



SECTION A-A (VIEW FROM NORTH)
PROPOSED (P)

NOTE:

THE PROPOSED SECTION VIEWS ARE PRESENTED IN RELATION TO THE EXISTING APPROVED WORKS TO FACILITATE INDEPENDENT ASSESSMENT OF THE WORKS. THIS APPROACH ALLOWS COUNCIL TO EVALUATE THE PROPOSED WORKS IN THE CONTEXT OF APPROVED DEVELOPMENT, IRRESPECTIVE OF THE OUTCOME OF THE REQUEST TO RETAIN AND USE EXISTING UNAUTHORISED WORKS.

Notes:

1. THE COPYRIGHT OF THIS DRAWING IS VESTED IN COMPLEX DESIGN DRAFTING SERVICES. THIS DRAWING MAY NOT BE REPRODUCED OR TRANSMITTED BY ANY MEANS IN PART OR IN WHOLE FOR USE OTHER THAN ITS INTENDED USE WITHOUT WRITTEN PERMISSION OF COMPLEX DESIGN DRAFTING SERVICES.
2. FIGURED DIMENSIONS ARE TO BE USED IN PREFERENCE TO SCALING. CONTRACTOR TO CHECK ALL DIMENSIONS PRIOR TO THE COMMENCEMENT OF WORK.
3. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT DOCUMENTS ENDORSED BY LIVERPOOL CITY COUNCIL IN RELATION TO THE EXISTING CONSENT UNDER DA-866/2022, APPROVED 19 SEPTEMBER 2022.
4. TO ESTABLISH THE BACKGROUND, SCOPE AND CONTEXT OF THE WORKS IN THIS PLAN, THE ORIGINAL CONSENT FOR THE DWELLING UNDER DA-654/00, APPROVED 6 SEPTEMBER 1999, BY LIVERPOOL CITY COUNCIL, SHOULD BE REFERRED TO AS REQUIRED.

D	RETAIN AND USE UNAUTHORISED ALTERATIONS AND SEEK CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING	MR	DEC 2024
C	CONSTRUCTION CERTIFICATE APPLICATION NSW PLANNING PORTAL REFERENCE CFT-232358	AK	OCT 2022
B	DEVELOPMENT APPLICATION NSW PLANNING PORTAL REFERENCE PAN-236140	AK	JUN 2022
A	DRAFT ISSUE TO PRESENT TO THE OWNERS	AK	APR 2022
REV	DESCRIPTION	BY	DATE
STATUS: NSW PORTAL No. PAN-474516			

COMPLEX DESIGN DRAFTING SERVICES

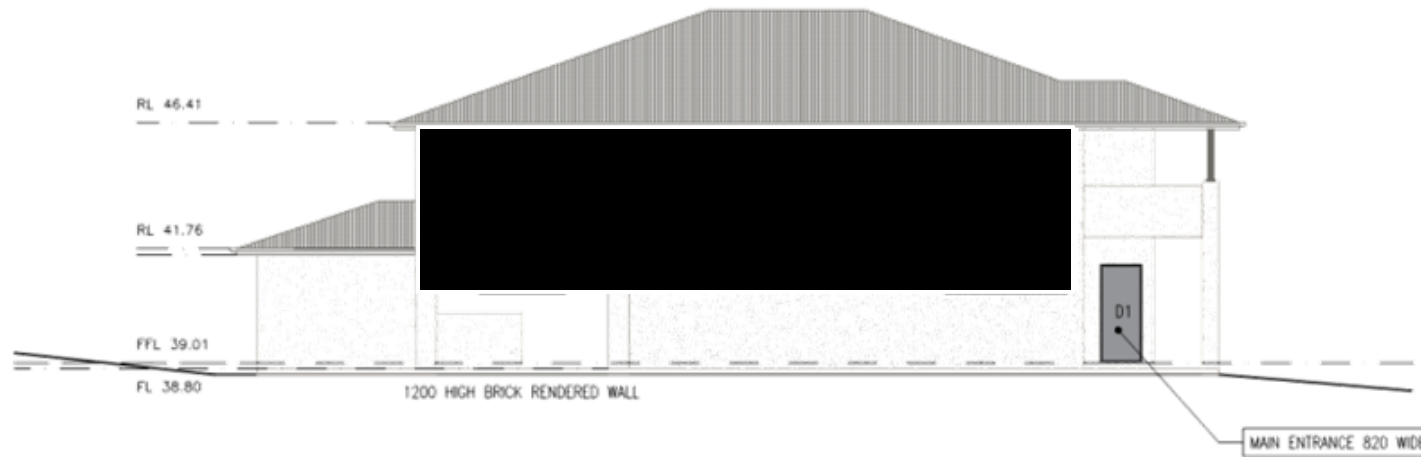
CLIENT: [REDACTED]

PROJECT: RETAIN AND USE UNAUTHORISED ALTERATIONS & CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING

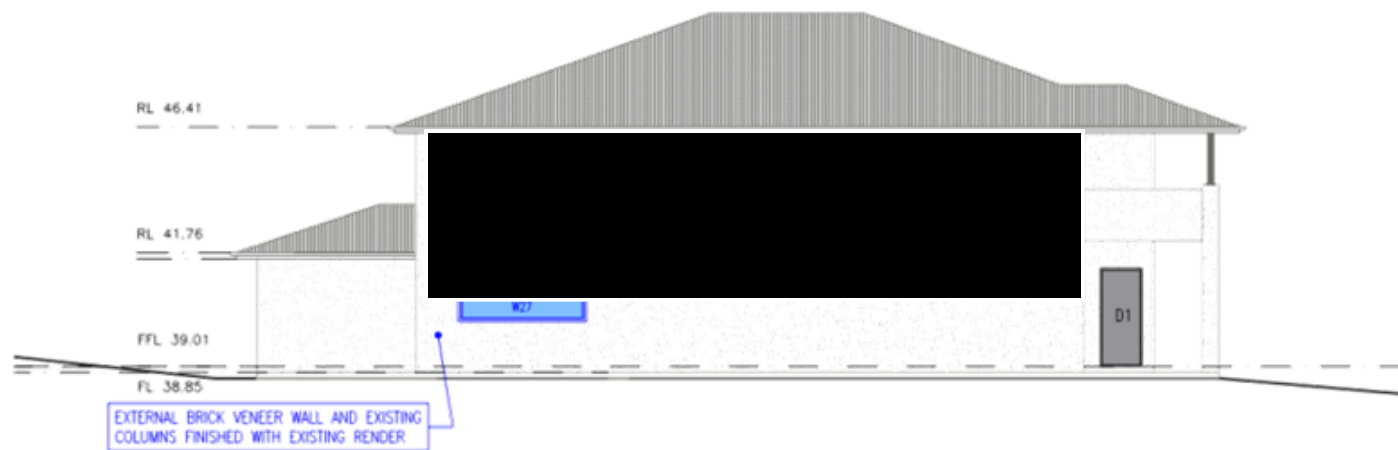
SITE: 50 ROSEWOOD AVENUE
LOT 102 DP 1007447

TITLE: SECTION A-A
PROPOSED ALTERATIONS (P)

SCALE AT A2	DATE	DRAWN	CHECKED
1:100	04/12/2024	MR	AK
SHEET NO.	DRAWING NO.	REVISION	
CP9.6	A2/22-075	D	



ELEVATION NORTH
EXISTING WITH CONSENT (DA-866/2022)



ELEVATION NORTH
PROPOSED (P)

KEY

- BLACK -> EXISTING WITH CONSENT (C), DA-866/2022 AND DA-654/00.
- BLUE -> PROPOSED (P) ALTERATIONS, SEEKING CONSENT TO CONSTRUCT.
- RED -> EXISTING WITHOUT CONSENT, UNAUTHORISED (U) ALTERATIONS SEEKING TO RETAIN AND USE.

SHEET CP9.2 INCLUDES THE FOLLOWING PLANNING STATUS TYPES:

1. EXISTING WITH CONSENT (C) ALTERATIONS ENDORSED UNDER DA-866/2022.
2. PROPOSED (P) ALTERATIONS SEEKING CONSENT TO CONSTRUCT.
3. ON THIS SHEET, PROPOSED ALTERATIONS REFERS TO ALTERATIONS TO THE EXISTING WITH CONSENT (DA-866/2022) ALFRESCO AND EXISTING WITH CONSENT (DA-654/00) KITCHEN. THIS WORK REQUIRES ADDITION OF WINDOW, W27 ON NORTH ELEVATION.

NOTE:

THE PROPOSED PLANS ARE PRESENTED IN RELATION TO THE EXISTING APPROVED WORKS TO FACILITATE INDEPENDENT ASSESSMENT OF THE PROPOSED ALTERATIONS. THIS APPROACH ALLOWS COUNCIL TO EVALUATE THE PROPOSED WORKS IN THE CONTEXT OF APPROVED DEVELOPMENT, IRRESPECTIVE OF THE OUTCOME OF THE REQUEST TO RETAIN AND USE EXISTING UNAUTHORISED WORKS.

Notes:

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4. TO ESTABLISH THE BACKGROUND, SCOPE AND CONTEXT OF THE WORKS IN THIS PLAN, THE ORIGINAL CONSENT FOR THE DWELLING UNDER DA-654/00, APPROVED 6 SEPTEMBER 1999, BY LIVERPOOL CITY COUNCIL, SHOULD BE REFERRED TO AS REQUIRED.

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C	CONSTRUCTION CERTIFICATE APPLICATION NSW PLANNING PORTAL REFERENCE CFT-232358	AK	OCT 2022
B	DEVELOPMENT APPLICATION NSW PLANNING PORTAL REFERENCE PAN-236140	AK	JUN 2022
A	DRAFT ISSUE TO PRESENT TO THE OWNERS	AK	APR 2022
REV	DESCRIPTION	BY	DATE
STATUS: NSW PORTAL No. PAN-474516			

COMPLEX DESIGN DRAFTING SERVICES

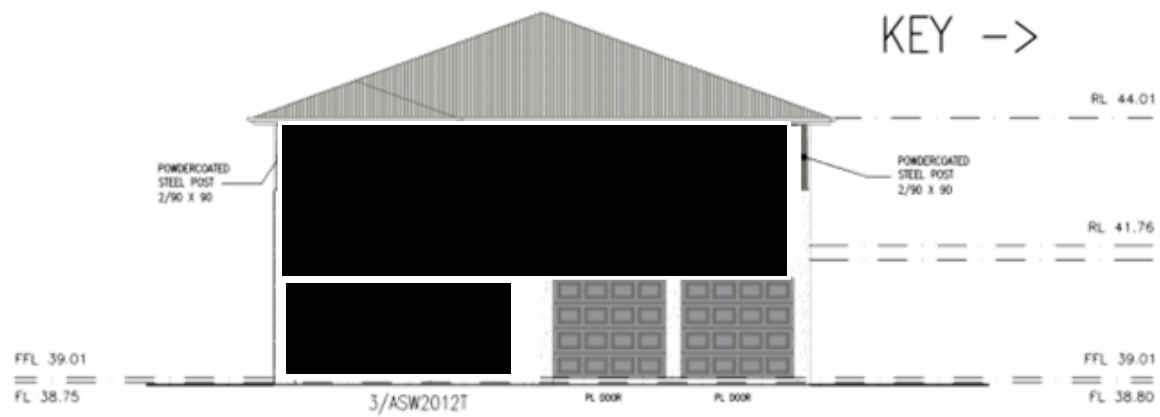
CLIENT: [REDACTED]

PROJECT: RETAIN AND USE UNAUTHORISED ALTERATIONS & CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING

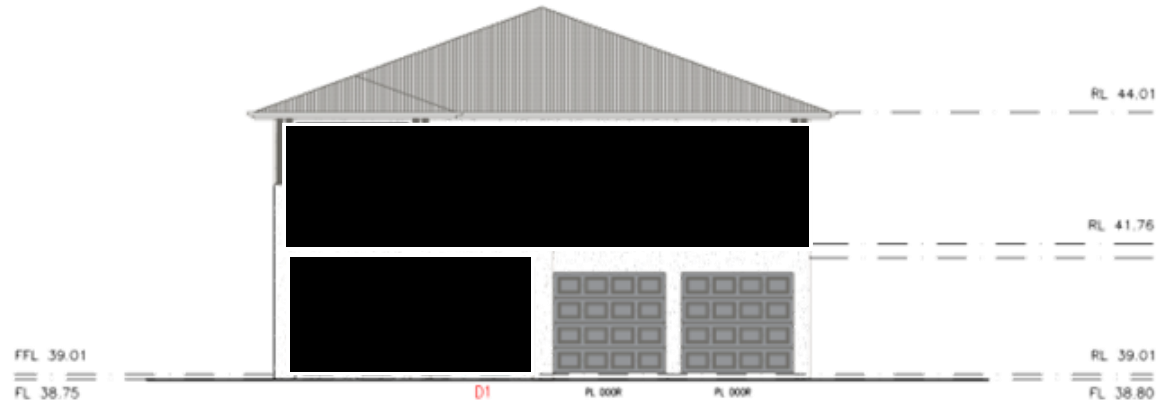
SITE: 50 ROSEWOOD AVENUE
LOT 102 DP 1007447

TITLE: ELEVATION NORTH
PROPOSED ALTERATIONS (P)

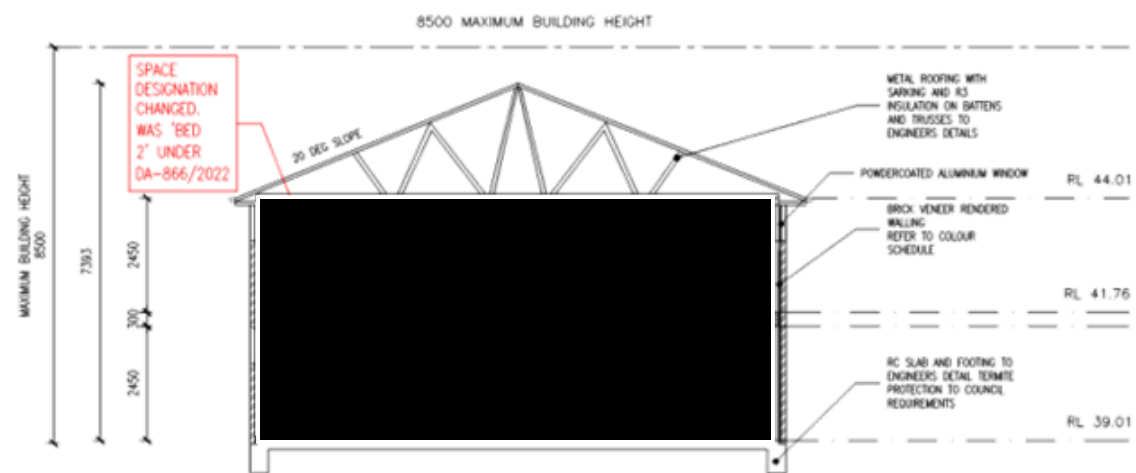
SCALE AT A2: 1:100	DATE: 04/12/2024	DRAWN: MR	CHECKED: AK
SHEET NO: CP9.2	DRAWING NO: A2/22-075	REVISION: D	



ELEVATION WEST
EXISTING WITH CONSENT (DA-866/2022)



ELEVATION WEST
EXISTING WITHOUT CONSENT (U)



SECTION B-B
(UNAFFECTED EXCEPT CHANGE IN SPACE DESIGNATION)

BLACK -> EXISTING WITH CONSENT (C), DA-866/2022 AND DA-654/00.
BLUE -> PROPOSED (P) ALTERATIONS SEEKING CONSENT TO CONSTRUCT.
RED -> EXISTING WITHOUT CONSENT, UNAUTHORISED (U) ALTERATIONS SEEKING CONSENT TO RETAIN AND USE.

SHEET CUB.4 INCLUDES THE FOLLOWING PLANNING STATUS TYPES:

1. EXISTING WITH CONSENT (C) ALTERATIONS ENDORSED UNDER DA-866/2022.
2. EXISTING WITHOUT CONSENT (U) ALTERATIONS SEEKING TO RETAIN AND USE.
3. ON THIS SHEET (U) REPRESENTS THE UNAUTHORISED BUILDING ELEMENTS INTEGRATED WITH THE DWELLING WITH CONSENT. THESE ELEMENTS ARE (W17, W18, W19 AND D1).



ELEVATION NORTH IN DA-654/00. COMPARISON OF STREETScape AND AMENITY WITH OLD FRONT DOOR NOT FACING THE STREET.

Notes:

1. THE COPYRIGHT OF THIS DRAWING IS VESTED IN COMPLEX DESIGN DRAFTING SERVICES. THIS DRAWING MAY NOT BE REPRODUCED OR TRANSMITTED BY ANY MEANS IN PART OR IN WHOLE FOR USE OTHER THAN ITS INTENDED USE WITHOUT WRITTEN PERMISSION OF COMPLEX DESIGN DRAFTING SERVICES.
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D	RETAIN AND USE UNAUTHORISED ALTERATIONS AND SEEK CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING	MR	DEC 2024
C	CONSTRUCTION CERTIFICATE APPLICATION NSW PLANNING PORTAL REFERENCE CFI-232358	AK	OCT 2022
B	DEVELOPMENT APPLICATION NSW PLANNING PORTAL REFERENCE PAN-236140	AK	JUN 2022
A	DRAFT ISSUE TO PRESENT TO THE OWNERS	AK	APR 2022
REV	DESCRIPTION	BY	DATE
STATUS: NSW PORTAL No. PAN-474516			

COMPLEX DESIGN DRAFTING SERVICES

COMPLEX DESIGN

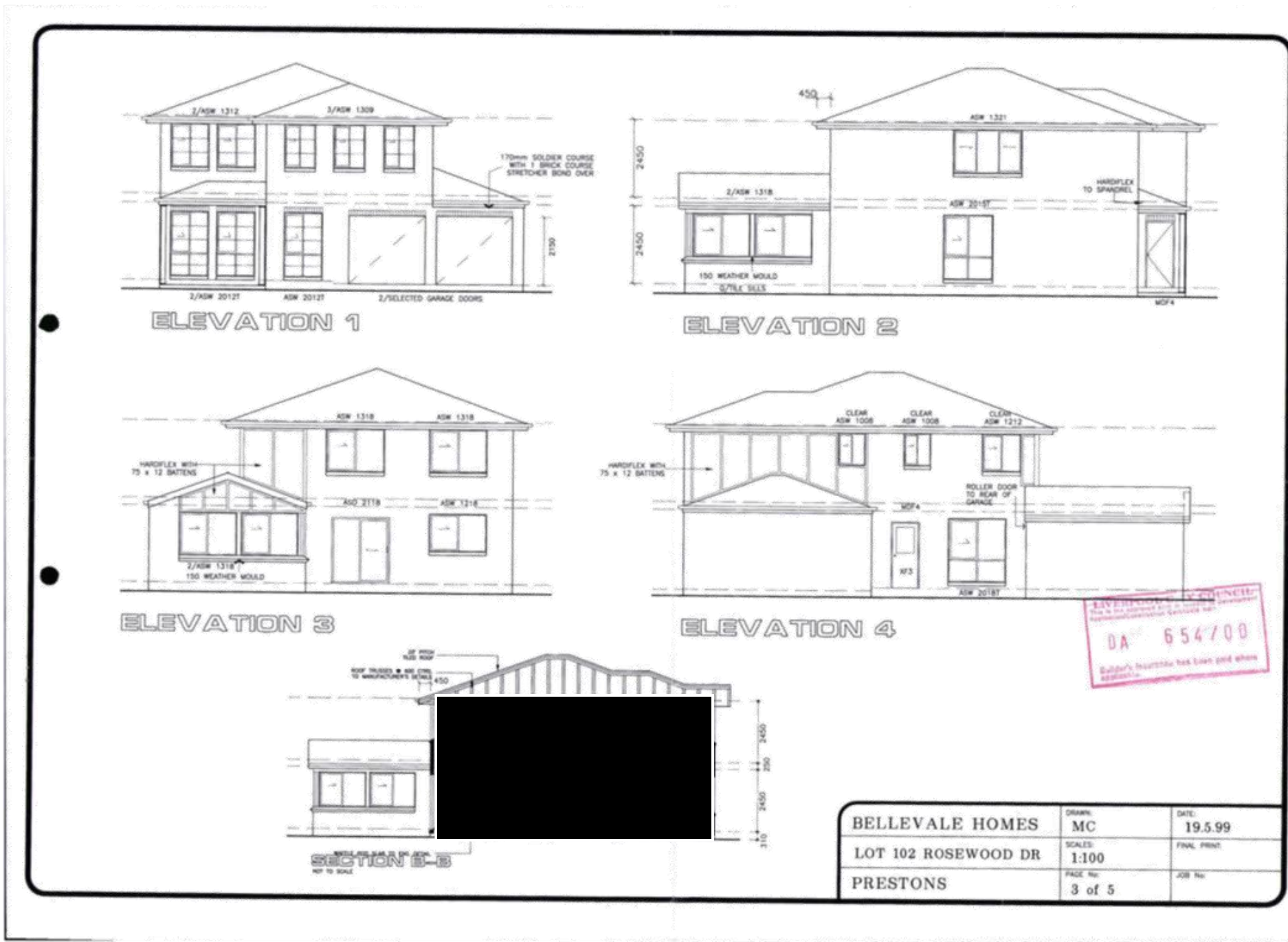
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PROJECT: RETAIN AND USE UNAUTHORISED ALTERATIONS & CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING

SITE: 50 ROSEWOOD AVENUE
LOT 102 DP 1007447

TITLE: ELEVATION & SECTION - WEST
EXISTING WITHOUT CONSENT (U)

SCALE AT A2	DATE	DRAWN	CHECKED
1:100	04/12/2024	MR	AK
SHEET NO.	DRAWING NO.	REVISION	
CUB.4	A2/22-075	D	



ELEVATION AND SECTION
ORIGINAL DWELLING (DA-654/00)

Notes:

1. THE COPYRIGHT OF THE DRAWING IS VESTED IN COMPLEX DESIGN DRAFTING SERVICES. THIS DRAWING MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY MANNER IN PART OR IN WHOLE FOR USE OTHER THAN ITS INTENDED USE WITHOUT WRITTEN PERMISSION OF COMPLEX DESIGN DRAFTING SERVICES.
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D	RETAIN AND USE UNAUTHORISED ALTERATIONS AND SEEK CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING	MR	DEC 2024
C	CONSTRUCTION CERTIFICATE APPLICATION NSW PLANNING PORTAL REFERENCE CFI-232358	AK	OCT 2022
B	DEVELOPMENT APPLICATION NSW PLANNING PORTAL REFERENCE PAN-236140	AK	JUN 2022
A	DRAFT ISSUE TO PRESENT TO THE OWNERS	AK	APR 2022
REV	DESCRIPTION	BY	DATE
STATUS: NSW PORTAL No. PAN-474516			

COMPLEX DESIGN DRAFTING SERVICES
COMPLEX DESIGN

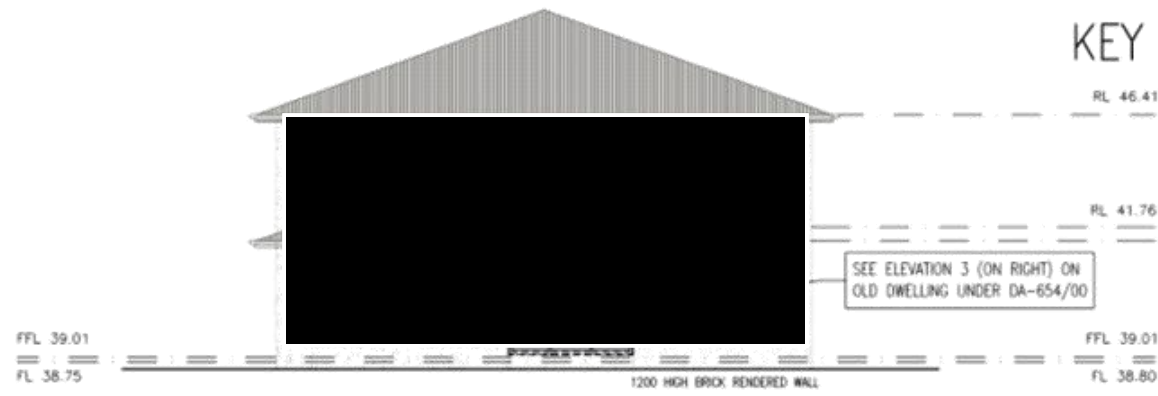
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PROJECT: RETAIN AND USE UNAUTHORISED ALTERATIONS & CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING

SITE: 50 ROSEWOOD AVENUE
LOT 102 DP 1007447

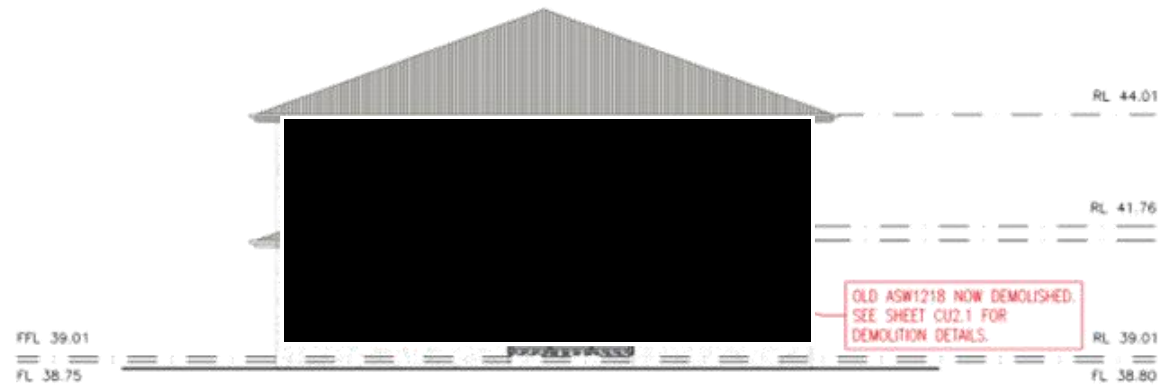
TITLE: ELEVATION & SECTION
DA-654/00

SCALE AT A2	DATE	DRAWN	CHECKED
NTS	04/12/2024	MR	AK
SHEET NO.	DRAWING NO.	REVISION	
C4.2	A2/22-075	D	

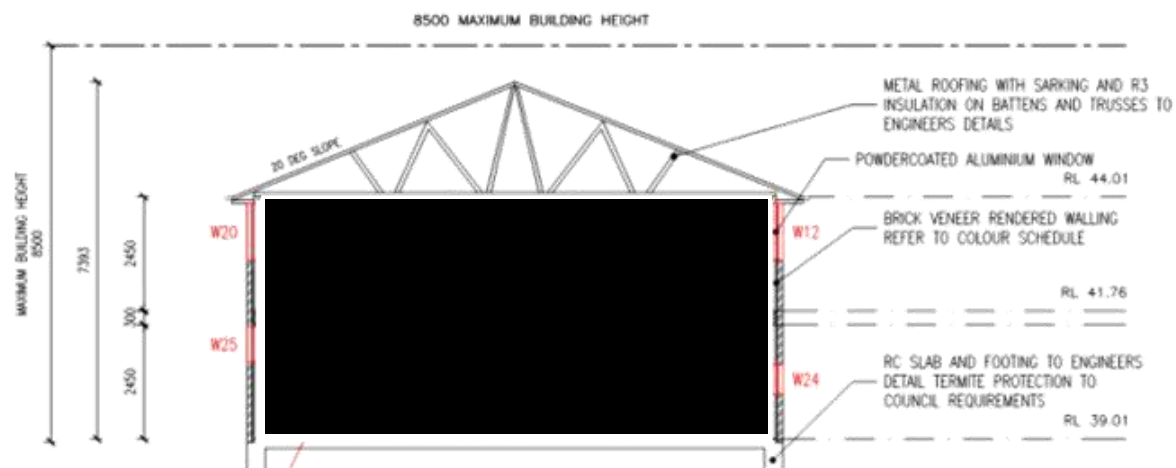
BELLEVALE HOMES	DRAWN: MC	DATE: 19.5.99
LOT 102 ROSEWOOD DR	SCALE: 1:100	FINAL PRINT
PRESTONS	PAGE No: 3 of 5	JOB No:



ELEVATION EAST
EXISTING WITH CONSENT (DA-866/2022)



ELEVATION EAST
EXISTING WITHOUT CONSENT (U)



SECTION C-C
EXISTING WITHOUT CONSENT (U)

KEY -> BLACK -> EXISTING WITH CONSENT (C). DA-866/2022 AND DA-654/00.
BLUE -> PROPOSED (P) ALTERATIONS SEEKING CONSENT TO CONSTRUCT.
RED -> EXISTING WITHOUT CONSENT UNAUTHORISED (U) ALTERATIONS SEEKING CONSENT TO RETAIN AND USE.

SHEET CUB.1 INCLUDES THE FOLLOWING PLANNING STATUS TYPES:

- EXISTING WITH CONSENT (C) ALTERATIONS ENDORSED UNDER DA-866/2022.
- EXISTING WITHOUT CONSENT (U) ALTERATIONS SEEKING TO RETAIN AND USE.
- ON THIS SHEET (U) REPRESENTS THE UNAUTHORISED WINDOWS (W12, W13, W20 AND W24), AND THE OLD ASW1218 SUBJECT TO UNAUTHORISED DEMOLITION.



ELEVATION EAST IN ORIGINAL DA-654/00
SHOWING OLD WINDOW ASW1218. SEE SHEET C4.2

Notes:

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D	RETAIN AND USE UNAUTHORISED ALTERATIONS AND SEEK CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING	MR	DEC 2024
C	CONSTRUCTION CERTIFICATE APPLICATION NSW PLANNING PORTAL REFERENCE CFI-232358	AK	OCT 2022
B	DEVELOPMENT APPLICATION NSW PLANNING PORTAL REFERENCE PAN-236140	AK	JUN 2022
A	DRAFT ISSUE TO PRESENT TO THE OWNERS	AK	APR 2022
REV	DESCRIPTION	BY	DATE
STATUS: NSW PORTAL No. PAN-474516			

COMPLEX DESIGN DRAFTING SERVICES

COMPLEX DESIGN

CLIENT:	
PROJECT:	RETAIN AND USE UNAUTHORISED ALTERATIONS & CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING

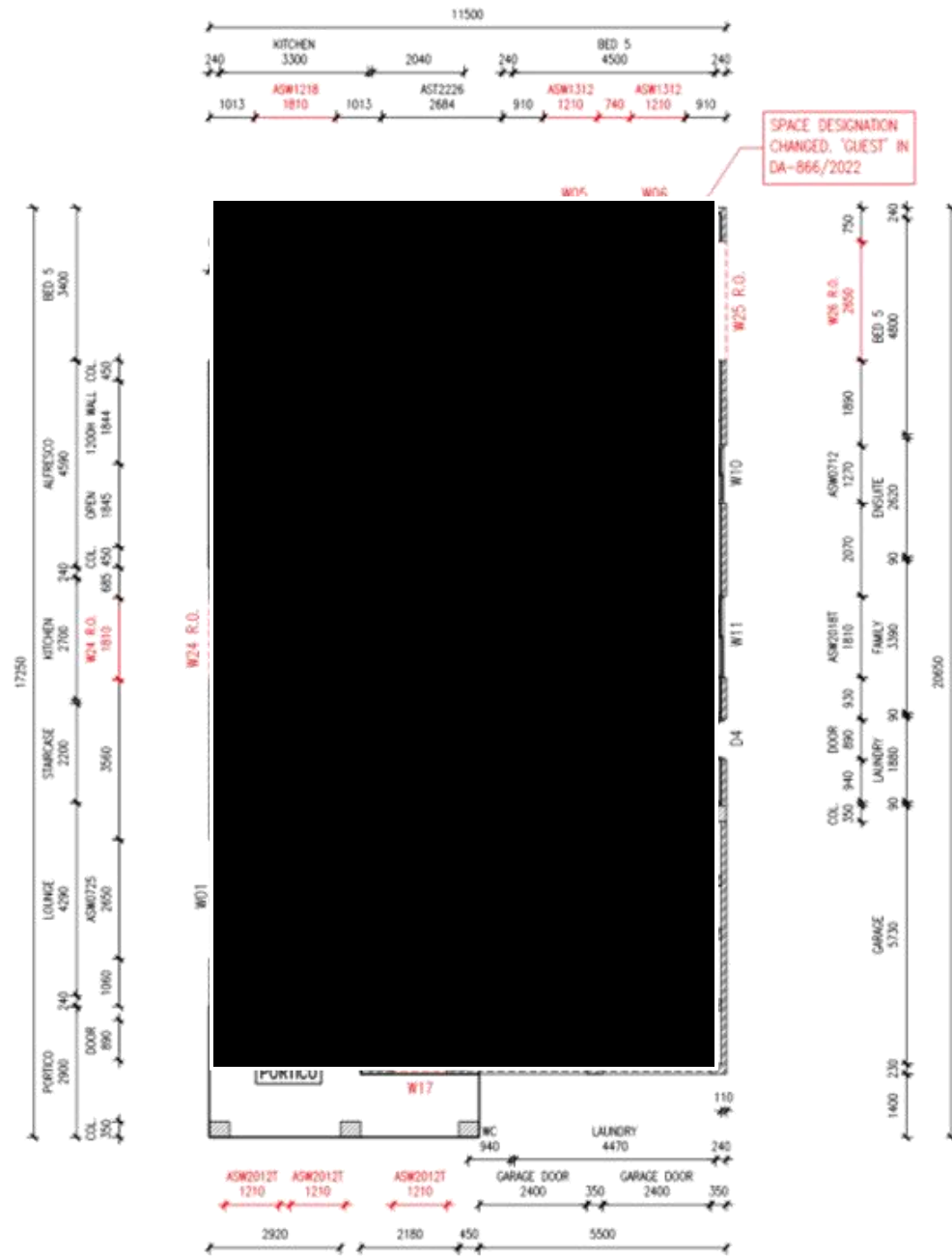
SITE:	50 ROSEWOOD AVENUE LOT 102 DP 1007447		
TITLE:	ELEVATION & SECTION - EAST EXISTING WITHOUT CONSENT (U)		
SCALE AT A2:	DATE:	DRAWN:	CHECKED:
1:100	04/12/2024	MR	AK
SHEET NO:	DRAWING NO:	REVISION:	
CUB.1	A2/22-075	D	

SEE SHEET C2 FOR APPROVED DEMOLITION

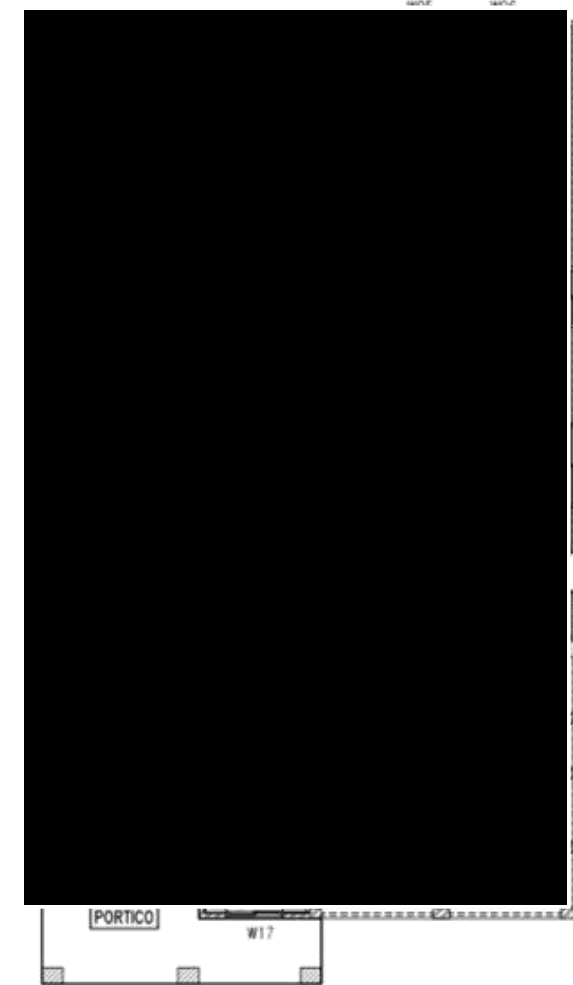
KEY -> BLACK -> EXISTING WITH CONSENT (C), DA-866/2022 AND DA-654/00.
BLUE -> PROPOSED (P) ALTERATIONS, SEEKING CONSENT TO CONSTRUCT.
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SHEET CU2.1 INCLUDES THE FOLLOWING PLANNING STATUS TYPES:

- EXISTING WITH CONSENT (C) ALTERATIONS APPROVED IN DA-866/2022.
- EXISTING WITHOUT CONSENT (U) ALTERATIONS SEEKING TO RETAIN AND USE. ON THIS SHEET (U) REPRESENTS THE UNAUTHORISED DEMOLITION TO GROUND FLOOR TO CONSTRUCT EXISTING WITHOUT CONSENT BUILDING ELEMENTS (W13, W17, W18, W19, W24, W25 AND D1) ON GROUND FLOOR. SEE SHEET CU5.1 FOR DETAILS.



GROUND FLOOR DEMOLITION PLAN EXISTING WITHOUT CONSENT (U).



COMPARISON WITH GROUND FLOOR EXISTING WITH CONSENT (C), SEE SHEET C5 FOR APPROVAL.

Notes:

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C	CONSTRUCTION CERTIFICATE APPLICATION NSW PLANNING PORTAL REFERENCE CFI-232358	AK	OCT 2022
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A	DRAFT ISSUE TO PRESENT TO THE OWNERS	AK	APR 2022
REV	DESCRIPTION	BY	DATE
STATUS: NSW PORTAL No. PAN-474516			

COMPLEX DESIGN DRAFTING SERVICES

COMPLEX DESIGN

CLIENT: [REDACTED]

PROJECT: RETAIN AND USE UNAUTHORISED ALTERATIONS & CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING

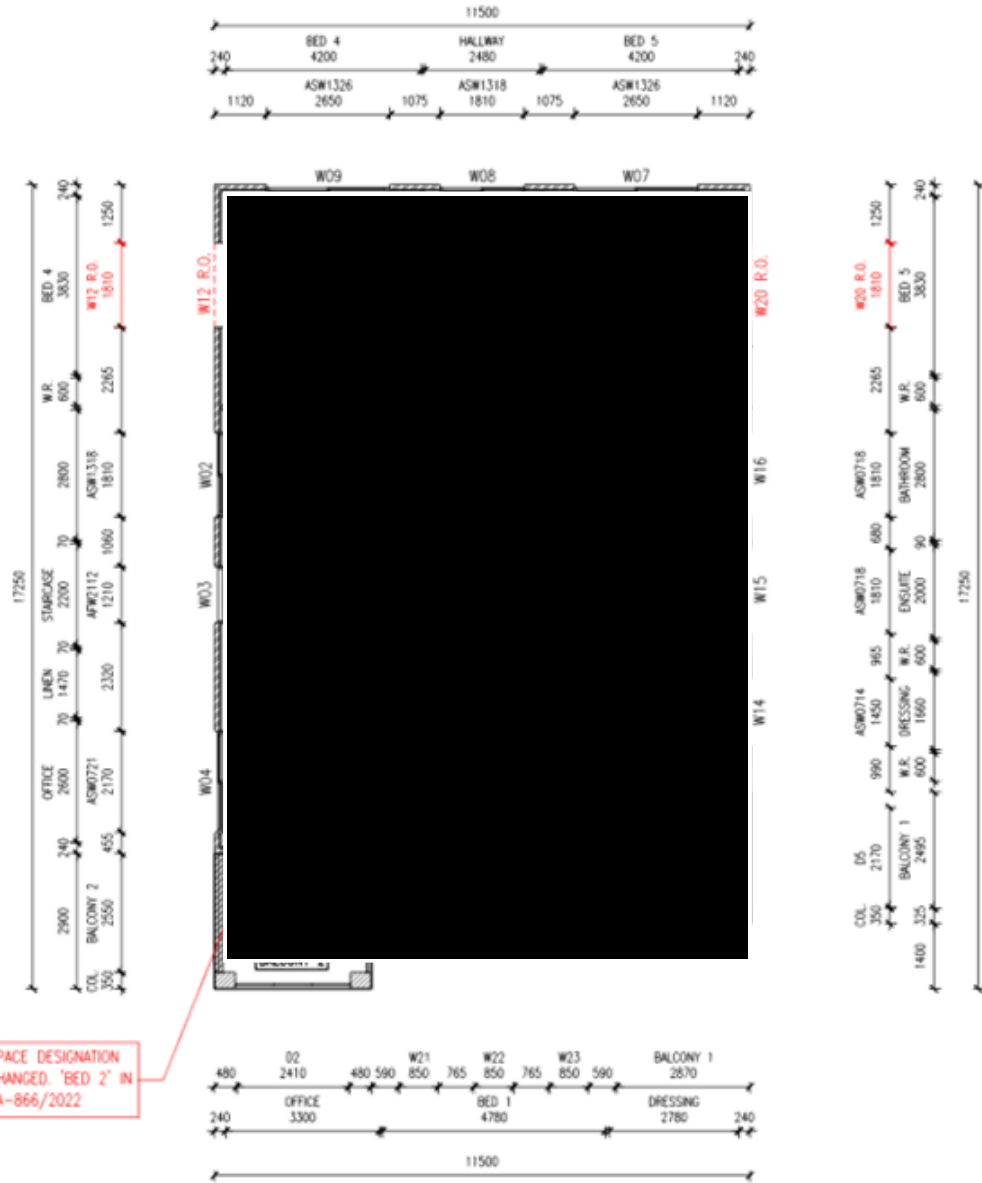
SITE: 50 ROSEWOOD AVENUE LOT 102 DP 1007447			
TITLE: DEMOLITION GROUND FLOOR EXISTING WITHOUT CONSENT (U)			
SCALE AT A2: 1:100	DATE: 04/12/2024	DRAWN: MR	CHECKED: AK
SHEET NO: CU2.1	DRAWING NO: A2/22-075	REVISION: D	

SEE SHEET C2 FOR APPROVED DEMOLITION

KEY → BLACK → EXISTING WITH CONSENT (C), DA-866/2022 AND DA-654/00.
 BLUE → PROPOSED (P) ALTERATIONS, SEEKING CONSENT TO CONSTRUCT.
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SHEET CU2.2 INCLUDES THE FOLLOWING PLANNING STATUS TYPES:

- EXISTING WITH CONSENT (C) ALTERATIONS APPROVED IN DA-866/2022.
- EXISTING WITHOUT CONSENT (U) ALTERATIONS SEEKING TO RETAIN AND USE. ON THIS SHEET (U) REPRESENTS THE UNAUTHORISED DEMOLITION TO FIRST FLOOR TO CONSTRUCT EXISTING WITHOUT CONSENT BUILDING ELEMENTS (W12 AND W20) ON FIRST FLOOR. SEE SHEET CU6.1 FOR DETAILS.



FIRST FLOOR DEMOLITION PLAN EXISTING WITHOUT CONSENT (U)

COMPARISON WITH FIRST FLOOR EXISTING WITH CONSENT (C), SEE SHEET C6 FOR APPROVAL.

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REV	DESCRIPTION	BY	DATE
D	RETAIN AND USE UNAUTHORISED ALTERATIONS AND SEEK CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING	MR	DEC 2024
C	CONSTRUCTION CERTIFICATE APPLICATION NSW PLANNING PORTAL REFERENCE CFI-232358	AK	OCT 2022
B	DEVELOPMENT APPLICATION NSW PLANNING PORTAL REFERENCE PAN-236140	AK	JUN 2022
A	DRAFT ISSUE TO PRESENT TO THE OWNERS	AK	APR 2022
STATUS: NSW PORTAL No. PAN-474516			

COMPLEX DESIGN DRAFTING SERVICES

CLIENT: [REDACTED]

PROJECT: RETAIN AND USE UNAUTHORISED ALTERATIONS & CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING

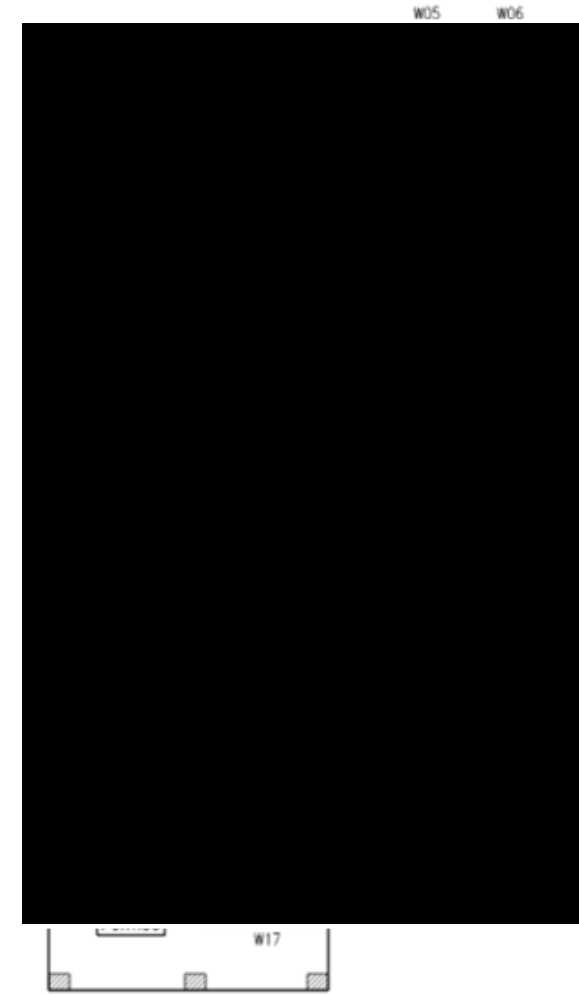
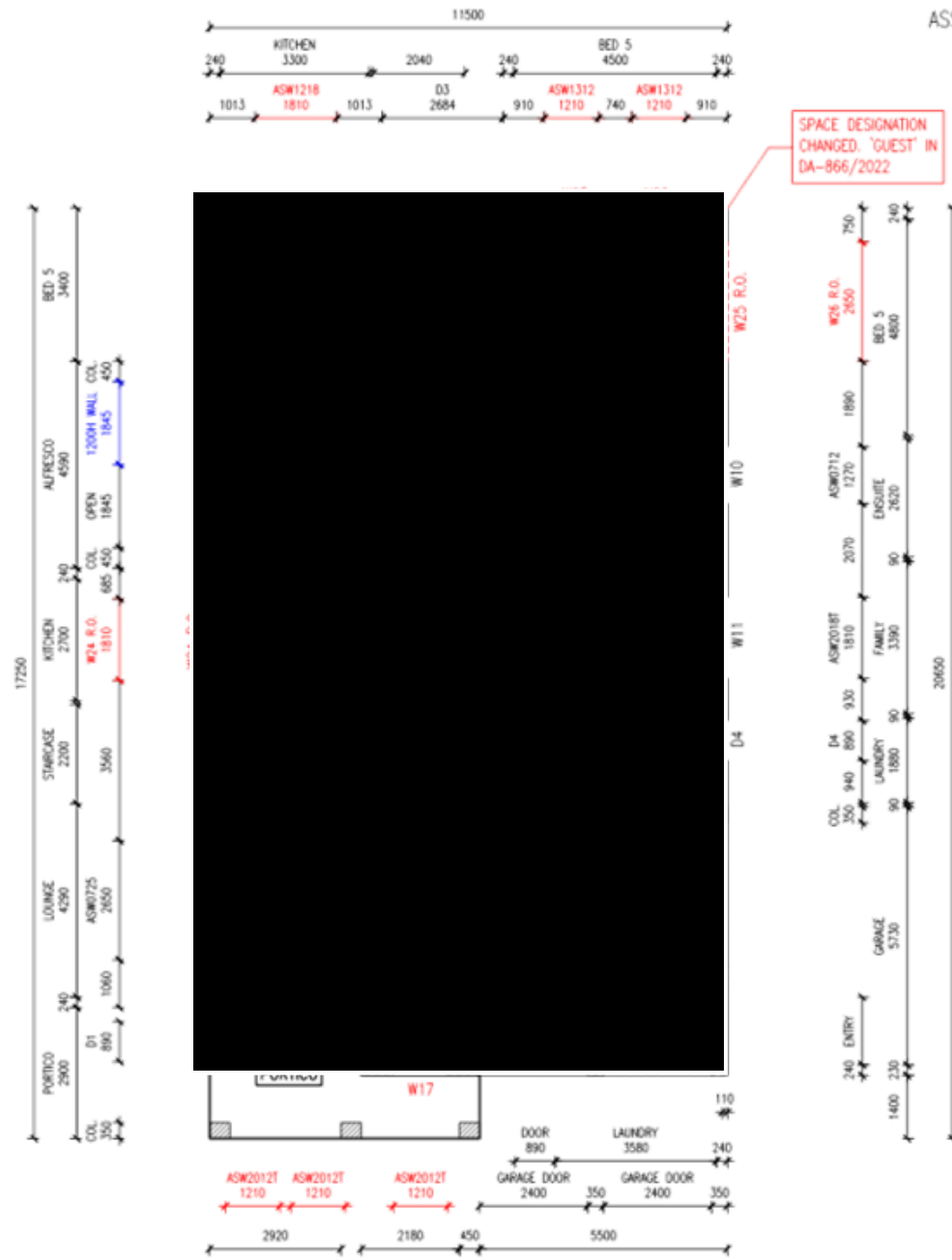
SITE: 50 ROSEWOOD AVENUE LOT 102 DP 1007447

TITLE: DEMOLITION FIRST FLOOR EXISTING WITHOUT CONSENT (U)

SCALE: A1	DATE: 04/12/2024	DRAWN: MR	CHECKED: AK
SHEET NO: CU2.2	DRAWING NO: A2/22-075	REVISION: D	

KEY ->
 BLACK -> EXISTING WITH CONSENT (C), DA-866/2022 AND DA-654/00.
 BLUE -> PROPOSED (P) ALTERATIONS, SEEKING CONSENT TO CONSTRUCT.
 RED -> EXISTING WITHOUT CONSENT, UNAUTHORISED (U) ALTERATIONS SEEKING CONSENT TO RETAIN AND USE.

SHEET CUP2.4 ILLUSTRATE THE FULL SCOPE OF DEMOLITION WORK, THAT IS UNAUTHORISED DEMOLITION AND PROPOSED DEMOLITION. THIS APPROACH AIMS TO ENSURE CLARITY AND TRANSPARENCY IN ALL DEMOLITION WORK ASSOCIATED WITH THE PROJECT POST APPROVAL. SEE SHEET C2 FOR DEMOLITION WORK APPROVED IN DA-866/2022.



GROUND FLOOR DEMOLITION INTEGRATED PLAN
 PROPOSED (P) WORKS
 & EXISTING WITHOUT CONSENT (U) WORKS

COMPARISON WITH GROUND FLOOR
 EXISTING WITH CONSENT (C),
 SEE SHEET C5 FOR APPROVAL.

Notes:

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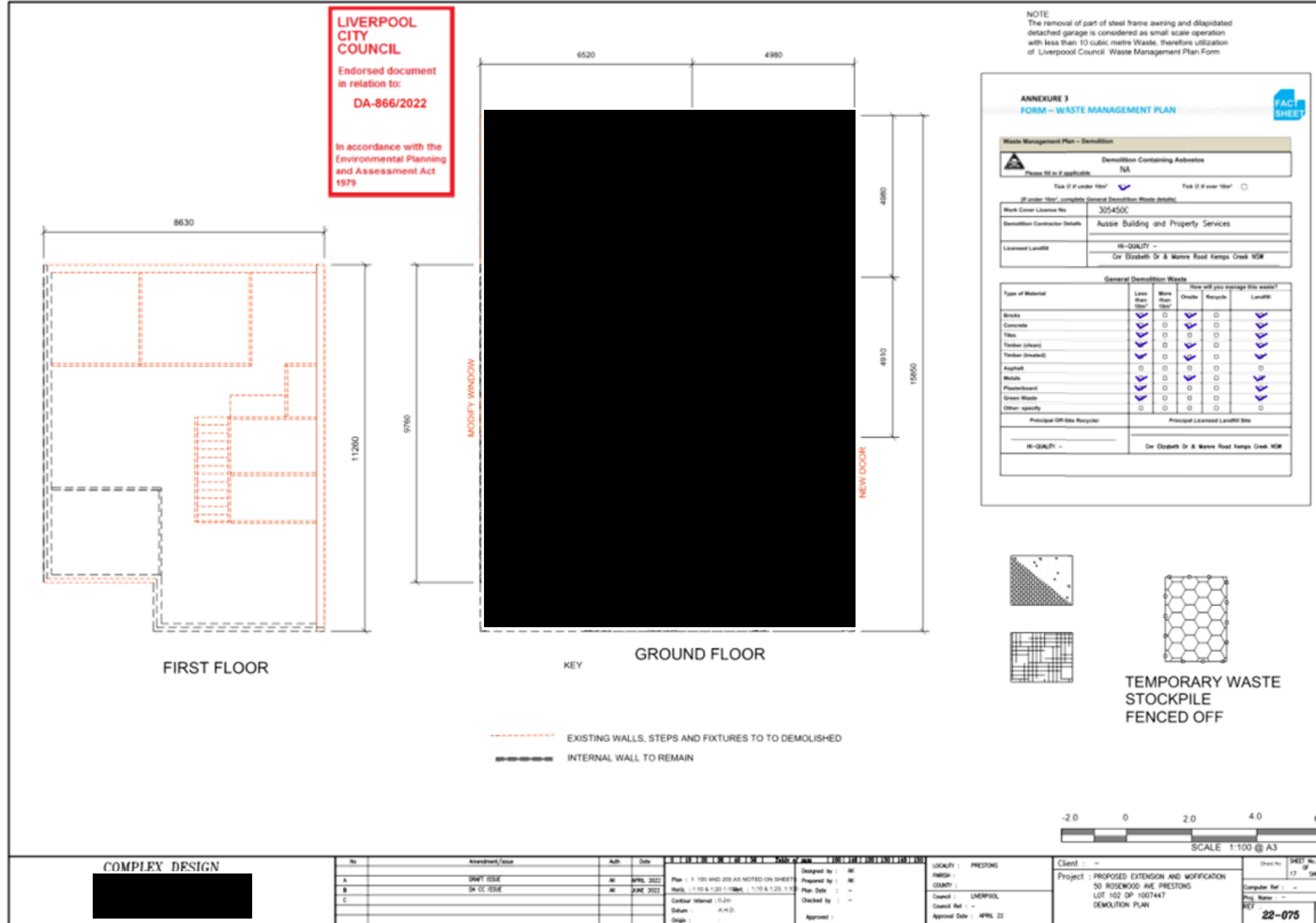
D	RETAIN AND USE UNAUTHORISED ALTERATIONS AND SEEK CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING	MR	DEC 2024
C	CONSTRUCTION CERTIFICATE APPLICATION NSW PLANNING PORTAL REFERENCE CFI-232358	AK	OCT 2022
B	DEVELOPMENT APPLICATION NSW PLANNING PORTAL REFERENCE PAN-236140	AK	JUN 2022
A	DRAFT ISSUE TO PRESENT TO THE OWNERS	AK	APR 2022
REV	DESCRIPTION	BY	DATE
STATUS: NSW PORTAL No. PAN-474516			

COMPLEX DESIGN DRAFTING SERVICES

CLIENT: [REDACTED]

PROJECT: RETAIN AND USE UNAUTHORISED ALTERATIONS & CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING

SITE: 50 ROSEWOOD AVENUE LOT 102 DP 1007447			
TITLE: DEMOLITION GROUND FLOOR UNAUTHORISED & PROPOSED			
SCALE: A2 NTS	DATE: 04/12/2024	DRAWN: MR	CHECKED: AK
SHEET NO: CUP2.4	DRAWING NO: A2/22-075	REVISION: D	



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REV	DESCRIPTION	BY	DATE
D	RETAIN AND USE UNAUTHORISED ALTERATIONS AND SEEK CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING	MR	DEC 2024
C	CONSTRUCTION CERTIFICATE APPLICATION NSW PLANNING PORTAL REFERENCE CFI-232358	AK	OCT 2022
B	DEVELOPMENT APPLICATION NSW PLANNING PORTAL REFERENCE PAN-236140	AK	JUN 2022
A	DRAFT ISSUE TO PRESENT TO THE OWNERS	AK	APR 2022

STATUS: NSW PORTAL No. PAN-474516

COMPLEX DESIGN DRAFTING SERVICES

CLIENT: [REDACTED]

PROJECT: RETAIN AND USE UNAUTHORISED ALTERATIONS & CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING

SITE: 50 ROSEWOOD AVENUE LOT 102 DP 1007447

TITLE: DEMOLITION PLAN EXISTING WITH CONSENT (C)

SCALE AT A2	DATE	DRAWN	CHECKED
NTS	04/12/2024	MR	AK

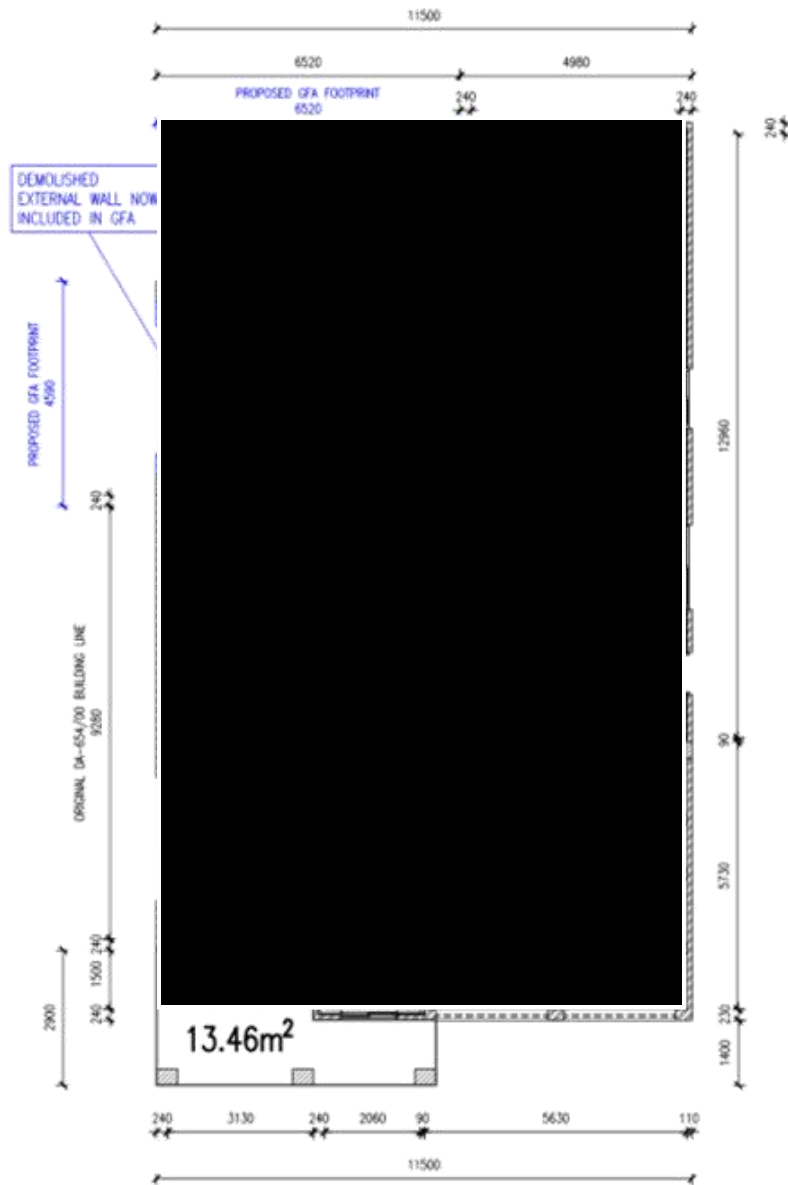
SHEET NO.	DRAWING NO.	REVISION
C2	A2/22-075	D

SEE SHEET CP7.2 FOR FLOOR SPACE RATIO CALCULATION AND NUMERIC VALUE OF THE FSR VARIATION REQUEST.

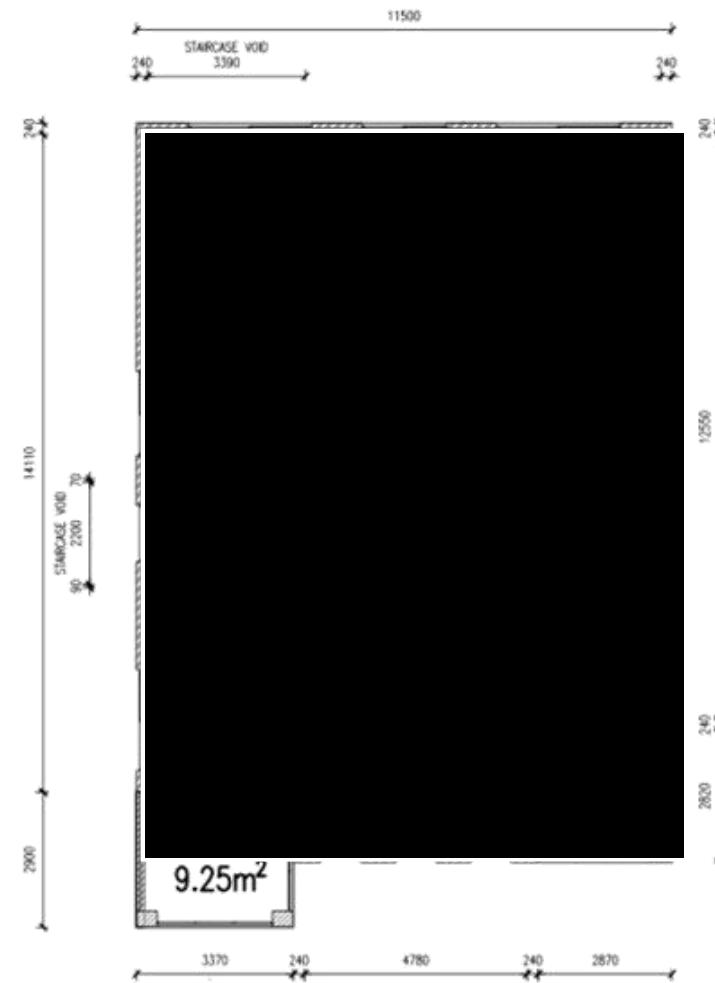
KEY → BLACK → EXISTING WITH CONSENT (C), DA-866/2022 AND DA-654/00.
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SHEET CP7.1 INCLUDES THE FOLLOWING PLANNING STATUS TYPES:




- EXISTING WITH CONSENT (C) GROSS FLOOR AREA (GFA) APPROVED IN DA-866/2022.
- PROPOSED (P) ADDITIONAL GROSS FLOOR AREA SEEKING CONSENT.
- ON THIS SHEET (P) REPRESENTS PROPOSED ADDITIONAL GROSS FLOOR AREA SEEKING CONSENT TO CONSTRUCT PROPOSED KITCHEN EXTENSION.



GROUND FLOOR
EXISTING WITH CONSENT (C) GFA
AND PROPOSED (P) GFA



FIRST FLOOR
EXISTING WITH CONSENT (C) GFA

-  EXISTING GFA WITH CONSENT INCLUDED IN FSR
-  AREAS EXCLUDED FROM GFA
-  PROPOSED GFA SEEKING CONSENT FOR INCLUSION IN FSR

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REV	DESCRIPTION	BY	DATE
STATUS: NSW PORTAL No. PAN-474516			

COMPLEX DESIGN DRAFTING SERVICES

COMPLEX DESIGN

CLIENT: [REDACTED]

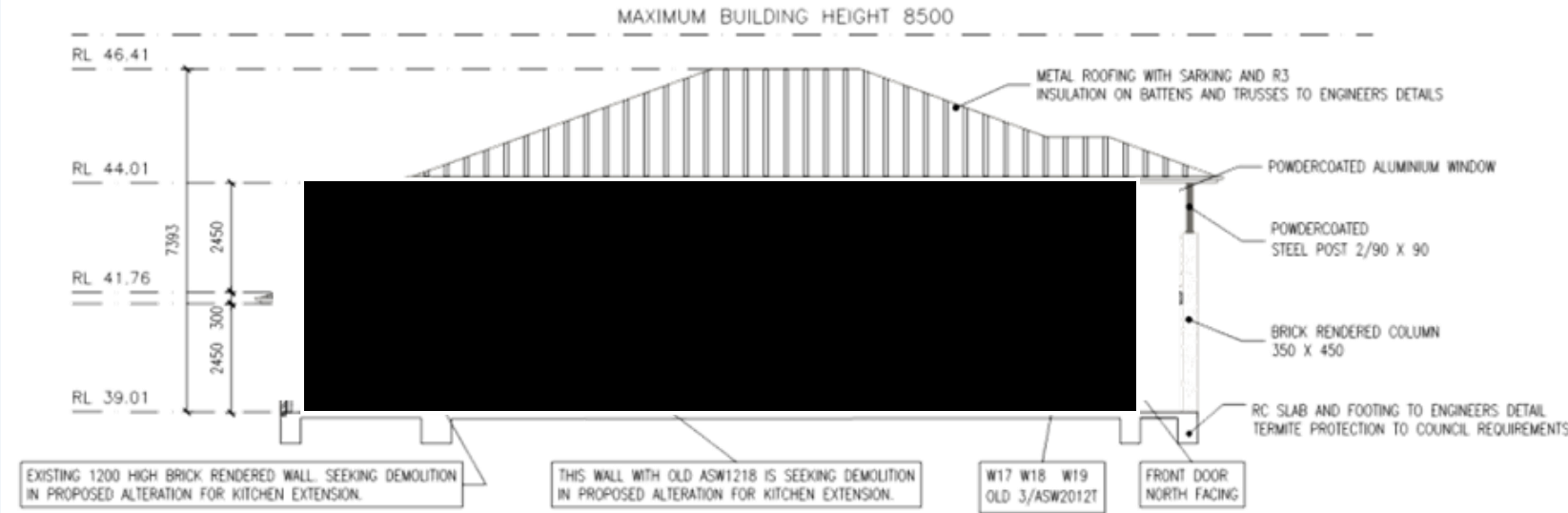
PROJECT: RETAIN AND USE UNAUTHORISED ALTERATIONS & CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING

SITE: 50 ROSEWOOD AVENUE
LOT 102 DP 1007447

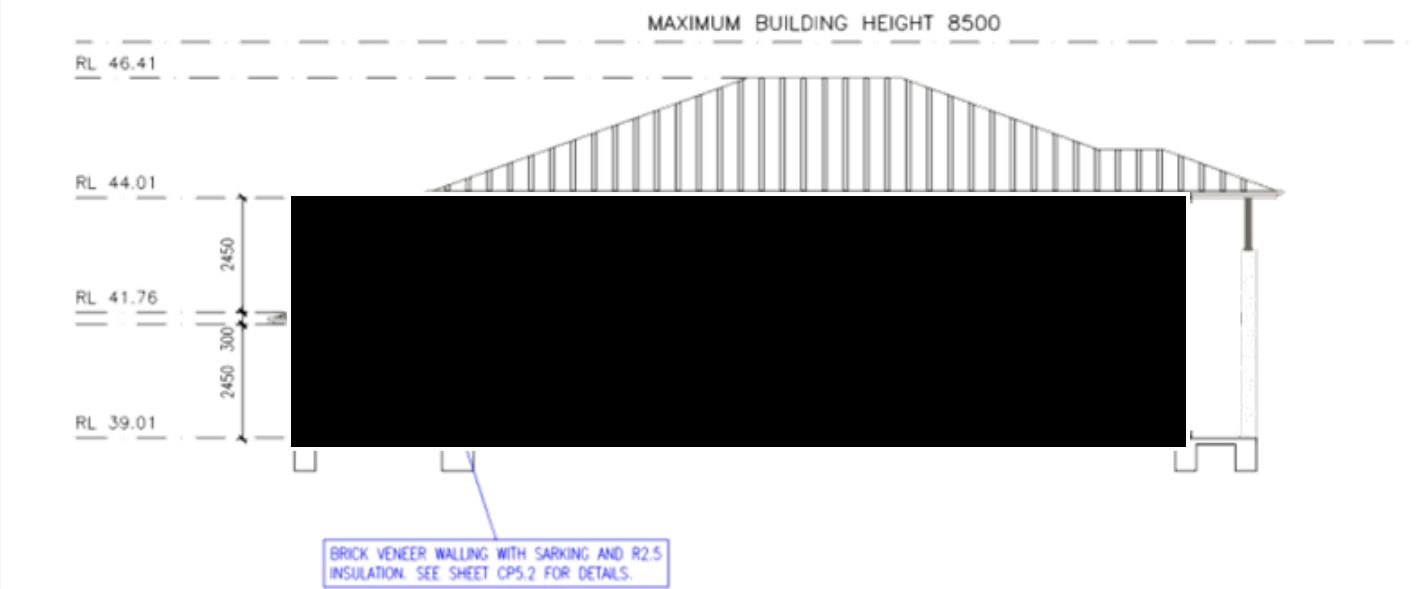
TITLE: GFA CALCULATION
PROPOSED ALTERATIONS (P)

SCALE AT A2: 1:100	DATE: 04/12/2024	DRAWN: MR	CHECKED: AK
SHEET NO: CP7.1	DRAWING NO: A2/22-075	REVISION: D	

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SECTION A-A (VIEW FROM NORTH)
EXISTING WITH CONSENT (C)



SECTION A-A (VIEW FROM NORTH)
PROPOSED (P)

NOTE:

THE PROPOSED SECTION VIEWS ARE PRESENTED IN RELATION TO THE EXISTING APPROVED WORKS TO FACILITATE INDEPENDENT ASSESSMENT OF THE WORKS. THIS APPROACH ALLOWS COUNCIL TO EVALUATE THE PROPOSED WORKS IN THE CONTEXT OF APPROVED DEVELOPMENT, IRRESPECTIVE OF THE OUTCOME OF THE REQUEST TO RETAIN AND USE EXISTING UNAUTHORISED WORKS.

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REV	DESCRIPTION	BY	DATE
STATUS: NSW PORTAL No. PAN-474516			

COMPLEX DESIGN DRAFTING SERVICES

CLIENT: [REDACTED]

PROJECT: RETAIN AND USE UNAUTHORISED ALTERATIONS & CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING

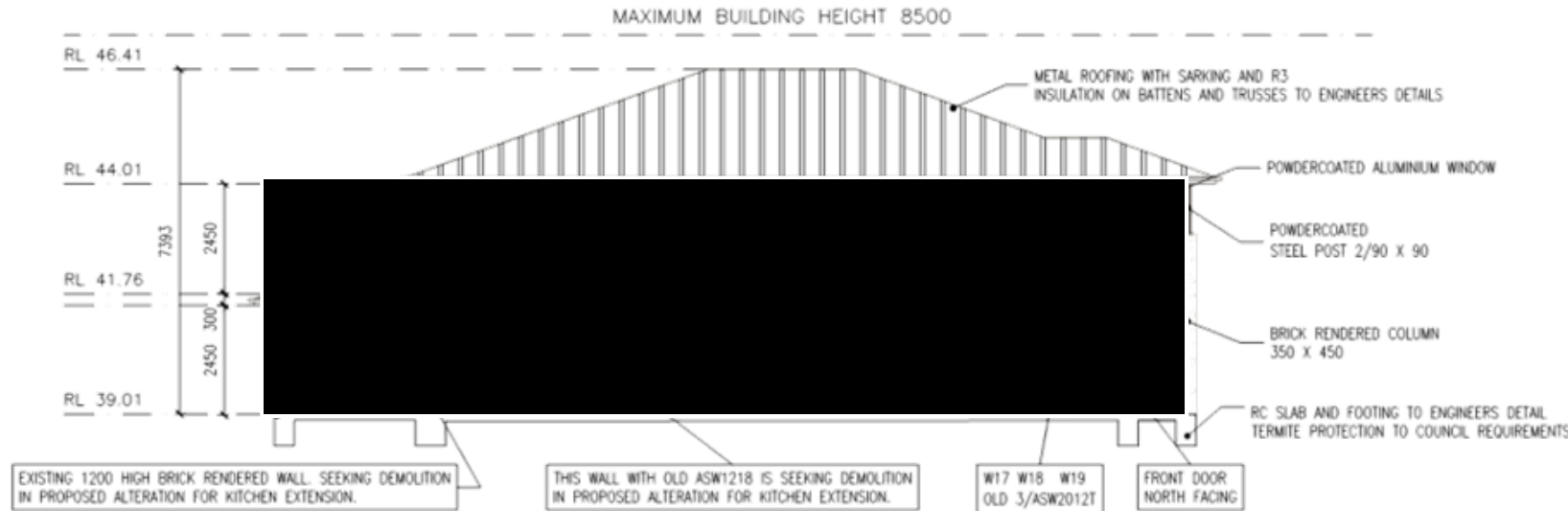
SITE: 50 ROSEWOOD AVENUE
LOT 102 DP 1007447

TITLE: SECTION A-A
PROPOSED ALTERATIONS (P)

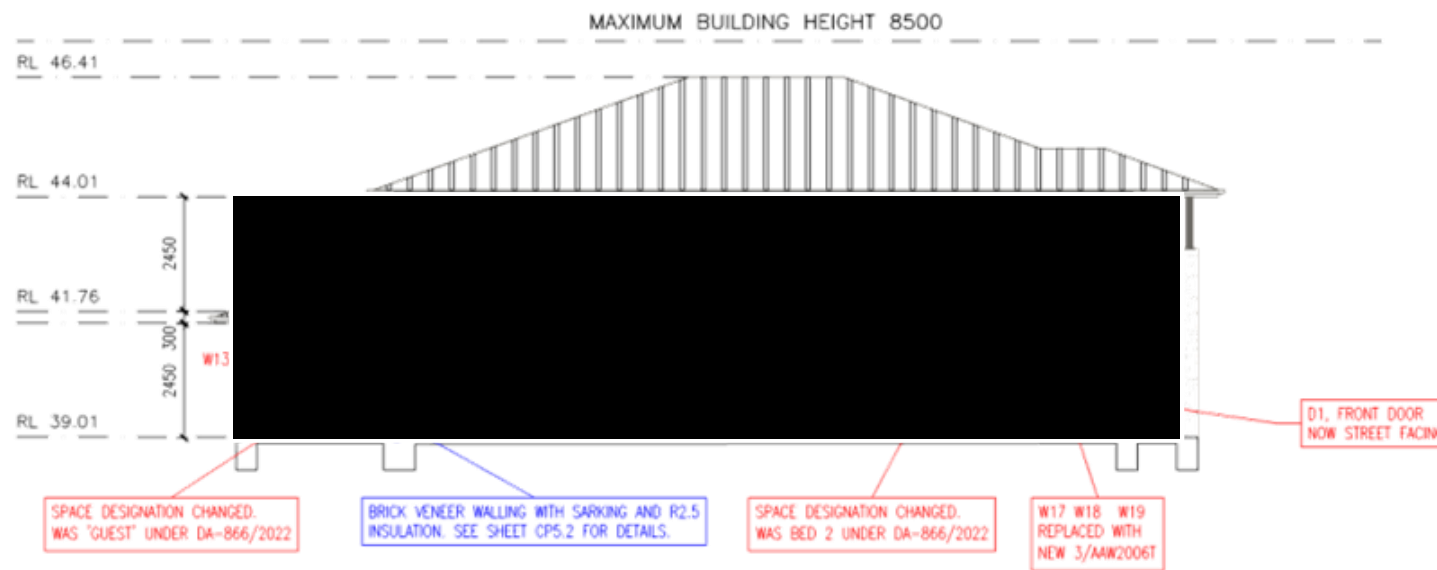
SCALE AT A2: 1:100	DATE: 04/12/2024	DRAWN: MR	CHECKED: AK
SHEET NO: CP9.6	DRAWING NO: A2/22-075	REVISION: D	

SHEET CUP9.7 PROVIDES A HOLISTIC VIEW OF THE DWELLING'S EVOLUTION, ILLUSTRATING EXISTING WITH CONSENT (C) ALTERATIONS, UNAUTHORISED (U) ALTERATIONS, AND PROPOSED (P) ALTERATIONS IN A SINGLE SECTIONAL VIEW.

KEY ->
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SECTION A-A (VIEW FROM NORTH)
EXISTING WITH CONSENT (C)



SECTION A-A (VIEW FROM NORTH)
UNAUTHORISED WORK (U) INTEGRATED WITH PROPOSED (P) WORKS

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REV	DESCRIPTION	BY	DATE
STATUS: NSW PORTAL No. PAN-474516			

COMPLEX DESIGN DRAFTING SERVICES







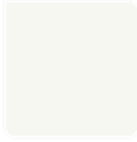

CLIENT: [REDACTED]

PROJECT: RETAIN AND USE UNAUTHORISED ALTERATIONS & CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING

SITE: 50 ROSEWOOD AVENUE
LOT 102 DP 1007447

TITLE: SECTION A-A
INTEGRATED PLAN (CUP)

SCALE AT A2	DATE	DRAWN	CHECKED
1:100	04/12/2024	MR	AK
SHEET NO.	DRAWING NO.	REVISION	
CUP9.7	A2/22-075	D	

	ROOF CLADDING MANUFACTURER DULUX COLOUR COLORBOND MONUMENT RGB 64 65 65 LRV Value 8 HEX CODE #404141		FRONT DOOR MANUFACTURER DULUX COLOUR POWERED ROCK RGB 187 182 171 LRV Value 51 COLOUR CODE S15A2
	FASCIAS & DOWNPIPE MANUFACTURER DULUX COLOUR COLORBOND DUNE RGB 173 173 152 LRV Value 42 HEX #ADA398		GARAGE DOOR, ALUMINIUM DOORS & WINDOWS MANUFACTURER DULUX COLOUR COLORBOND DUNE RGB 173 173 152 LRV Value 42 HEX CODE #ADA398
	EXTERIOR WALLS RENDERED MANUFACTURER DULUX COLOUR DULUX DUNE RGB 173 173 152 LRV VALUE 42 HEX CODE #ADA398		GUTTERS MANUFACTURER DULUX COLOUR COLORBOND MONUMENT RGB 64 65 65 LRV Value 8 HEX CODE #404141
	EAVES CEILING MANUFACTURER DULUX COLOUR VIVID WHITE RGB 247 248 244 LRV Value 94 COLOUR CODE SW1G1		FACADE COLUMN, POSTS & RAILINGS (GLASS INFILL) MANUFACTURER DULUX COLOUR DULUX MONUMENT RGB 64 65 65 LRV Value 8 HEX CODE #404141


LIVERPOOL CITY COUNCIL
 Endorsed document
 in relation to:
DA-866/2022

 In accordance with the
 Environmental Planning
 and Assessment Act
 1979

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A	DRAFT ISSUE TO PRESENT TO THE OWNERS	AK	APR 2022
REV	DESCRIPTION	BY	DATE
STATUS: NSW PORTAL No. PAN-474516			


COMPLEX DESIGN DRAFTING SERVICES

CLIENT: 

PROJECT: RETAIN AND USE UNAUTHORISED ALTERATIONS & CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING

SITE: 50 ROSEWOOD AVENUE LOT 102 DP 1007447			
TITLE: EXTERNAL COLOURS SCHEDULE EXISTING WITH CONSENT (C)			
SCALE: A2 NTS	DATE: 04/12/2024	DRAWN: MR	CHECKED: AK
SHEET NO: C17	DRAWING NO: A2/22-075	REVISION: D	

SCHEDULE OF EXTERNAL COLOURS EXISTING WITH CONSENT (C)

COMPLEX DESIGN

No.	Amendment/Issue	Auth	Date	Plan : 1:100 AND 200 AS NOTED ON SHEETS	Designed by : AK	LOCALITY : PRESTONS	Client : -	Drawn No. SHEET 17 OF 17 SHEETS
A	DRAFT ISSUE	AK	APRIL 2022	Scale : 1:10 & 1:20 & 1:50 & 1:20 & 1:10	Prepared by : AK	COUNTRY : LIVERPOOL	Project : PROPOSED EXTENSION AND MODIFICATION 50 ROSEWOOD AVE PRESTONS LOT 102 DP 1007447 SCHEDULE OF EXTERNAL COLOURS	Computer Ref : -
B	DRAFT ISSUE	AK	JUNE 2022	Colour Intend : (C)20	Plan Date : -	Council Ref : -		Proj. Name : -
C				Detail : A3/D	Checked by : -	Approved Date : APRIL 22		REF: 22-075 Rev B

KEY

ASW1321 = WINDOW NOMINAL 1320mm HIGH x2120mm WIDE
 D102 = DOOR NOMINAL 2170mmHx1020mm WIDE
 OLD = EXISTING/RECYCLED
 AFW= FIXED WINDOW

ALSO REFER TO BASIX CERTIFICATE A455769

LIVERPOOL CITY COUNCIL

Endorsed document
in relation to:
DA-866/2022

In accordance with the
Environmental Planning
and Assessment Act
1979

REV	DESCRIPTION	BY	DATE
D	RETAIN AND USE UNAUTHORISED ALTERATIONS AND SEEK CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING	MR	DEC 2024
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STATUS: NSW PORTAL No. PAN-474516

COMPLEX DESIGN DRAFTING SERVICES

CLIENT: [REDACTED]

PROJECT: RETAIN AND USE UNAUTHORISED ALTERATIONS & CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING

SITE: 50 ROSEWOOD AVENUE LOT 102 DP 1007447

TITLE: WINDOW & DOOR SCHEDULE EXISTING WITH CONSENT (C)

SCALE AT A2	DATE	DRAWN	CHECKED
NTS	04/12/2024	MR	AK

SHEET NO.	DRAWING NO.	REVISION
C15	A2/22-075	D

No.	Amendment/Issue	Auth.	Date
A	DRAFT ISSUE	AK	APRIL 2022
B	DA DRAFT ISSUE	AK	JUNE 2022
C			

Plan : 1:100 AND 200 AS NOTED ON SHEET	Designed by : AK	LOCALITY : PRESTONS	Client : -
Hand : 1:10 & 1:20 & 1:50 & 1:20 & 1:10	Prepared by : AK	PURPOSE :	Project : PROPOSED EXTENSION AND MODIFICATION 50 ROSEWOOD AVE PRESTONS LOT 102 DP 1007447 WINDOW SCHEDULE
Contract Interval : 0.2m	Checked by : -	COUNTY : LIVERPOOL	Drawn No. : 22-075
Detail : A1-D	Approved :	Council Ref : -	Rev. B
Origin : -		Approval Date : APRIL 22	

WINDOW AND DOOR SCHEDULE EXISTING WITH CONSENT (C)

Notes:

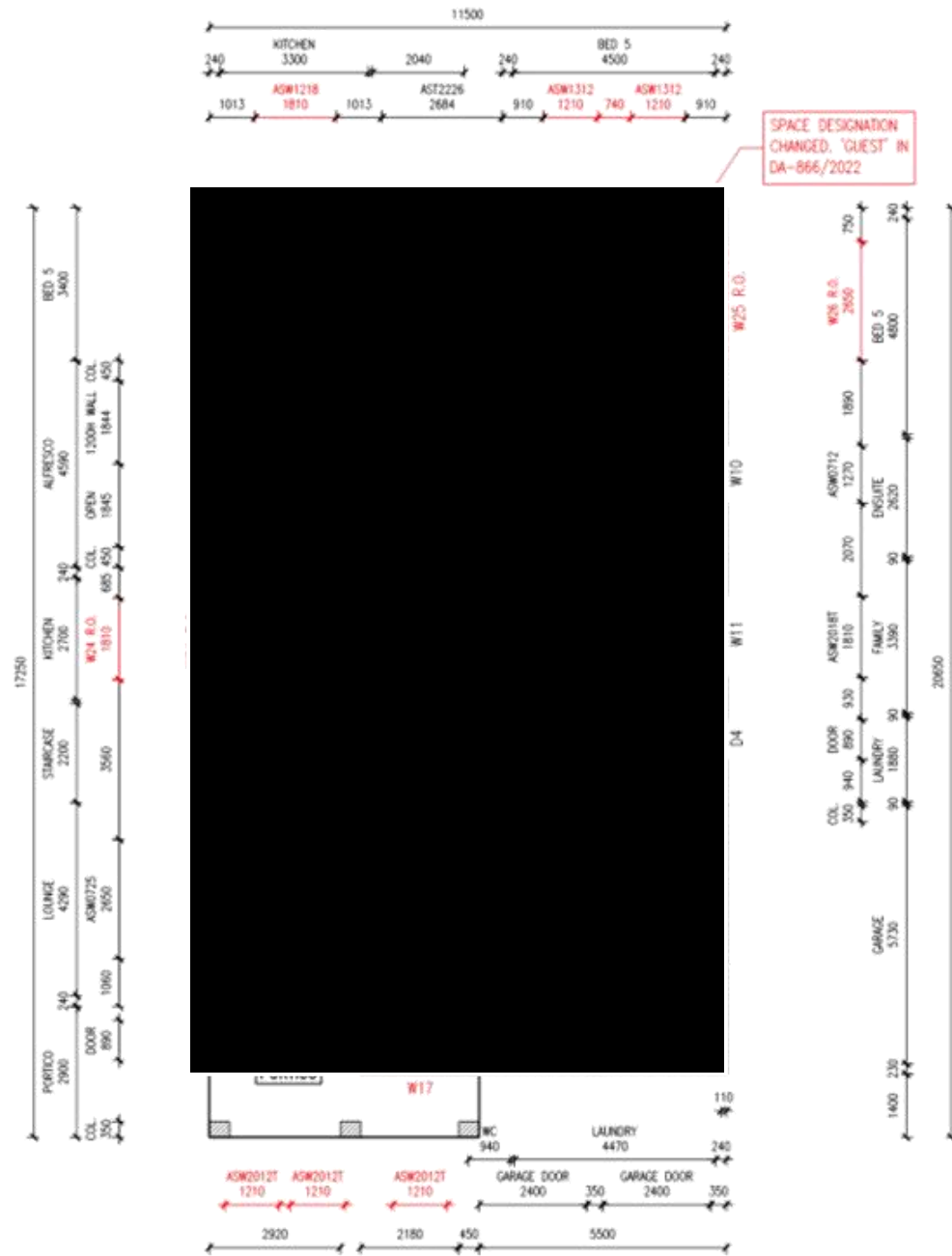
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SEE SHEET C2 FOR APPROVED DEMOLITION

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SHEET CU2.1 INCLUDES THE FOLLOWING PLANNING STATUS TYPES:

- EXISTING WITH CONSENT (C) ALTERATIONS APPROVED IN DA-866/2022.
- EXISTING WITHOUT CONSENT (U) ALTERATIONS SEEKING TO RETAIN AND USE. ON THIS SHEET (U) REPRESENTS THE UNAUTHORISED DEMOLITION TO GROUND FLOOR TO CONSTRUCT EXISTING WITHOUT CONSENT BUILDING ELEMENTS (W13, W17, W18, W19, W24, W25 AND D1) ON GROUND FLOOR. SEE SHEET CU5.1 FOR DETAILS.



GROUND FLOOR DEMOLITION PLAN EXISTING WITHOUT CONSENT (U).



COMPARISON WITH GROUND FLOOR EXISTING WITH CONSENT (C), SEE SHEET C5 FOR APPROVAL.

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STATUS: NSW PORTAL No. PAN-474516

COMPLEX DESIGN DRAFTING SERVICES

COMPLEX DESIGN

CLIENT: [REDACTED]

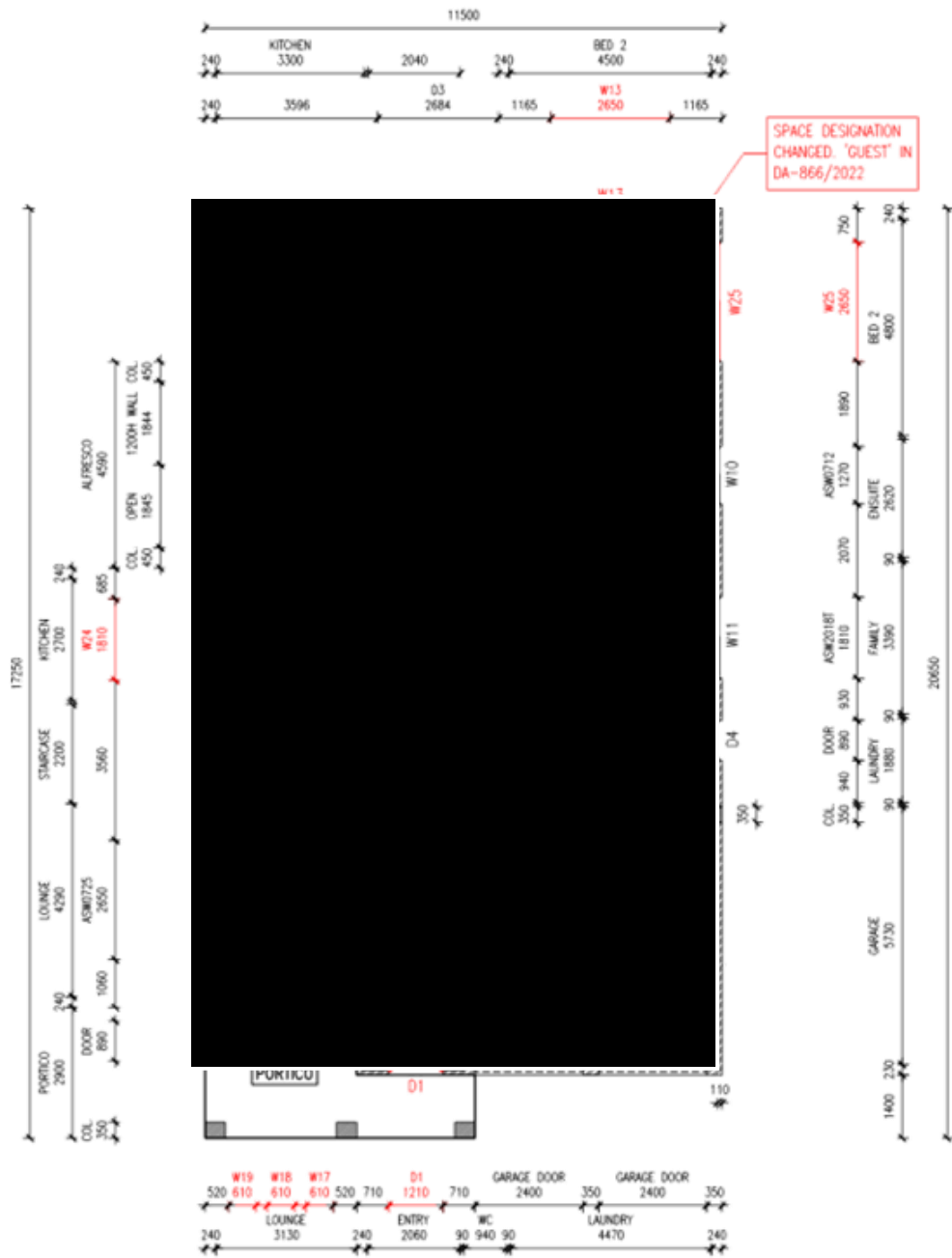
PROJECT: RETAIN AND USE UNAUTHORISED ALTERATIONS & CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING

SITE: 50 ROSEWOOD AVENUE LOT 102 DP 1007447			
TITLE: DEMOLITION GROUND FLOOR EXISTING WITHOUT CONSENT (U)			
SCALE AT A2: 1:100	DATE: 04/12/2024	DRAWN: MR	CHECKED: AK
SHEET NO: CU2.1	DRAWING NO: A2/22-075	REVISION: D	

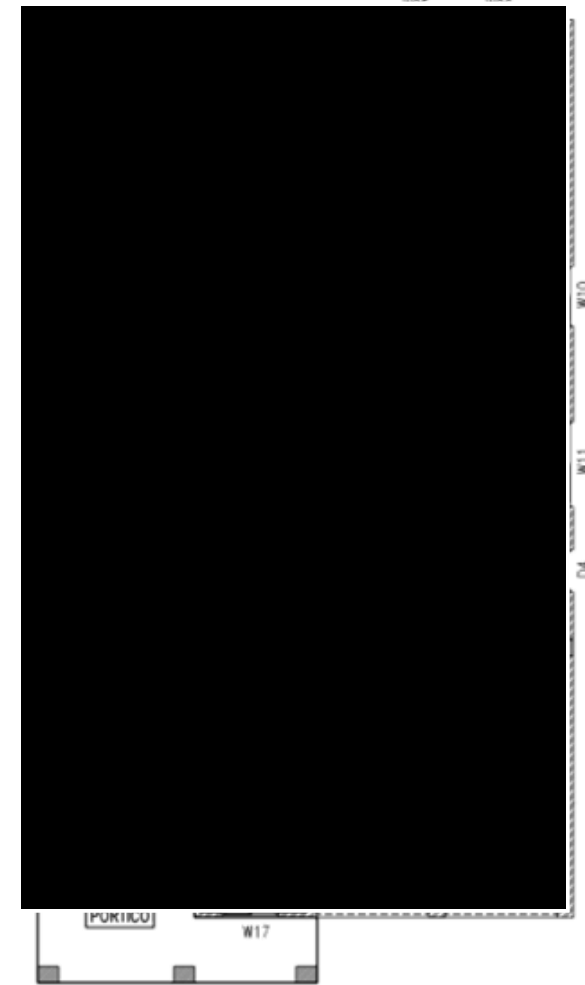
KEY ->
 BLACK -> EXISTING WITH CONSENT (C), DA-866/2022 AND DA-654/00.
 BLUE -> PROPOSED (P) ALTERATIONS, SEEKING CONSENT TO CONSTRUCT.
 RED -> EXISTING WITHOUT CONSENT UNAUTHORISED (U) ALTERATIONS SEEKING CONSENT TO RETAIN AND USE.

SHEET CU5.1 INCLUDES THE FOLLOWING PLANNING STATUS TYPES:

- EXISTING WITH CONSENT (C) ALTERATIONS APPROVE IN DA-866/2022.
- EXISTING WITHOUT CONSENT (U) ALTERATIONS SEEKING TO RETAIN AND USE.
- ON THIS SHEET (U) REPRESENTS THE UNAUTHORISED BUILDING ELEMENTS INTEGRATED WITH THE DWELLING WITH CONSENT. THESE ELEMENTS ARE W13, W17, W18, W19, W24, W25 AND D1) ON GROUND FLOOR. THE SHEET ALSO ILLUSTRATES CHANGE IN SPACE DESIGNATION FOR 'GUEST BEDROOM' AND BRICK VENEER WALLING FOR UNAUTHORISED DEMOLITION OF OLD ASW1218 IN KITCHEN.



GROUND FLOOR PLAN
EXISTING WITHOUT CONSENT (U)



COMPARISON WITH GROUND FLOOR
EXISTING WITH CONSENT (C),
SEE SHEET C5 FOR APPROVAL.

Notes:

- THE COPYRIGHT OF THIS DRAWING IS VESTED IN COMPLEX DESIGN DRAFTING SERVICES. THIS DRAWING MAY NOT BE REPRODUCED OR TRANSMITTED BY ANY MEANS IN PART OR IN WHOLE FOR USE OTHER THAN ITS INTENDED USE WITHOUT WRITTEN PERMISSION OF COMPLEX DESIGN DRAFTING SERVICES.
- FIGURED DIMENSIONS ARE TO BE USED IN PREFERENCE TO SCALING. CONTRACTOR TO CHECK ALL DIMENSIONS PRIOR TO THE COMMENCEMENT OF WORK.
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT DOCUMENTS ENDORSED BY LIVERPOOL CITY COUNCIL IN RELATION TO THE EXISTING CONSENT UNDER DA-866/2022, APPROVED 19 SEPTEMBER 2022.
- TO ESTABLISH THE BACKGROUND, SCOPE AND CONTEXT OF THE WORKS IN THIS PLAN, THE ORIGINAL CONSENT FOR THE DWELLING UNDER DA-654/00, APPROVED 6 SEPTEMBER 1999, BY LIVERPOOL CITY COUNCIL, SHOULD BE REFERRED TO AS REQUIRED.

D	RETAIN AND USE UNAUTHORISED ALTERATIONS AND SEEK CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING	MR	DEC 2024
C	CONSTRUCTION CERTIFICATE APPLICATION NSW PLANNING PORTAL REFERENCE CFI-232358	AK	OCT 2022
B	DEVELOPMENT APPLICATION NSW PLANNING PORTAL REFERENCE PAN-236140	AK	JUN 2022
A	DRAFT ISSUE TO PRESENT TO THE OWNERS	AK	APR 2022
REV	DESCRIPTION	BY	DATE
STATUS: NSW PORTAL No. PAN-474516			

COMPLEX DESIGN DRAFTING SERVICES

COMPLEX DESIGN

CLIENT: [REDACTED]

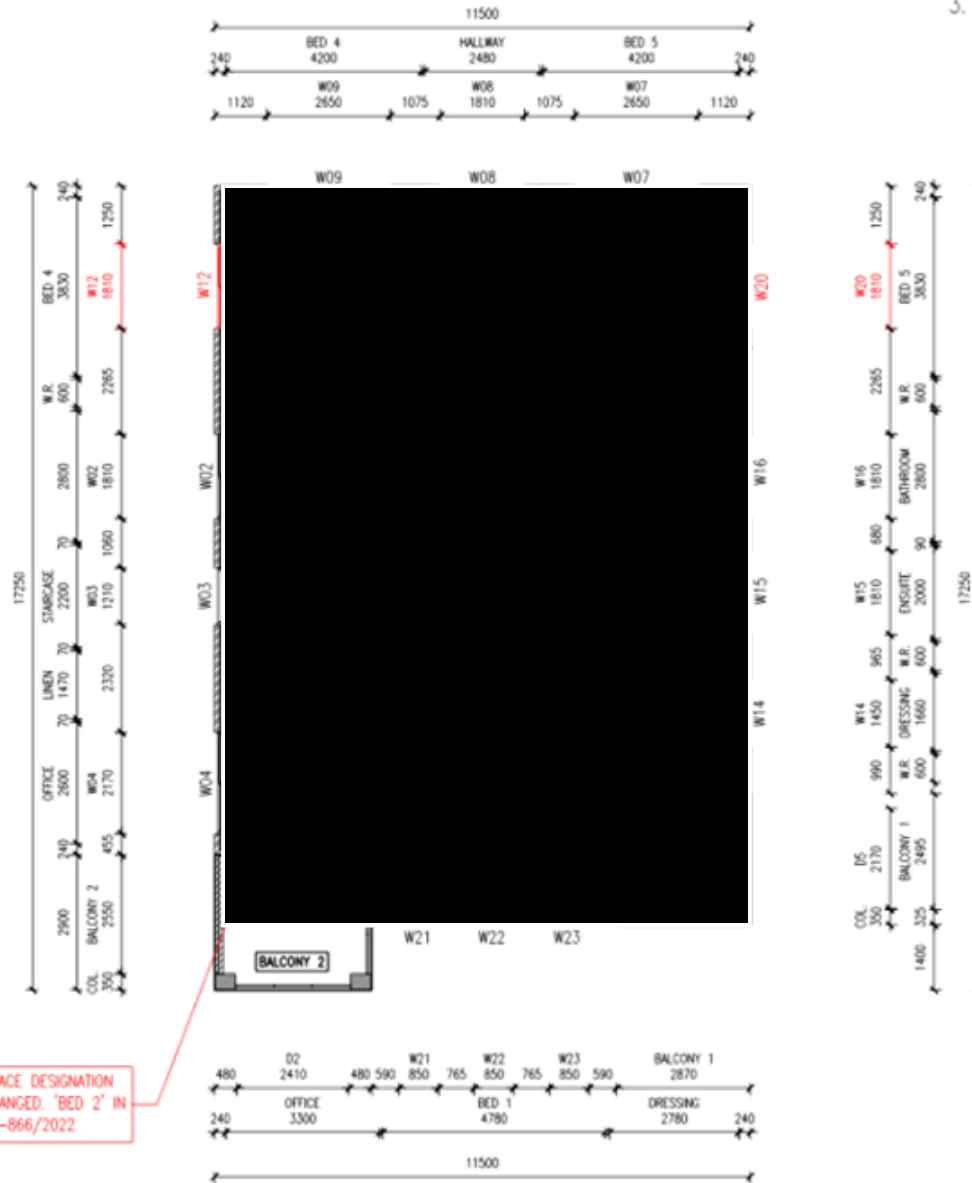
PROJECT: RETAIN AND USE UNAUTHORISED ALTERATIONS & CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING

SITE: 50 ROSEWOOD AVENUE LOT 102 DP 1007447			
TITLE: GROUND FLOOR EXISTING WITHOUT CONSENT (U)			
SCALE AT A2: 1:100	DATE: 04/12/2024	DRAWN: MR	CHECKED: AK
SHEET NO: CU5.1	DRAWING NO: A2/22-075	REVISION: D	

KEY → BLACK → EXISTING WITH CONSENT (C), DA-866/2022 AND DA-654/00.
 BLUE → PROPOSED (P) ALTERATIONS, SEEKING CONSENT TO CONSTRUCT.
 RED → EXISTING WITHOUT CONSENT, UNAUTHORISED (U) ALTERATIONS SEEKING CONSENT TO RETAIN AND USE.

SHEET CU6.1 INCLUDES THE FOLLOWING PLANNING STATUS TYPES:

- EXISTING WITH CONSENT (C) ALTERATIONS ENDORSED UNDER DA-866/2022.
- EXISTING WITHOUT CONSENT (U) ALTERATIONS SEEKING TO RETAIN AND USE.
- ON THIS SHEET (U) REPRESENTS THE UNAUTHORISED BUILDING ELEMENTS INTEGRATED WITH THE DWELLING WITH CONSENT. THESE ELEMENTS ARE (W12 AND W20) ON FIRST FLOOR.



FIRST FLOOR PLAN
EXISTING WITHOUT CONSENT (U)

COMPARISON WITH FIRST FLOOR
EXISTING WITH CONSENT (C),
SEE SHEET C6 FOR APPROVAL

Notes:

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- TO ESTABLISH THE BACKGROUND, SCOPE AND CONTEXT OF THE WORKS IN THIS PLAN, THE ORIGINAL CONSENT FOR THE DWELLING UNDER DA-654/00, APPROVED 6 SEPTEMBER 1999, BY LIVERPOOL CITY COUNCIL, SHOULD BE REFERRED TO AS REQUIRED.

D	RETAIN AND USE UNAUTHORISED ALTERATIONS AND SEEK CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING	MR	DEC 2024
C	CONSTRUCTION CERTIFICATE APPLICATION NSW PLANNING PORTAL REFERENCE CFT-232358	AK	OCT 2022
B	DEVELOPMENT APPLICATION NSW PLANNING PORTAL REFERENCE PAN-236140	AK	JUN 2022
A	DRAFT ISSUE TO PRESENT TO THE OWNERS	AK	APR 2022
REV	DESCRIPTION	BY	DATE
STATUS: NSW PORTAL No. PAN-474516			

COMPLEX DESIGN DRAFTING SERVICES

CLIENT: [REDACTED]

PROJECT: RETAIN AND USE UNAUTHORISED ALTERATIONS & CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING

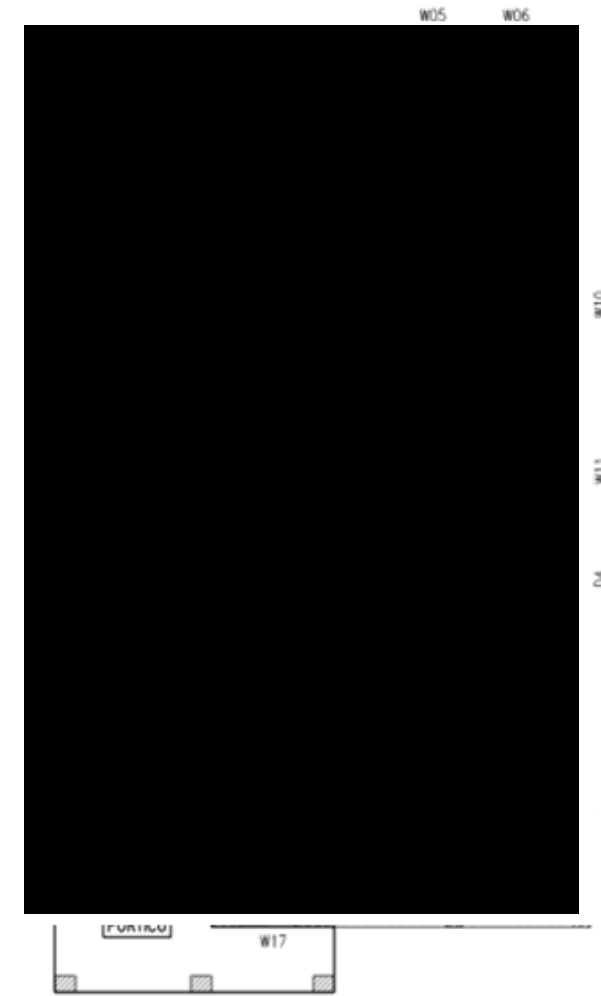
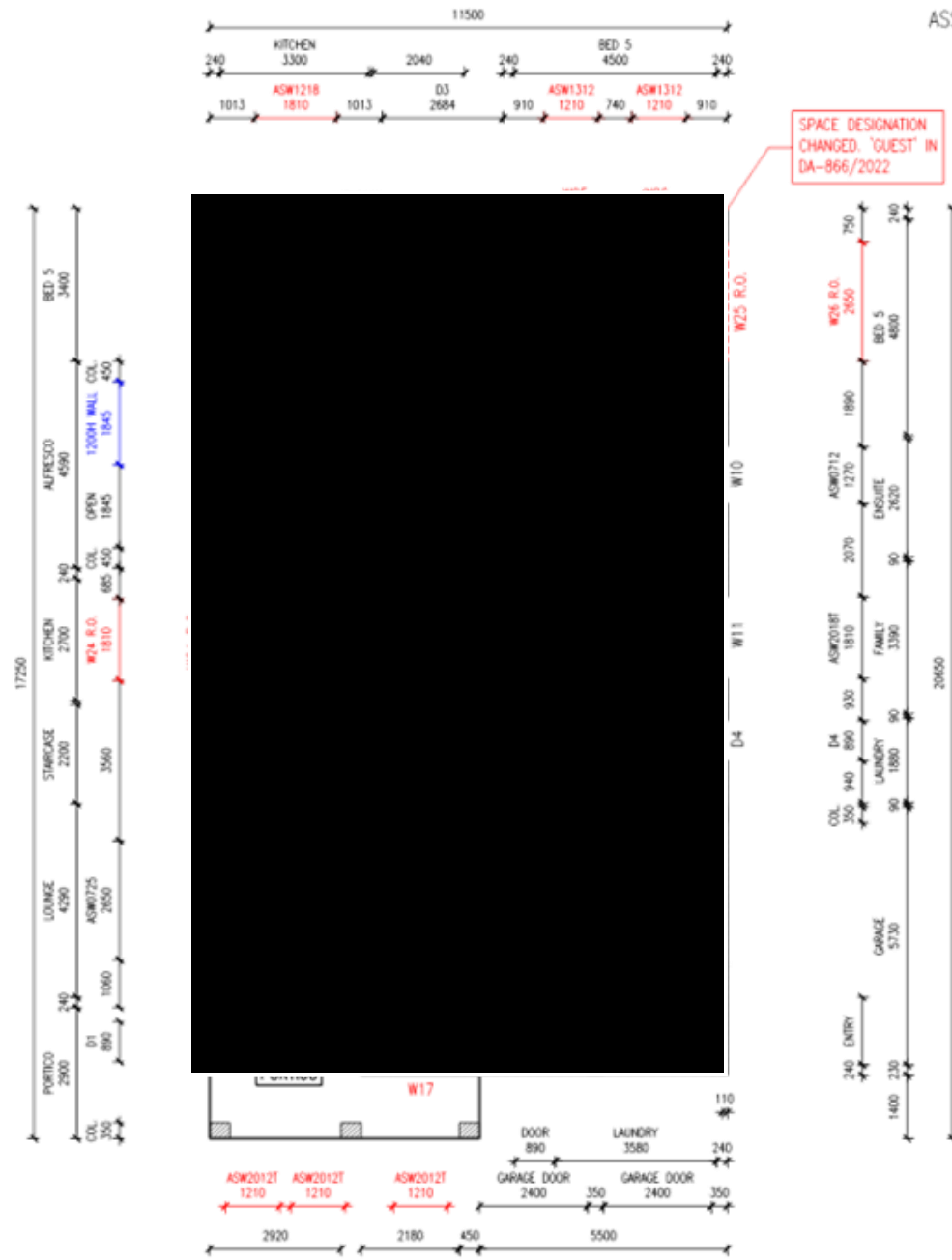
SITE: 50 ROSEWOOD AVENUE
LOT 102 DP 1007447

TITLE: FIRST FLOOR
EXISTING WITHOUT CONSENT (U)

SCALE AT A2: 1:100	DATE: 04/12/2024	DRAWN: MR	CHECKED: AK
SHEET NO: CU6.1	DRAWING NO: A2/22-075	REVISION: D	

KEY ->
 BLACK -> EXISTING WITH CONSENT (C), DA-866/2022 AND DA-654/00.
 BLUE -> PROPOSED (P) ALTERATIONS, SEEKING CONSENT TO CONSTRUCT.
 RED -> EXISTING WITHOUT CONSENT, UNAUTHORISED (U) ALTERATIONS SEEKING CONSENT TO RETAIN AND USE.

SHEET CUP2.4 ILLUSTRATE THE FULL SCOPE OF DEMOLITION WORK, THAT IS UNAUTHORISED DEMOLITION AND PROPOSED DEMOLITION. THIS APPROACH AIMS TO ENSURE CLARITY AND TRANSPARENCY IN ALL DEMOLITION WORK ASSOCIATED WITH THE PROJECT POST APPROVAL. SEE SHEET C2 FOR DEMOLITION WORK APPROVED IN DA-866/2022.



GROUND FLOOR DEMOLITION INTEGRATED PLAN
 PROPOSED (P) WORKS
 & EXISTING WITHOUT CONSENT (U) WORKS

COMPARISON WITH GROUND FLOOR
 EXISTING WITH CONSENT (C),
 SEE SHEET C5 FOR APPROVAL.

Notes:

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3. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT DOCUMENTS ENDORSED BY LIVERPOOL CITY COUNCIL IN RELATION TO THE EXISTING CONSENT UNDER DA-866/2022, APPROVED 19 SEPTEMBER 2022.
4. TO ESTABLISH THE BACKGROUND, SCOPE AND CONTEXT OF THE WORKS IN THIS PLAN, THE ORIGINAL CONSENT FOR THE DWELLING UNDER DA-654/00, APPROVED 6 SEPTEMBER 1999, BY LIVERPOOL CITY COUNCIL, SHOULD BE REFERRED TO AS REQUIRED.

D	RETAIN AND USE UNAUTHORISED ALTERATIONS AND SEEK CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING	MR	DEC 2024
C	CONSTRUCTION CERTIFICATE APPLICATION NSW PLANNING PORTAL REFERENCE CFI-232358	AK	OCT 2022
B	DEVELOPMENT APPLICATION NSW PLANNING PORTAL REFERENCE PAN-236140	AK	JUN 2022
A	DRAFT ISSUE TO PRESENT TO THE OWNERS	AK	APR 2022
REV	DESCRIPTION	BY	DATE
STATUS: NSW PORTAL No. PAN-474516			

COMPLEX DESIGN DRAFTING SERVICES

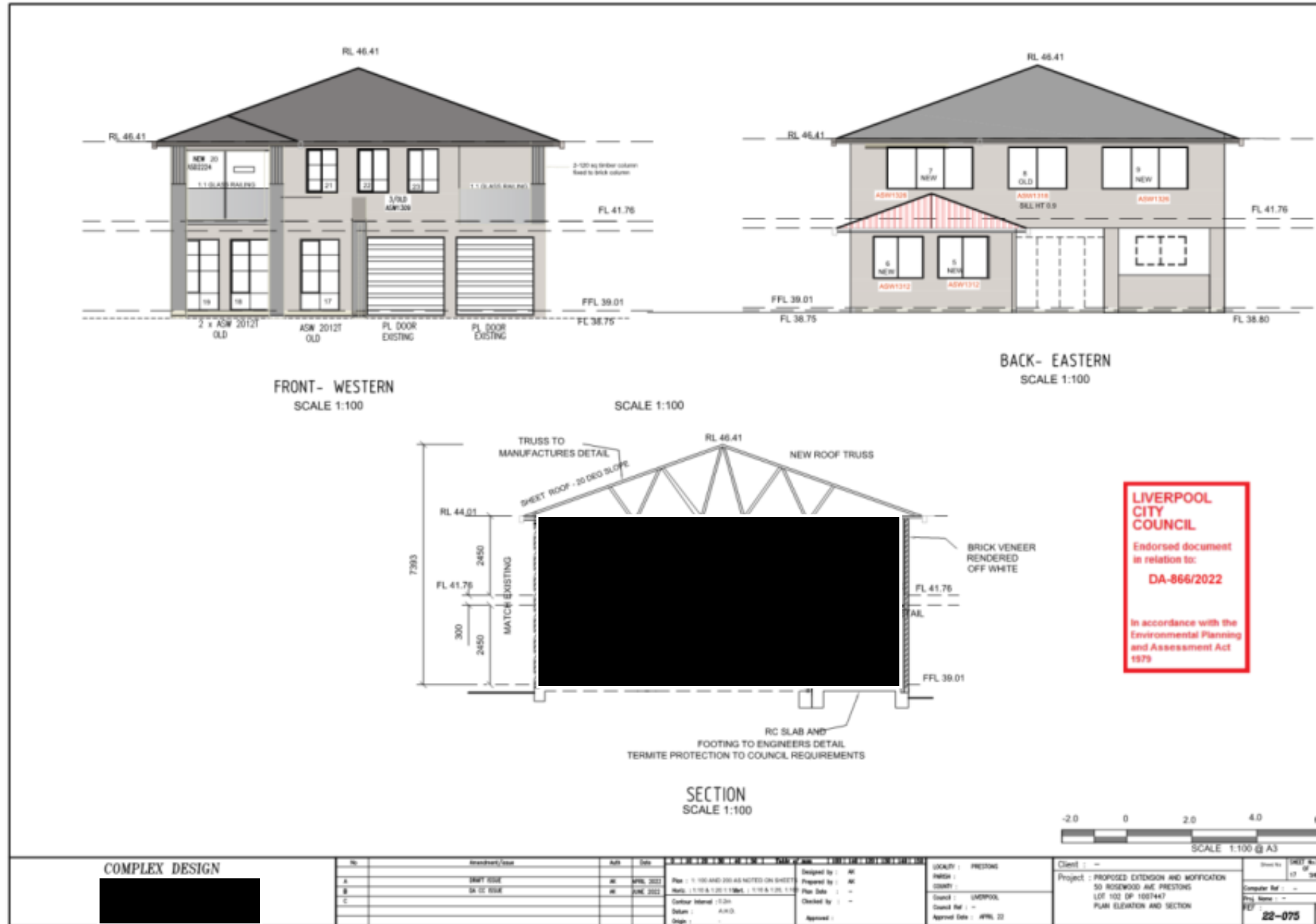
CLIENT: [REDACTED]

PROJECT: RETAIN AND USE UNAUTHORISED ALTERATIONS & CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING

SITE: 50 ROSEWOOD AVENUE
 LOT 102 DP 1007447

TITLE: DEMOLITION GROUND FLOOR
 UNAUTHORISED & PROPOSED

SCALE: A2	DATE:	DRAWN:	CHECKED:
NTS	04/12/2024	MR	AK
SHEET NO:	DRAWING NO:	REVISION:	
CUP2.4	A2/22-075	D	



Notes:

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3. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT DOCUMENTS ENDORSED BY LIVERPOOL CITY COUNCIL IN RELATION TO THE EXISTING CONSENT UNDER DA-866/2022, APPROVED 19 SEPTEMBER 2022.
4. TO ESTABLISH THE BACKGROUND, SCOPE AND CONTEXT OF THE WORKS IN THIS PLAN, THE ORIGINAL CONSENT FOR THE DWELLING UNDER DA-65470, APPROVED 6 SEPTEMBER 1999, BY LIVERPOOL CITY COUNCIL, SHOULD BE REFERRED TO AS REQUIRED.

D	RETAIN AND USE UNAUTHORISED ALTERATIONS AND SEEK CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING	MR	DEC 2024
C	CONSTRUCTION CERTIFICATE APPLICATION NSW PLANNING PORTAL REFERENCE CFI-232358	AK	OCT 2022
B	DEVELOPMENT APPLICATION NSW PLANNING PORTAL REFERENCE PAN-236140	AK	JUN 2022
A	DRAFT ISSUE TO PRESENT TO THE OWNERS	AK	APR 2022
REV	DESCRIPTION	BY	DWG
NSW PORTAL No. PAN-474516			

COMPLEX DESIGN DRAFTING SERVICES

CLIENT: [REDACTED]

PROJECT: RETAIN AND USE UNAUTHORISED ALTERATIONS & CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING

SITE: 50 ROSEWOOD AVENUE LOT 102 DP 1007447

TITLE: ELEVATIONS AND SECTION EXISTING WITH CONSENT (C)

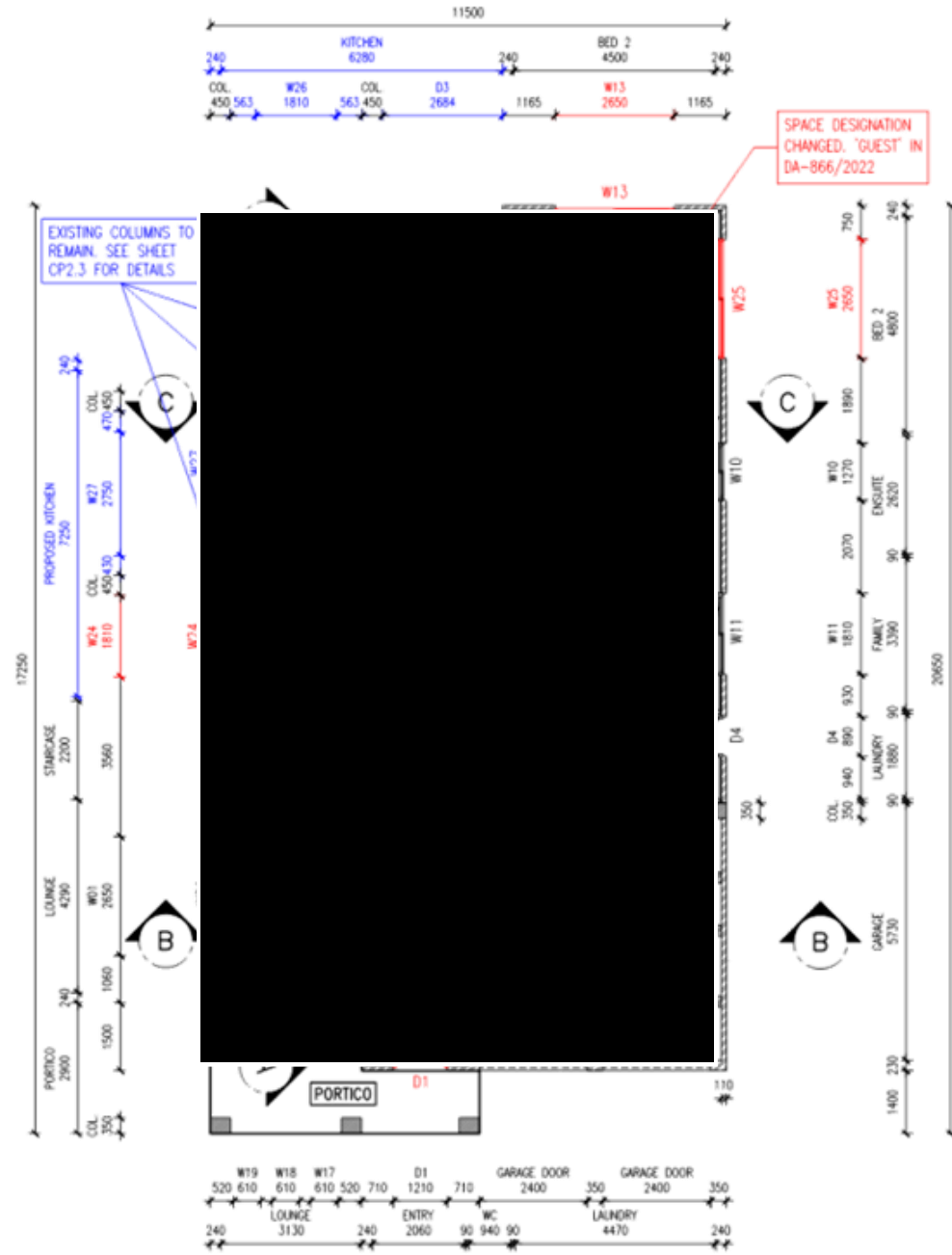
SCALE AT A2:	DATE:	DRAWN:	CHECKED:
NTS	04/12/2024	MR	AK
SHEET NO:	DRAWING NO:	REVISION:	
C8	A2/22-075	D	

ELEVATIONS AND SECTION EXISTING WITH CONSENT (C)

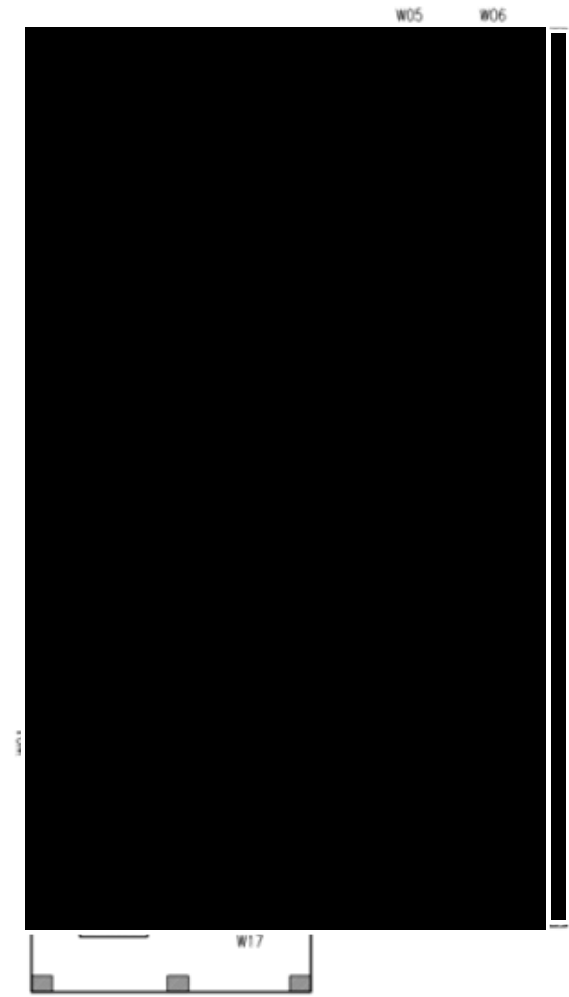
KEY ->

BLACK -> EXISTING WITH CONSENT (C), DA-866/2022 AND DA-654/00.
 BLUE -> PROPOSED (P) ALTERATIONS, SEEKING CONSENT TO CONSTRUCT.
 RED -> EXISTING WITHOUT CONSENT, UNAUTHORISED (U) ALTERATIONS SEEKING CONSENT TO RETAIN AND USE.

SHEET CUP5.3 PROVIDES A HOLISTIC VIEW OF THE DWELLING'S EVOLUTION, ILLUSTRATING EXISTING WITH CONSENT (C) ALTERATIONS, UNAUTHORISED (U) ALTERATIONS, AND PROPOSED (P) ALTERATIONS IN A SINGLE DRAWING.



GROUND FLOOR INTEGRATED PLAN
 PROPOSED (P) WORKS
 & EXISTING WITHOUT CONSENT (U) WORKS



COMPARISON WITH GROUND FLOOR
 EXISTING WITH CONSENT (C),
 SEE SHEET C5 FOR APPROVAL.

Notes:

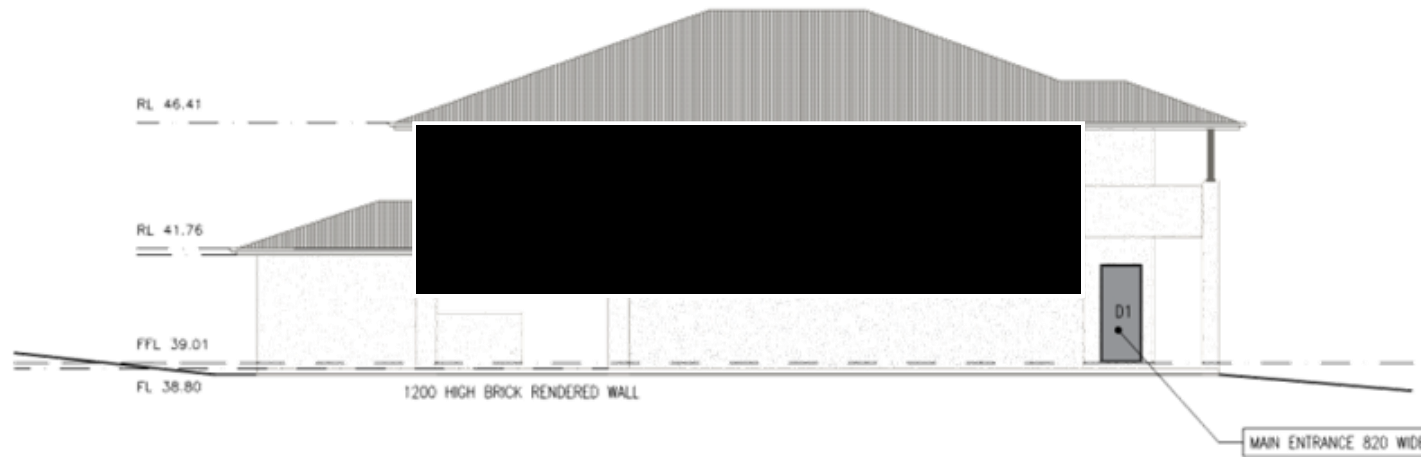
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D	RETAIN AND USE UNAUTHORISED ALTERATIONS AND SEEK CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING	MR	DEC 2024
C	CONSTRUCTION CERTIFICATE APPLICATION NSW PLANNING PORTAL REFERENCE CFI-232358	AK	OCT 2022
B	DEVELOPMENT APPLICATION NSW PLANNING PORTAL REFERENCE PAN-236140	AK	JUN 2022
A	DRAFT ISSUE TO PRESENT TO THE OWNERS	AK	APR 2022
REV	DESCRIPTION	BY	DATE
STATUS: NSW PORTAL No. PAN-474516			

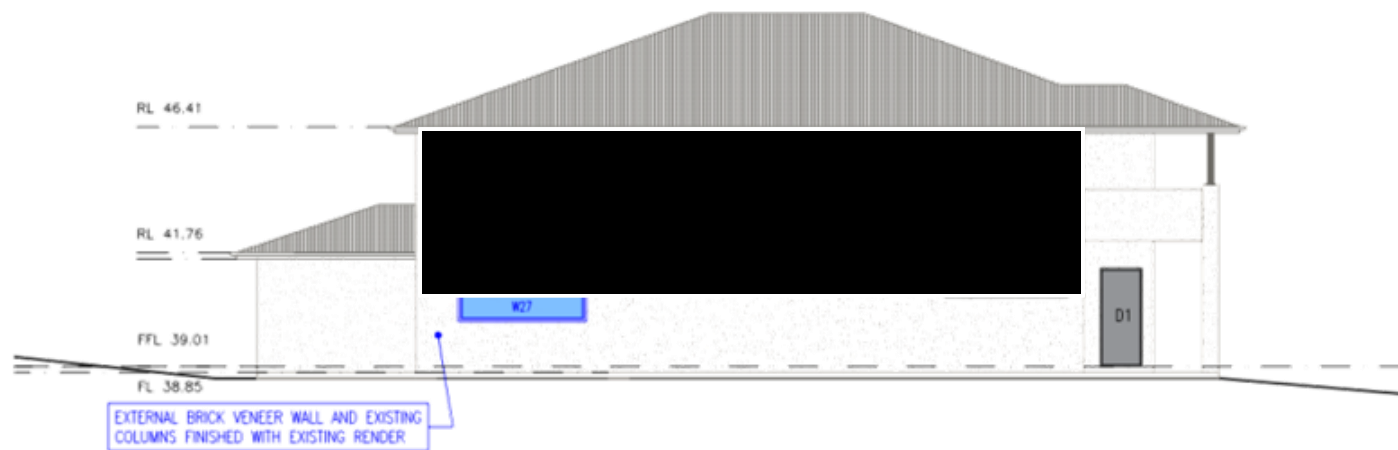
COMPLEX DESIGN DRAFTING SERVICES

CLIENT: [REDACTED]
 PROJECT: RETAIN AND USE UNAUTHORISED ALTERATIONS & CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING

SITE: 50 ROSEWOOD AVENUE LOT 102 DP 1007447			
TITLE: GROUND FLOOR UNAUTHORISED & PROPOSED			
SCALE AT A2: 1:100	DATE: 04/12/2024	DRAWN: MR	CHECKED: AK
SHEET NO: CUP5.3	DRAWING NO: A2/22-075	REVISION: D	



ELEVATION NORTH
EXISTING WITH CONSENT (DA-866/2022)



ELEVATION NORTH
PROPOSED (P)

KEY

BLACK -> EXISTING WITH CONSENT (C), DA-866/2022 AND DA-654/00.

BLUE -> PROPOSED (P) ALTERATIONS, SEEKING CONSENT TO CONSTRUCT.

RED -> EXISTING WITHOUT CONSENT, UNAUTHORISED (U) ALTERATIONS SEEKING TO RETAIN AND USE.

SHEET CP9.2 INCLUDES THE FOLLOWING PLANNING STATUS TYPES:

1. EXISTING WITH CONSENT (C) ALTERATIONS ENDORSED UNDER DA-866/2022.
2. PROPOSED (P) ALTERATIONS SEEKING CONSENT TO CONSTRUCT.
3. ON THIS SHEET, PROPOSED ALTERATIONS REFERS TO ALTERATIONS TO THE EXISTING WITH CONSENT (DA-866/2022) ALFRESCO AND EXISTING WITH CONSENT (DA-654/00) KITCHEN. THIS WORK REQUIRES ADDITION OF WINDOW, W27 ON NORTH ELEVATION.

NOTE:

THE PROPOSED PLANS ARE PRESENTED IN RELATION TO THE EXISTING APPROVED WORKS TO FACILITATE INDEPENDENT ASSESSMENT OF THE PROPOSED ALTERATIONS. THIS APPROACH ALLOWS COUNCIL TO EVALUATE THE PROPOSED WORKS IN THE CONTEXT OF APPROVED DEVELOPMENT, IRRESPECTIVE OF THE OUTCOME OF THE REQUEST TO RETAIN AND USE EXISTING UNAUTHORISED WORKS.

Notes:

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D	RETAIN AND USE UNAUTHORISED ALTERATIONS AND SEEK CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING	MR	DEC 2024
C	CONSTRUCTION CERTIFICATE APPLICATION NSW PLANNING PORTAL REFERENCE CFT-232358	AK	OCT 2022
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A	DRAFT ISSUE TO PRESENT TO THE OWNERS	AK	APR 2022
REV	DESCRIPTION	BY	DATE
STATUS: NSW PORTAL No. PAN-474516			

COMPLEX DESIGN DRAFTING SERVICES

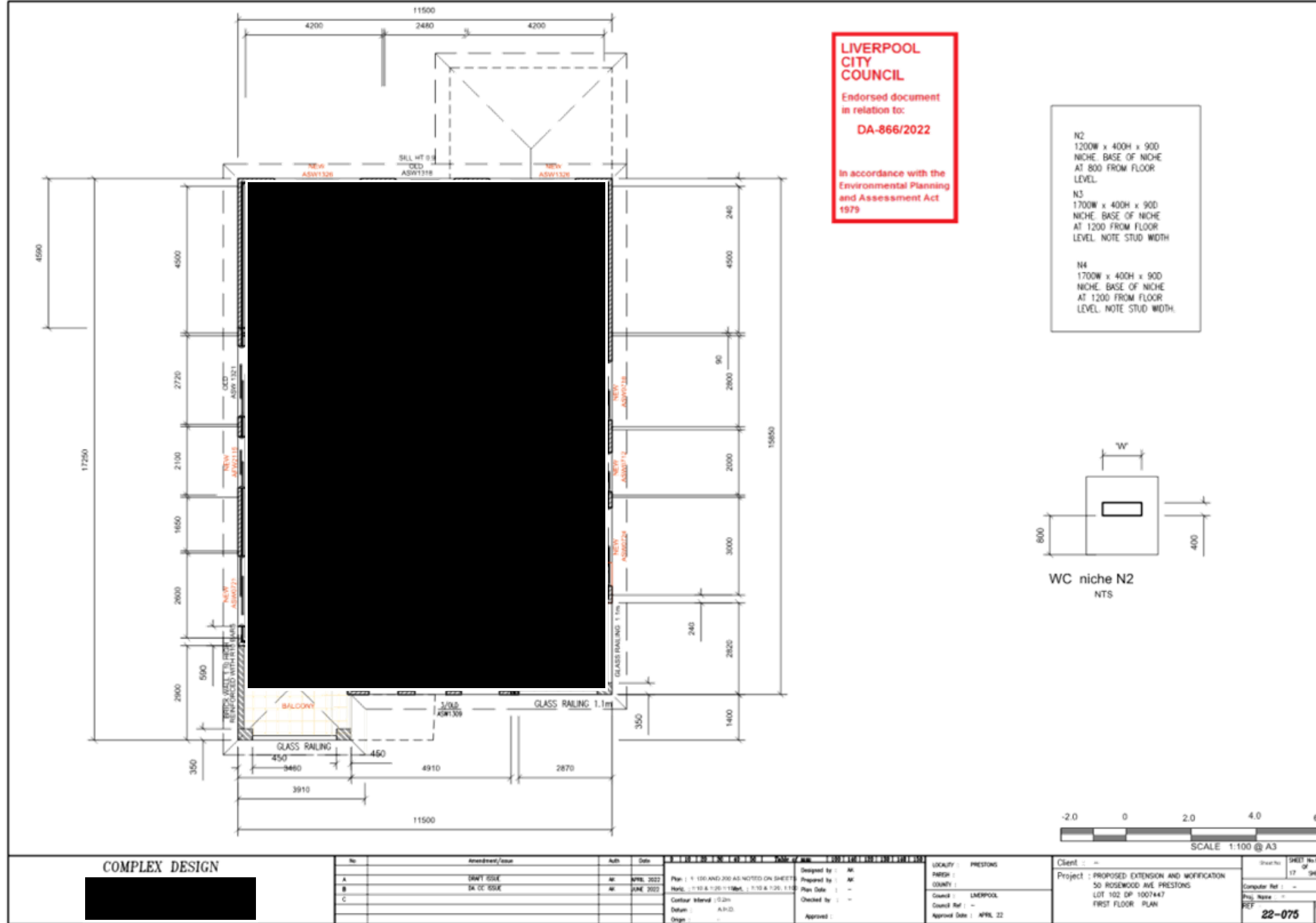
CLIENT: [REDACTED]

PROJECT: RETAIN AND USE UNAUTHORISED ALTERATIONS & CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING

SITE: 50 ROSEWOOD AVENUE
LOT 102 DP 1007447

TITLE: ELEVATION NORTH
PROPOSED ALTERATIONS (P)

SCALE AT A2: 1:100	DATE: 04/12/2024	DRAWN: MR	CHECKED: AK
SHEET NO: CP9.2	DRAWING NO: A2/22-075	REVISION: D	



FIRST FLOOR PLAN
EXISTING WITH CONSENT (C)

Notes:

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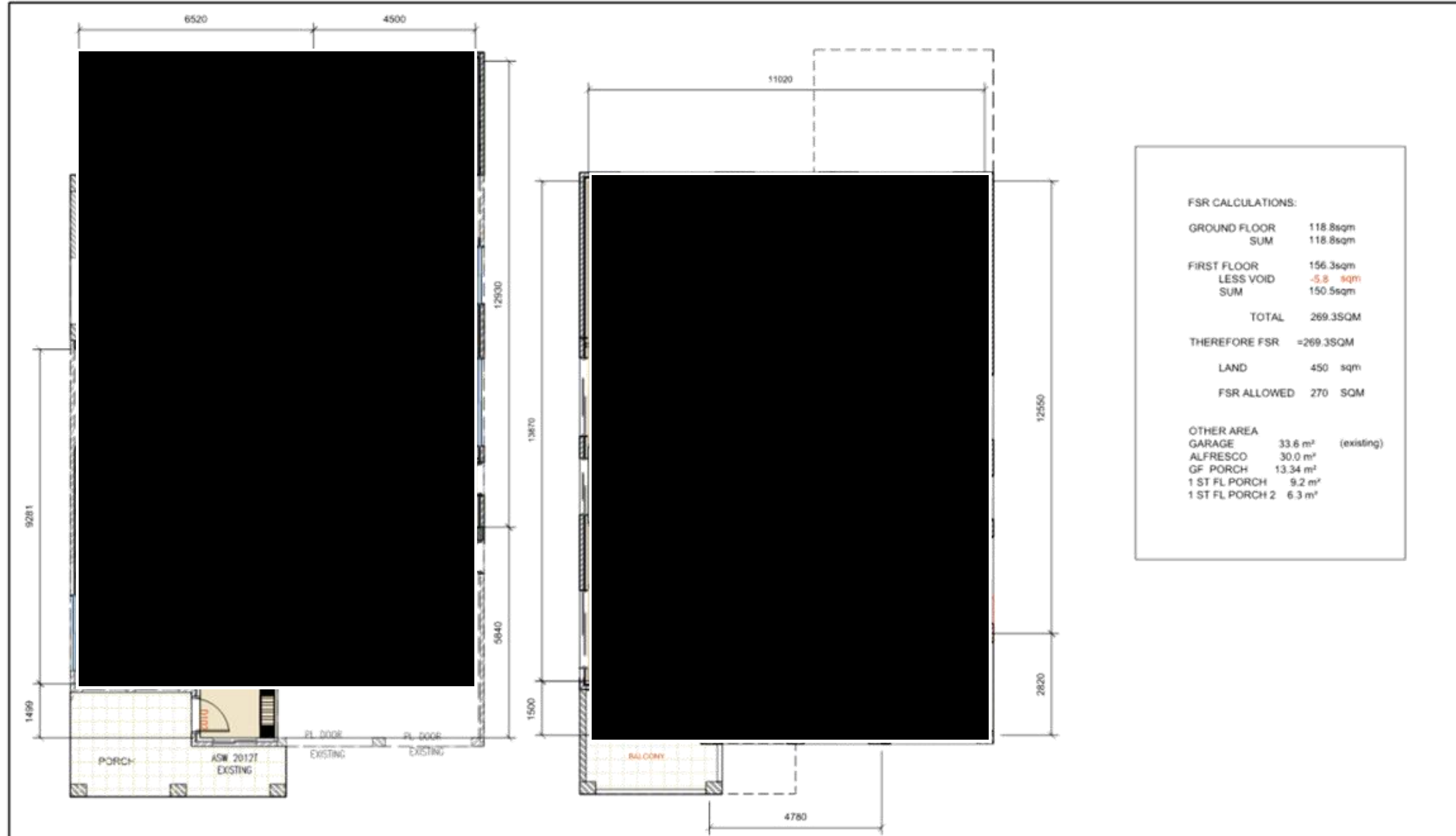
D	RETAIN AND USE UNAUTHORISED ALTERATIONS AND SEEK CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING	MR	DEC 2024
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A	DRAFT ISSUE TO PRESENT TO THE OWNERS	AK	APR 2022
REV	DESCRIPTION	BY	DATE
STATUS: NSW PORTAL No. PAN-474516			

COMPLEX DESIGN DRAFTING SERVICES

CLIENT: [REDACTED]

PROJECT: RETAIN AND USE UNAUTHORISED ALTERATIONS & CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING

SITE: 50 ROSEWOOD AVENUE LOT 102 DP 1007447			
TITLE: FIRST FLOOR EXISTING WITH CONSENT (C)			
SCALE AT A2: NTS	DATE: 04/12/2024	DRAWN: MR	CHECKED: AK
SHEET NO: C6	DRAWING NO: A2/22-075	REVISION: D	



FSR CALCULATIONS:

GROUND FLOOR	118.8sqm
SUM	118.8sqm
FIRST FLOOR	156.3sqm
LESS VOID	-5.8 sqm
SUM	150.5sqm
TOTAL	269.3SQM
THEREFORE FSR	=269.3SQM
LAND	450 sqm
FSR ALLOWED	270 SQM

OTHER AREA		(existing)
GARAGE	33.6 m ²	
ALFRESCO	30.0 m ²	
GF PORCH	13.34 m ²	
1 ST FL PORCH 1	9.2 m ²	
1 ST FL PORCH 2	6.3 m ²	

- Notes:**
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REV	DESCRIPTION	BY	DATE
D	RETAIN AND USE UNAUTHORISED ALTERATIONS AND SEEK CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING	MR	DEC 2024
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A	DRAFT ISSUE TO PRESENT TO THE OWNERS	AK	APR 2022

STATUS: NSW PORTAL No. PAN-474516

COMPLEX DESIGN DRAFTING SERVICES

CLIENT: [REDACTED]

PROJECT: RETAIN AND USE UNAUTHORISED ALTERATIONS & CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING

SITE:	50 ROSEWOOD AVENUE LOT 102 DP 1007447
TITLE:	FSR CALCULATION EXISTING WITH CONSENT (C)
SCALE AT A2:	NTS
DATE:	04/12/2024
DRAWN:	MR
CHECKED:	AK
SHEET NO:	C7
DRAWING NO:	A2/22-075
REVISION:	D

COMPLEX DESIGN

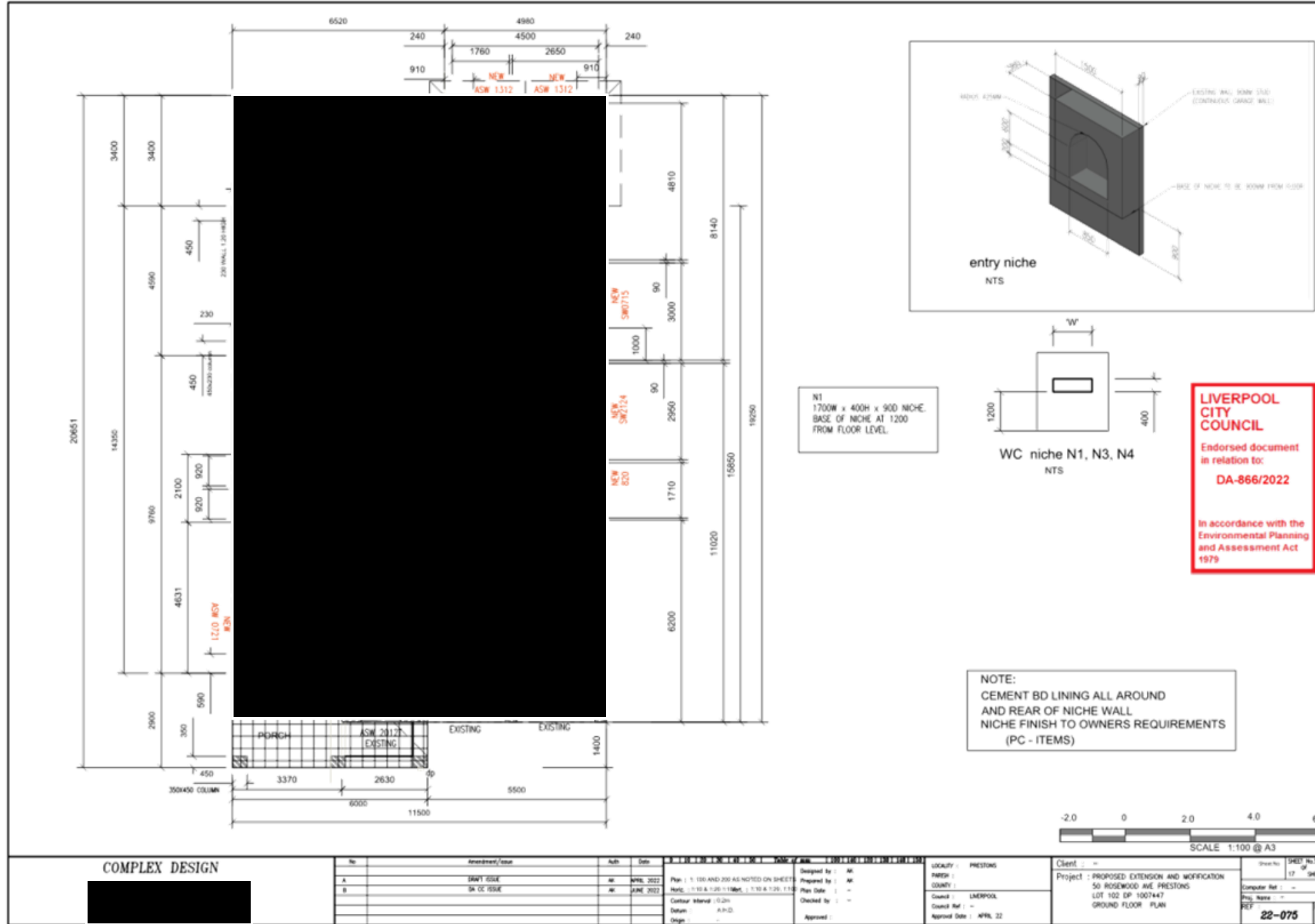
No	Amendment/Issue	Auth	Date
A	DRAFT ISSUE	MR	APRIL 2022
B	DA DC ISSUE	MR	JUNE 2022
C	DC ISSUE	MR	OCT 2022

Drawn by:	MR
Prepared by:	MR
Checked by:	MR
Approved:	MR

LOCALITY:	PRESTONS
PROJECT:	PROPOSED EXTENSION AND MODIFICATION 50 ROSEWOOD AVE PRESTONS LOT 102 DP 1007447
COUNTY:	LIVERPOOL
COUNCIL REF:	DA-866/2022/A
APPROVAL DATE:	APRIL 22
Client:	---
Sheet No. of SHEETS:	17 of 17
Computer Ref:	---
Project Name:	---
Rev:	C



FSR CALCULATION PLAN EXISTING WITH CONSENT (C)



**GROUND FLOOR PLAN
EXISTING WITH CONSENT (C)**

Notes:

1. THE COPYRIGHT OF THIS DRAWING IS VESTED IN COMPLEX DESIGN DRAFTING SERVICES. THIS DRAWING MAY NOT BE REPRODUCED OR TRANSMITTED BY ANY MEANS IN PART OR IN WHOLE FOR USE OTHER THAN ITS INTENDED USE WITHOUT WRITTEN PERMISSION OF COMPLEX DESIGN DRAFTING SERVICES.
2. FIGURED DIMENSIONS ARE TO BE USED IN PREFERENCE TO SCALING. CONTRACTOR TO CHECK ALL DIMENSIONS PRIOR TO THE COMMENCEMENT OF WORK.
3. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT DOCUMENTS ENDORSED BY LIVERPOOL CITY COUNCIL IN RELATION TO THE EXISTING CONSENT UNDER DA-866/2022 APPROVED 19 SEPTEMBER 2022.
4. TO ESTABLISH THE BACKGROUND, SCOPE AND CONTEXT OF THE WORKS IN THIS PLAN, THE ORIGINAL CONSENT FOR THE DWELLING UNDER DA-654/00 APPROVED 6 SEPTEMBER 1999 BY LIVERPOOL CITY COUNCIL, SHOULD BE REFERRED TO AS REQUIRED.

REV	DESCRIPTION	BY	DATE
D	RETAIN AND USE UNAUTHORISED ALTERATIONS AND SEEK CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING	MR	DEC 2024
C	CONSTRUCTION CERTIFICATE APPLICATION NSW PLANNING PORTAL REFERENCE CFI-232358	AK	OCT 2022
B	DEVELOPMENT APPLICATION NSW PLANNING PORTAL REFERENCE PAN-236140	AK	JUN 2022
A	DRAFT ISSUE TO PRESENT TO THE OWNERS	AK	APR 2022

STATUS: NSW PORTAL No. PAN-474516

COMPLEX DESIGN DRAFTING SERVICES

COMPLEX DESIGN

CLIENT: [REDACTED]

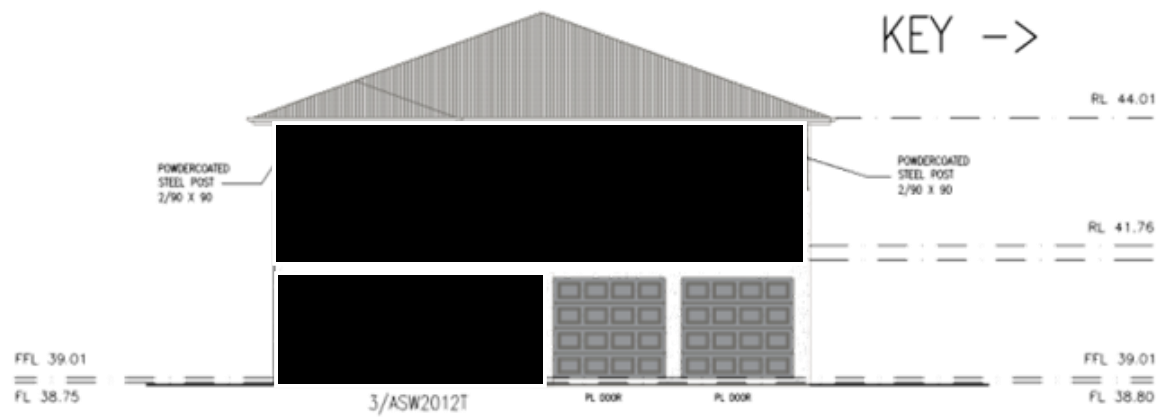
PROJECT: RETAIN AND USE UNAUTHORISED ALTERATIONS & CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING

SITE: 50 ROSEWOOD AVENUE
LOT 102 DP 1007447

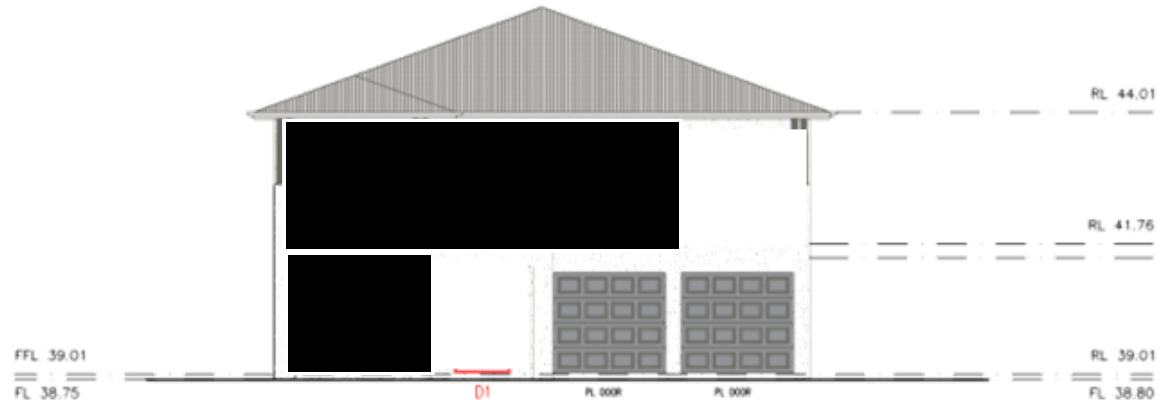
TITLE: GROUND FLOOR
EXISTING WITH CONSENT (C)

SCALE AT A2	DATE	DRAWN	CHECKED
NTS	04/12/2024	MR	AK

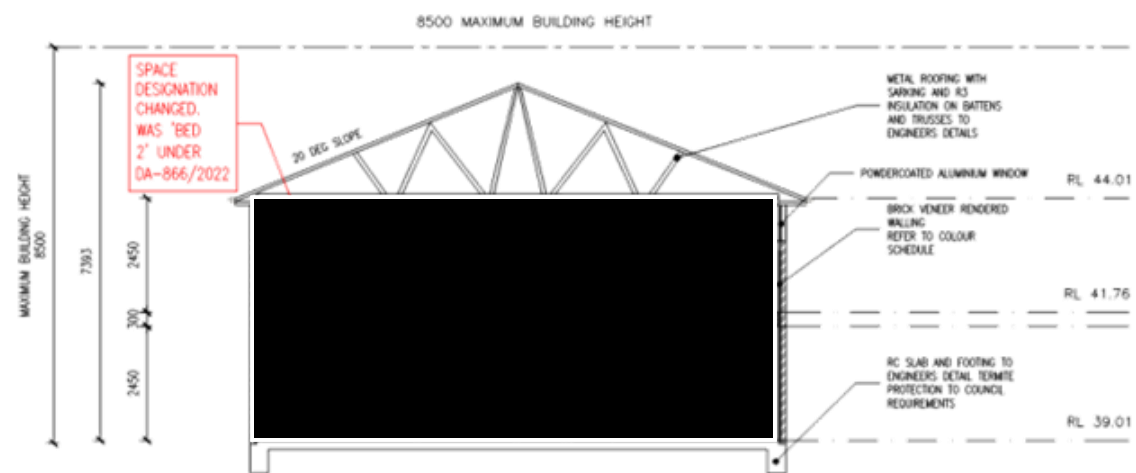
SHEET NO.	DRAWING NO.	REVISION
C5	A2/22-075	D



ELEVATION WEST
EXISTING WITH CONSENT (DA-866/2022)



ELEVATION WEST
EXISTING WITHOUT CONSENT (U)



SECTION B-B
(UNAFFECTED EXCEPT CHANGE IN SPACE DESIGNATION)

BLACK -> EXISTING WITH CONSENT (C), DA-866/2022 AND DA-654/00.
BLUE -> PROPOSED (P) ALTERATIONS SEEKING CONSENT TO CONSTRUCT.
RED -> EXISTING WITHOUT CONSENT, UNAUTHORISED (U) ALTERATIONS SEEKING CONSENT TO RETAIN AND USE.

SHEET CU8.4 INCLUDES THE FOLLOWING PLANNING STATUS TYPES:

1. EXISTING WITH CONSENT (C) ALTERATIONS ENDORSED UNDER DA-866/2022.
2. EXISTING WITHOUT CONSENT (U) ALTERATIONS SEEKING TO RETAIN AND USE.
3. ON THIS SHEET (U) REPRESENTS THE UNAUTHORISED BUILDING ELEMENTS INTEGRATED WITH THE DWELLING WITH CONSENT. THESE ELEMENTS ARE (W17, W18, W19 AND D1).



ELEVATION NORTH IN DA-654/00. COMPARISON OF
STREETScape AND AMENITY WITH OLD FRONT DOOR
NOT FACING THE STREET.

Notes:

1. THE COPYRIGHT OF THIS DRAWING IS VESTED IN COMPLEX DESIGN DRAFTING SERVICES. THIS DRAWING MAY NOT BE REPRODUCED OR TRANSMITTED BY ANY MEANS IN PART OR IN WHOLE FOR USE OTHER THAN ITS INTENDED USE WITHOUT WRITTEN PERMISSION OF COMPLEX DESIGN DRAFTING SERVICES.
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4. TO ESTABLISH THE BACKGROUND, SCOPE AND CONTEXT OF THE WORKS IN THIS PLAN, THE ORIGINAL CONSENT FOR THE DWELLING UNDER DA-654/00, APPROVED 6 SEPTEMBER 1999, BY LIVERPOOL CITY COUNCIL, SHOULD BE REFERRED TO AS REQUIRED.

D	RETAIN AND USE UNAUTHORISED ALTERATIONS AND SEEK CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING	MR	DEC 2024
C	CONSTRUCTION CERTIFICATE APPLICATION NSW PLANNING PORTAL REFERENCE CFT-232358	AK	OCT 2022
B	DEVELOPMENT APPLICATION NSW PLANNING PORTAL REFERENCE PAN-236140	AK	JUN 2022
A	DRAFT ISSUE TO PRESENT TO THE OWNERS	AK	APR 2022
REV	DESCRIPTION	BY	DATE
STATUS: NSW PORTAL No. PAN-474516			

COMPLEX DESIGN DRAFTING SERVICES

COMPLEX DESIGN

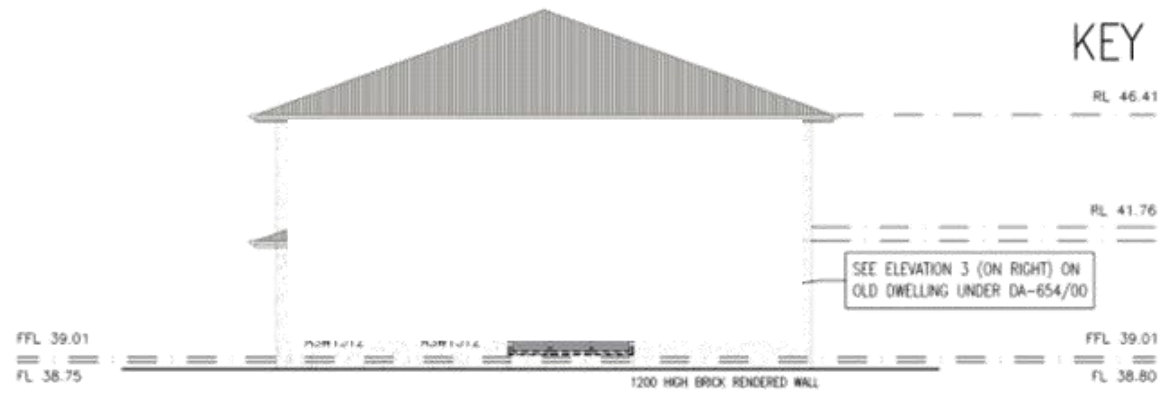
CLIENT: [REDACTED]

PROJECT: RETAIN AND USE UNAUTHORISED ALTERATIONS & CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING

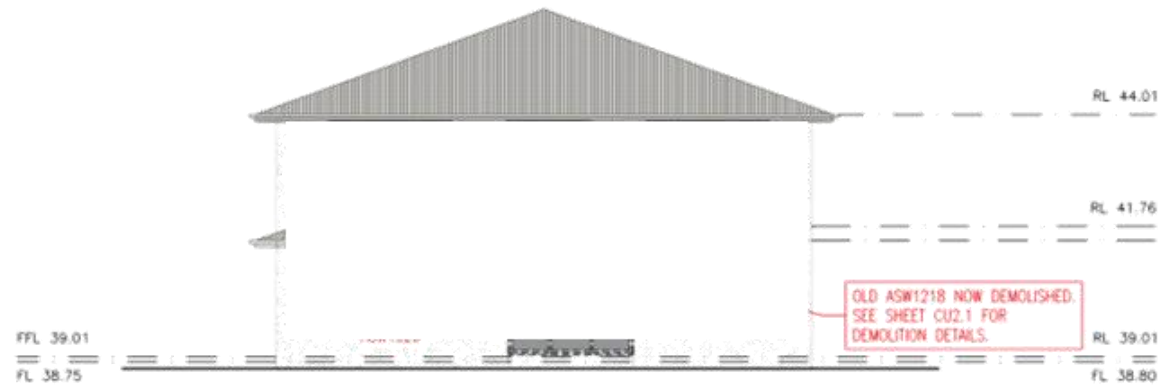
SITE: 50 ROSEWOOD AVENUE
LOT 102 DP 1007447

TITLE: ELEVATION & SECTION - WEST
EXISTING WITHOUT CONSENT (U)

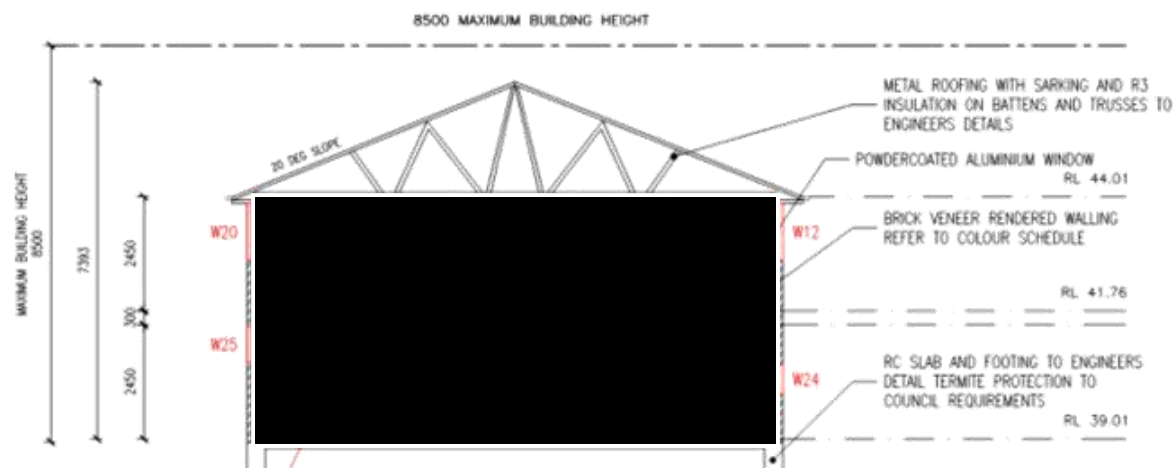
SCALE AT A2	DATE	DRAWN	CHECKED
1:100	04/12/2024	MR	AK
SHEET NO.	DRAWING NO.	REVISION	
CU8.4	A2/22-075	D	



ELEVATION EAST
EXISTING WITH CONSENT (DA-866/2022)



ELEVATION EAST
EXISTING WITHOUT CONSENT (U)



SECTION C-C
EXISTING WITHOUT CONSENT (U)

KEY ->

- BLACK -> EXISTING WITH CONSENT (C). DA-866/2022 AND DA-654/00.
- BLUE -> PROPOSED (P) ALTERATIONS SEEKING CONSENT TO CONSTRUCT.
- RED -> EXISTING WITHOUT CONSENT UNAUTHORISED (U) ALTERATIONS SEEKING CONSENT TO RETAIN AND USE.

SHEET CUB.1 INCLUDES THE FOLLOWING PLANNING STATUS TYPES:

1. EXISTING WITH CONSENT (C) ALTERATIONS ENDORSED UNDER DA-866/2022.
2. EXISTING WITHOUT CONSENT (U) ALTERATIONS SEEKING TO RETAIN AND USE.
3. ON THIS SHEET (U) REPRESENTS THE UNAUTHORISED WINDOWS (W12, W13, W20 AND W24), AND THE OLD ASW1218 SUBJECT TO UNAUTHORISED DEMOLITION.



ELEVATION EAST IN ORIGINAL DA-654/00
SHOWING OLD WINDOW ASW1218. SEE SHEET C4.2

Notes:

1. THE COPYRIGHT OF THE DRAWING IS VESTED IN COMPLEX DESIGN DRAFTING SERVICES. THIS DRAWING MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY MANNER IN PART OR IN WHOLE FOR USE OTHER THAN ITS INTENDED USE WITHOUT WRITTEN PERMISSION OF COMPLEX DESIGN DRAFTING SERVICES.
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D	RETAIN AND USE UNAUTHORISED ALTERATIONS AND SEEK CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING	MR	DEC 2024
C	CONSTRUCTION CERTIFICATE APPLICATION NSW PLANNING PORTAL REFERENCE CFI-232358	AK	OCT 2022
B	DEVELOPMENT APPLICATION NSW PLANNING PORTAL REFERENCE PAN-236140	AK	JUN 2022
A	DRAFT ISSUE TO PRESENT TO THE OWNERS	AK	APR 2022
REV	DESCRIPTION	BY	DATE
STATUS: NSW PORTAL No. PAN-474516			

COMPLEX DESIGN DRAFTING SERVICES

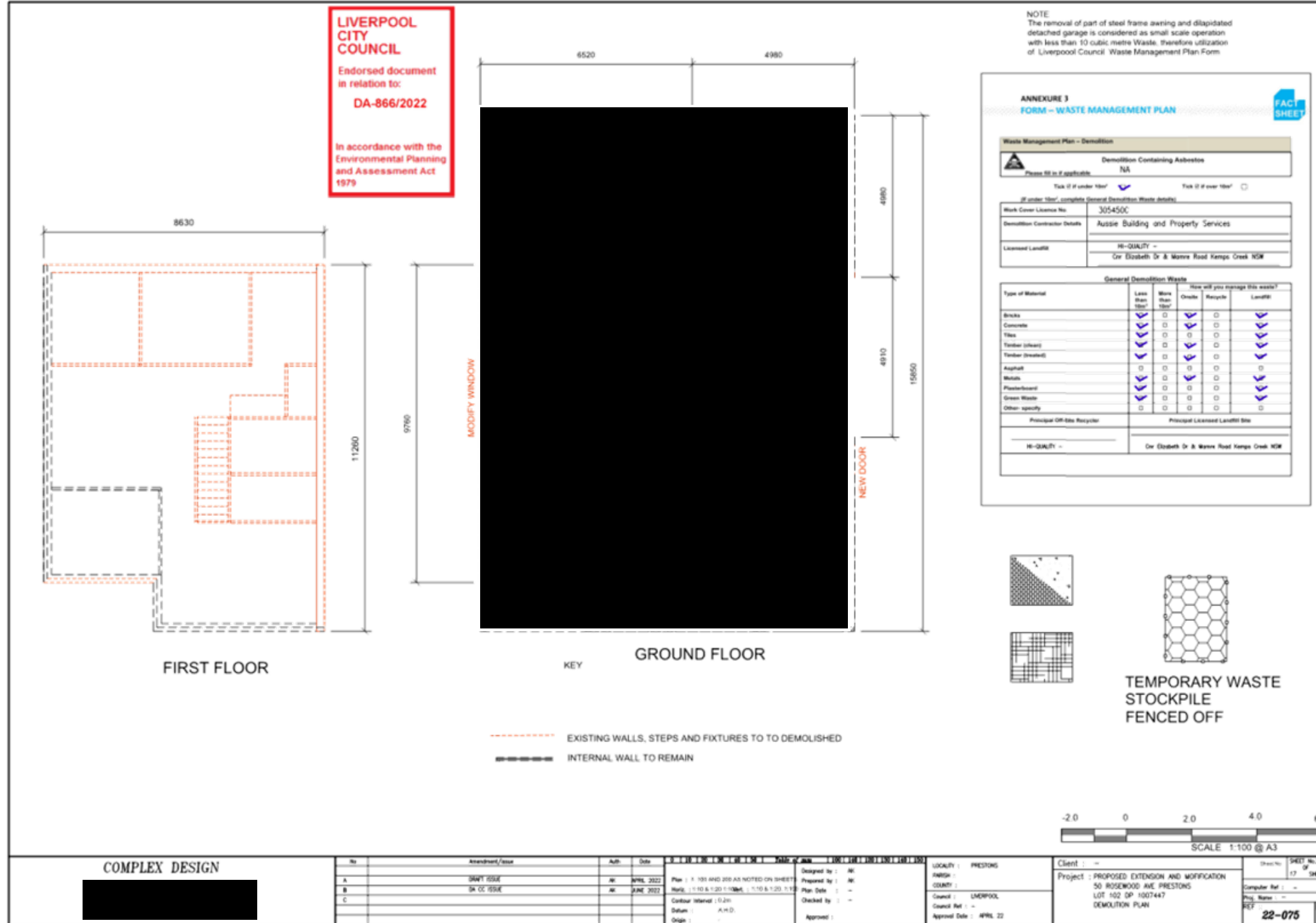
CLIENT: [REDACTED]

PROJECT: RETAIN AND USE UNAUTHORISED ALTERATIONS & CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING

SITE: 50 ROSEWOOD AVENUE
LOT 102 DP 1007447

TITLE: ELEVATION & SECTION - EAST
EXISTING WITHOUT CONSENT (U)

SCALE AT A2	DATE	DRAWN	CHECKED
1:100	04/12/2024	MR	AK
SHEET NO.	DRAWING NO.	REVISION	
CUB.1	A2/22-075	D	



- Notes:**
- THE COPYRIGHT OF THIS DRAWING IS VESTED IN COMPLEX DESIGN DRAFTING SERVICES. THIS DRAWING MAY NOT BE REPRODUCED OR TRANSMITTED BY ANY MEANS IN PART OR IN WHOLE FOR USE OTHER THAN ITS INTENDED USE WITHOUT WRITTEN PERMISSION OF COMPLEX DESIGN DRAFTING SERVICES.
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 - TO ESTABLISH THE BACKGROUND, SCOPE AND CONTEXT OF THE WORKS IN THIS PLAN, THE ORIGINAL CONSENT FOR THE DWELLING UNDER DA-654/00 APPROVED 6 SEPTEMBER 1999 BY LIVERPOOL CITY COUNCIL, SHOULD BE REFERRED TO AS REQUIRED.

REV	DESCRIPTION	BY	DATE
D	RETAIN AND USE UNAUTHORISED ALTERATIONS AND SEEK CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING	AK	DEC 2024
C	CONSTRUCTION CERTIFICATE APPLICATION NSW PLANNING PORTAL REFERENCE CFI-232358	AK	OCT 2022
B	DEVELOPMENT APPLICATION NSW PLANNING PORTAL REFERENCE PAN-236140	AK	JUN 2022
A	DRAFT ISSUE TO PRESENT TO THE OWNERS	AK	APR 2022

STATUS: NSW PORTAL No. PAN-474516

COMPLEX DESIGN DRAFTING SERVICES

COMPLEX DESIGN

CLIENT: [REDACTED]

PROJECT: RETAIN AND USE UNAUTHORISED ALTERATIONS & CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING

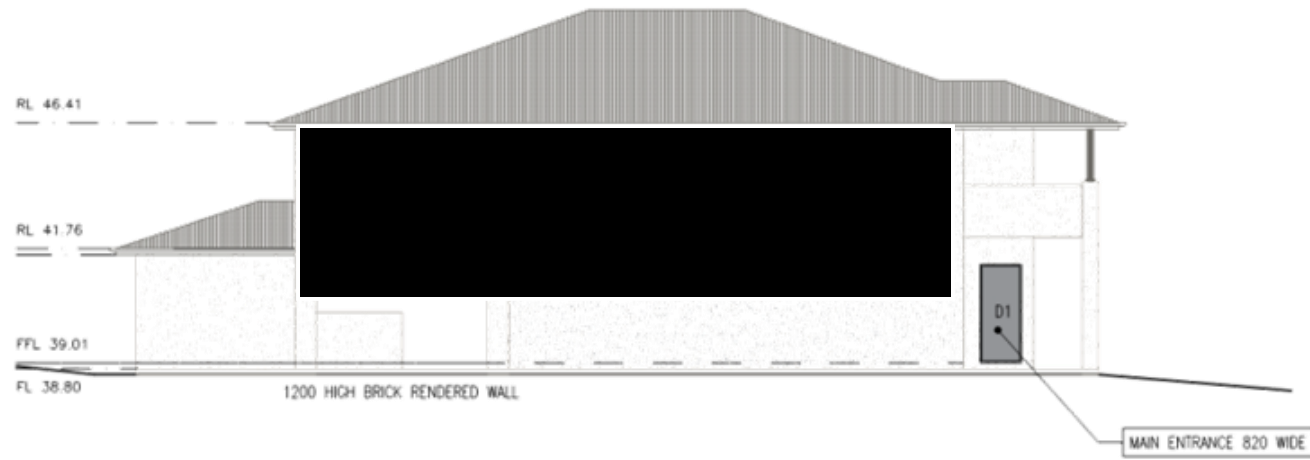
SITE: 50 ROSEWOOD AVENUE LOT 102 DP 1007447

TITLE: DEMOLITION PLAN EXISTING WITH CONSENT (C)

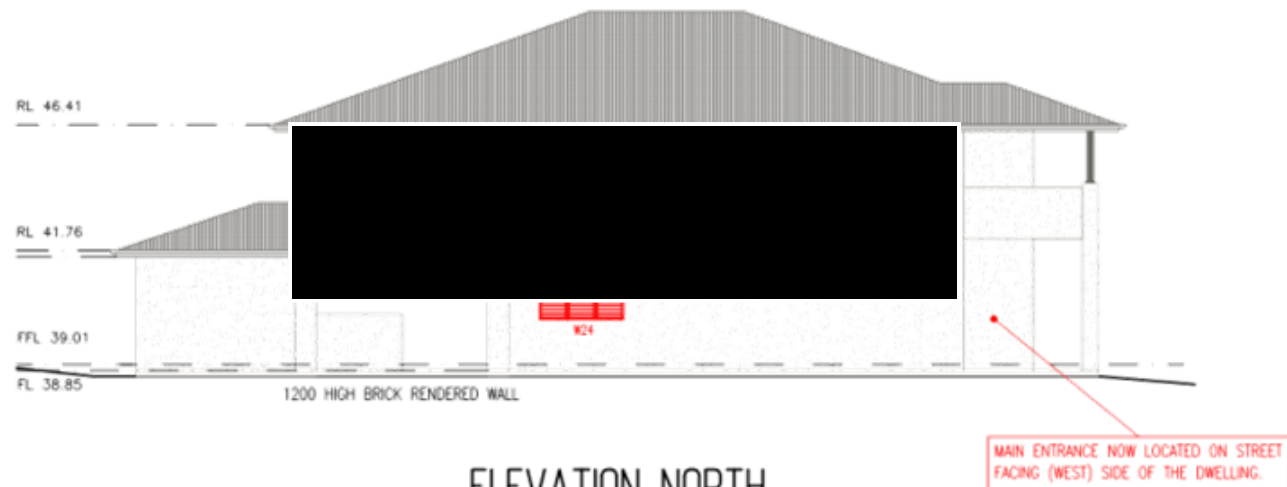
SCALE AT A2	DATE	DRAWN	CHECKED
NTS	04/12/2024	MR	AK

SHEET NO	DRAWING NO	REVISION
C2	A2/22-075	D

DEMOLITION PLAN EXISTING WITH CONSENT (C)



ELEVATION NORTH
EXISTING WITH CONSENT (DA-866/2022)



ELEVATION NORTH
EXISTING WITHOUT CONSENT (U)

KEY

BLACK -> EXISTING WITH CONSENT (C), BA-866/2022 AND DA-654/00.

BLUE -> PROPOSED (P) ALTERATIONS, SEEKING TO CONSTRUCT.

RED -> EXISTING WITHOUT CONSENT, UNAUTHORISED (U) ALTERATIONS SEEKING TO RETAIN AND USE.

SHEET CU9.1 INCLUDES THE FOLLOWING PLANNING STATUS TYPES:

1. EXISTING WITH CONSENT (C) ALTERATIONS ENDORSED UNDER DA-866/2022.
2. EXISTING WITHOUT CONSENT (U) ALTERATIONS SEEKING CONSENT TO RETAIN AND USE.
3. ON THIS SHEET, EXISTING WITHOUT CONSENT ALTERATIONS REFERS TO THE FOLLOWING BUILDING ELEMENTS:
 - ADDITION OF WINDOW, W12 IN BED 4.
 - ADDITION OF WINDOW, W24 IN EXISTING KITCHEN.
 - CHANGE IN ORIENTATION OF FRONT DOOR, D1.

ORIGINAL ELEVATION NORTH UNDER DA-654/00.
SEE SHEET C4.2.



Notes:

1. THE COPYRIGHT OF THIS DRAWING IS VESTED IN COMPLEX DESIGN DRAFTING SERVICES. THIS DRAWING MAY NOT BE REPRODUCED OR TRANSMITTED BY ANY MEANS IN PART OR IN WHOLE FOR USE OTHER THAN ITS INTENDED USE WITHOUT WRITTEN PERMISSION OF COMPLEX DESIGN DRAFTING SERVICES.
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4. TO ESTABLISH THE BACKGROUND, SCOPE AND CONTEXT OF THE WORKS IN THIS PLAN, THE ORIGINAL CONSENT FOR THE DWELLING UNDER DA-654/00, APPROVED 6 SEPTEMBER 1999, BY LIVERPOOL CITY COUNCIL, SHOULD BE REFERRED TO AS REQUIRED.

D	RETAIN AND USE UNAUTHORISED ALTERATIONS AND SEEK CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING	MR	DEC 2024
C	CONSTRUCTION CERTIFICATE APPLICATION NSW PLANNING PORTAL REFERENCE CFT-232358	AK	OCT 2022
B	DEVELOPMENT APPLICATION NSW PLANNING PORTAL REFERENCE PAN-236140	AK	JUN 2022
A	DRAFT ISSUE TO PRESENT TO THE OWNERS	AK	APR 2022
REV	DESCRIPTION	BY	DATE
STATUS: NSW PORTAL No. PAN-474516			

COMPLEX DESIGN DRAFTING SERVICES

COMPLEX DESIGN

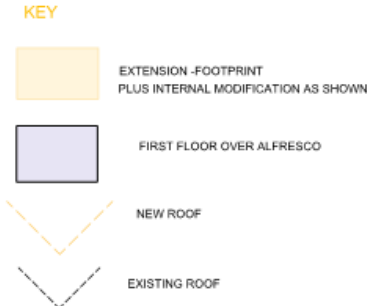
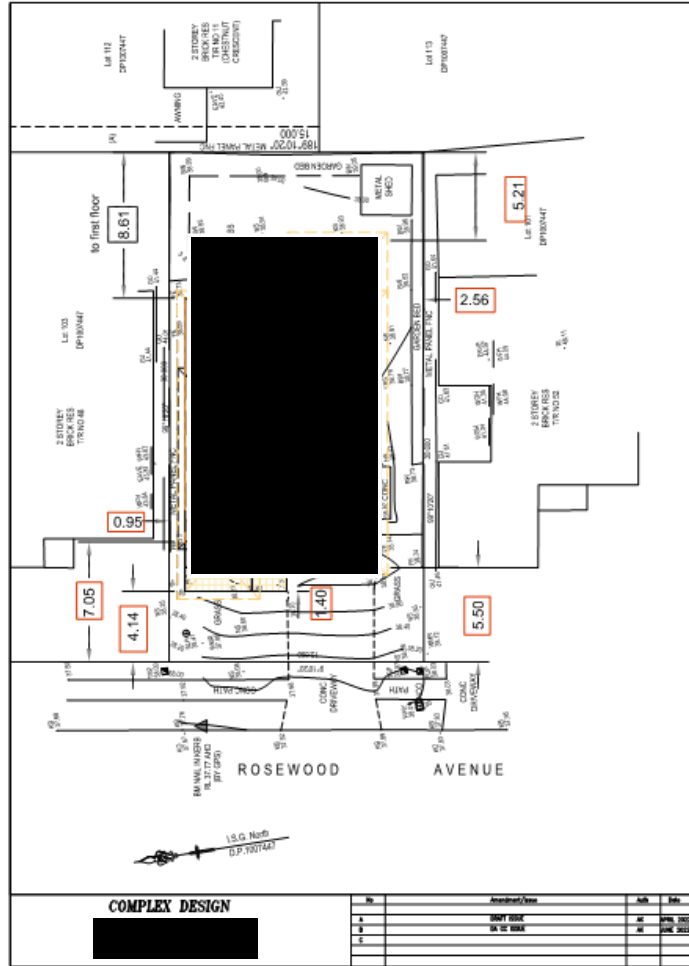
CLIENT: [REDACTED]

PROJECT: RETAIN AND USE UNAUTHORISED ALTERATIONS & CLAUSE 4.6 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING

SITE: 50 ROSEWOOD AVENUE
LOT 102 DP 1007447

TITLE: ELEVATION NORTH
EXISTING WITHOUT CONSENT (U)

SCALE AT A2	DATE	DRAWN	CHECKED
1:100	04/12/2024	MR	AK
SHEET NO.	DRAWING NO.	REVISION	
CU9.1	A2/22-075	D	



LIVERPOOL CITY COUNCIL
 Endorsed document
 in relation to:
DA-866/2022
 in accordance with the
 Environmental Planning
 and Assessment Act
 1979

GENERAL NOTES:

- THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL OTHER SPECIFICATIONS AND WITH SUCH OTHER WRITTEN INSTRUCTIONS THAT MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. ANY DISCREPANCIES IN THESE DOCUMENTS SHALL BE REFERRED TO THE OWNER FOR A DECISION BEFORE PROCEEDING WITH THE WORK.
- THE BUILDER SHALL CHECK AND BE RESPONSIBLE FOR THE CORRECTNESS OF ALL DIMENSIONS AND ANY DISCREPANCY SHALL BE REPORTED IMMEDIATELY TO THE OWNER. DIMENSIONS SHALL NOT BE OBTAINED BY SCALING FROM THE DRAWINGS.

THE CC PLANS, WORKMANSHIP AND MATERIAL SHALL COMPLY WITH BUILDING CODE OF AUSTRALIA, RELEVANT AUSTRALIAN STANDARDS, NSW TIMBER FRAMING MANUAL AND OTHER DETAILS BY PROFESSIONALS WIND = REGION 'N' 46 m/s

- The Proposed works shall comply with the following:
- Glassing AS 1288 - 2006 and AS 2047 - 2014
 - Timber Framing in accordance with AS 1794.2 - 2010
 - Floatings in accordance with AS 2870 - 2011
 - Stormwater in accordance with AS 3500.3 - 2003
 - Ferme Management in accordance with AS 3690.1 - 2014
 - Masonry CC PLANS in accordance with AS 3700 - 2011 & AS 4773.2 - 2010
 - Waterproofing in accordance with AS 3740 - 2010
 - Smoke Alarms in accordance with AS 3795 - 2014
 - Concrete CC PLANS in accordance with AS 3600 - 2009
 - Roof Tiling in accordance with Part 3.5.1 of the NCC 2015 Vol.2 and AS 2049 - 2010
 - Sound Insulation in accordance with AS/NZS 1276 - 1999
 - Balustrade to comply with Part 3.9.2 of the NCC 2015 Vol. 2
 - Slab CC PLANS in accordance with Part 3.9.1 of the NCC 2015 Vol. 2
 - Provide Window Protection in accordance with Part 3.9.2.5 of the NCC Vol. 2 Clause

COMPLEX DESIGN

No	Amendment/Date	Auth	Date
1	ISSUE	AC	20/01/2022
2	ISSUE	AC	20/01/2022

NO	DATE	BY	CHKD	APPD
1	20/01/2022	AC	AC	AC
2	20/01/2022	AC	AC	AC

DESIGNED BY: AC	CHECKED BY: AC
DRAWN BY: AC	APPROVED BY: AC
DATE: 20/01/2022	DATE: 20/01/2022

PROJECT: PROPOSED EXTENSION AND MODIFICATION 50 ROSEWOOD AVE PRESTONS LOT 102 DP 1007447	CLIENT: -
CONTRACT NO: -	DATE: 22-075

**SITE PLAN
EXISTING WITH CONSENT (C)**

Notes:

- THE COMPRISE OF THIS DRAWING IS VESTED IN COMPLEX DESIGN DRAFTING SERVICES. THIS DRAWING MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY MANNER IN PART OR IN WHOLE FOR USE OTHER THAN THAT INTENDED USE WITHOUT WRITTEN PERMISSION OF COMPLEX DESIGN DRAFTING SERVICES.
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- TO ESTABLISH THE BACKGROUND, SCOPE AND CONTENT OF THE WORKS IN THIS PLAN, THE ORIGINAL CONSENT FOR THE DRAWING UNDER DA-866/2022, APPROVED 19 SEPTEMBER 2022 BY LIVERPOOL CITY COUNCIL, SHOULD BE REFERRED TO AS REQUIRED.

NO	DESCRIPTION	BY	DATE
D	RETAIN AND USE UNAUTHORISED ALTERATIONS AND SEEK CLAUSE 4.4 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING	MR	08/01/2024
C	CONSTRUCTION CERTIFICATE APPLICATION NSW PLANNING PORTAL REFERENCE CP1-232356	AK	OCT 2022
B	DEVELOPMENT APPLICATION NSW PLANNING PORTAL REFERENCE PAN-236142	AK	JUN 2022
A	DRAFT ISSUE TO PRESENT TO THE OWNERS	AK	APR 2022

NSW PORTAL No. PAN-474516

COMPLEX DESIGN
DRAFTING SERVICES

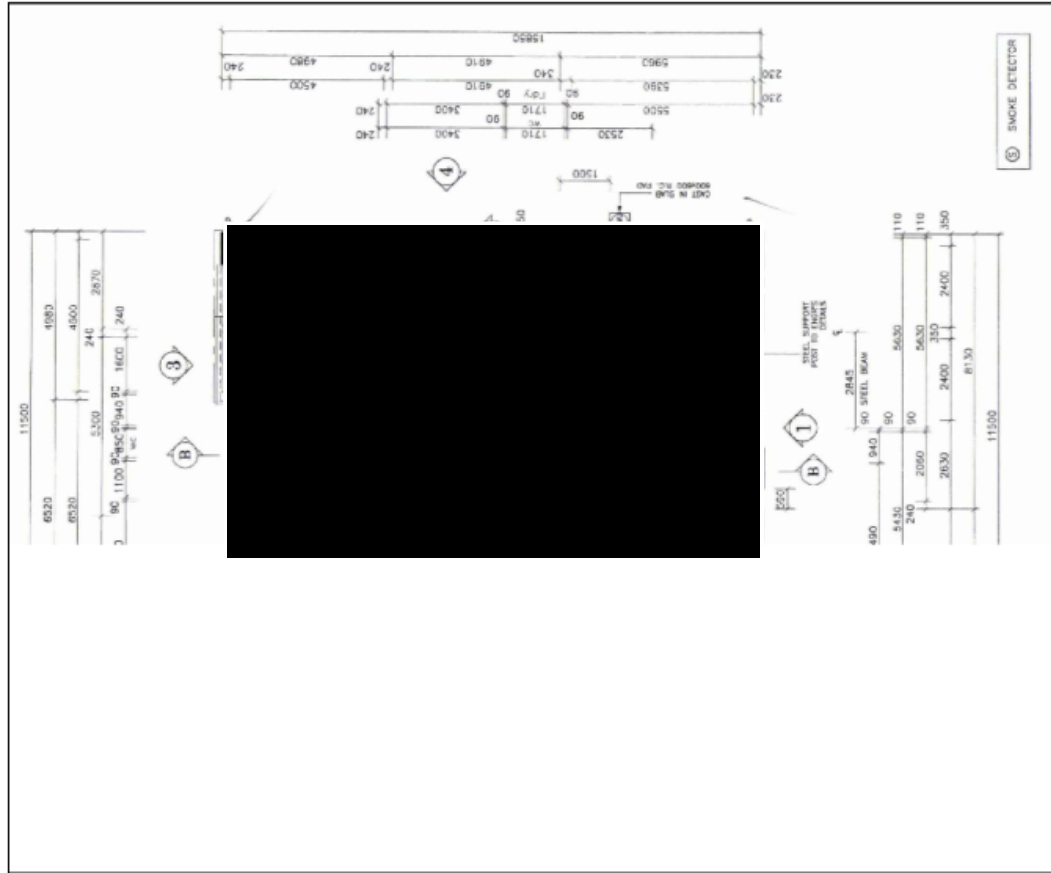
CLIENT: [REDACTED]

PROJECT: RETAIN AND USE UNAUTHORISED ALTERATIONS & CLAUSE 4.4 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING

SITE: 50 ROSEWOOD AVENUE LOT 102 DP 1007447

TITLE: SITE PLAN EXISTING WITH CONSENT (C)

SCALE AT AS	DATE	DRAWN	CHECKED
NCS	04/12/2024	MR	AK
SHEET NO:	DRAWING NO:	REVISION:	
C1	A2/22-075	D	

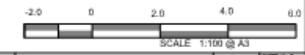


EXISTING DWELLING
(Liverpool Council DA 656/00)

GROUND FLOOR	99.62 sqm
FIRST FLOOR	91.13 sqm
GARAGE	33.59 sqm
PORCH	5.10 sqm
TOTAL	229.45 sqm

LIVERPOOL CITY COUNCIL
Endorsed document
in relation to:
DA-866/2022

In accordance with the
Environmental Planning
and Assessment Act
1979



COMPLEX DESIGN		No. _____		Project: PROPOSED EXTENSION AND MODIFICATION 50 ROSEWOOD AVE PRESTONS LOT 102 DP 1007447 EXISTING GROUND PLAN	
Rev. _____		Date: _____		Client: _____	
Author: _____		Date: _____		Project No: _____	
Checked by: _____		Date: _____		Sheet No: _____	
Approved: _____		Date: _____		Scale: _____	

GROUND FLOOR
ORIGINAL DWELLING ENDORSED IN DA-866/2022

Notes:

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4. TO ESTABLISH THE BACKGROUND SCOPE AND CONTENT OF THE WORKS IN THIS PLAN, THE ORIGINAL CONSENT FOR THE DWELLING UNDER DA-656/00. APPROVED 4 SEPTEMBER 1991 BY LIVERPOOL CITY COUNCIL, SHOULD BE REFERRED TO AS REQUIRED.

D	RETAIN AND USE UNAUTHORISED ALTERATIONS AND SEEK CLAUSE 4.4 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING	MR	OCT 2021
C	CONSTRUCTION CERTIFICATE APPLICATION NSW PLANNING PORTAL REFERENCE CPT-232356	AK	OCT 2022
B	DEVELOPMENT APPLICATION NSW PLANNING PORTAL REFERENCE PAN-236142	AK	JUN 2022
A	DRAFT ISSUE TO PRESENT TO THE OWNERS	AK	APR 2022

NSW PORTAL No. PAN-474516



CLIENT:	[Redacted]
PROJECT:	RETAIN AND USE UNAUTHORISED ALTERATIONS & CLAUSE 4.4 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING
SITE:	50 ROSEWOOD AVENUE LOT 102 DP 1007447
TITLE:	GROUND FLOOR ORIGINAL DWELLING (C)

SCALE AT A3:	1:100	DATE:	04/12/2022	DRAWN:	AK	CHECKED:	AK
SHEET NO.:	C.3	DATE:	04/12/2022	DRAWN:	AK	CHECKED:	AK

Notes:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES PRIOR TO COMMENCING WORK.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES PRIOR TO COMMENCING WORK.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES PRIOR TO COMMENCING WORK.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES PRIOR TO COMMENCING WORK.

WIND CLASSIFICATION: m/h/s
SOIL CLASSIFICATION: site

AREAS:
 LOT 102: 450 m²
 PLOT: 500 m²
 ROAD: 270 m²
 TOTAL: 1120 m²

PROPOSED RESIDENCE:
 CPT. RT. 102
 PGL. R.L. 102

LOT 102
450 m²

PROPOSED RESIDENCE

ROSEWOOD DR

TABLE:

BELLVALE HOMES	MC	28.2.20
LOT 102 OF 1057447	1100 L200	28.2.20
PRESTONS	2 of 2	28.2.20

Notes:

D	REVISION AND/OR CORRECTIONS TO BE MADE TO THE DRAWING AS A RESULT OF THE PROPOSED ALTERATIONS TO THE DWELLING	28.2.20
C	CONSTRUCTION OF OFFICIAL APPROVAL FOR PLANNING PERMITS AND/OR OTHER	28.2.20
B	DEVELOPMENT APPLICATION FOR PLANNING PERMITS AND/OR OTHER	28.2.20
A	DEVELOPMENT TO BE MADE TO THE DWELLING	28.2.20

COMPLEX DESIGN

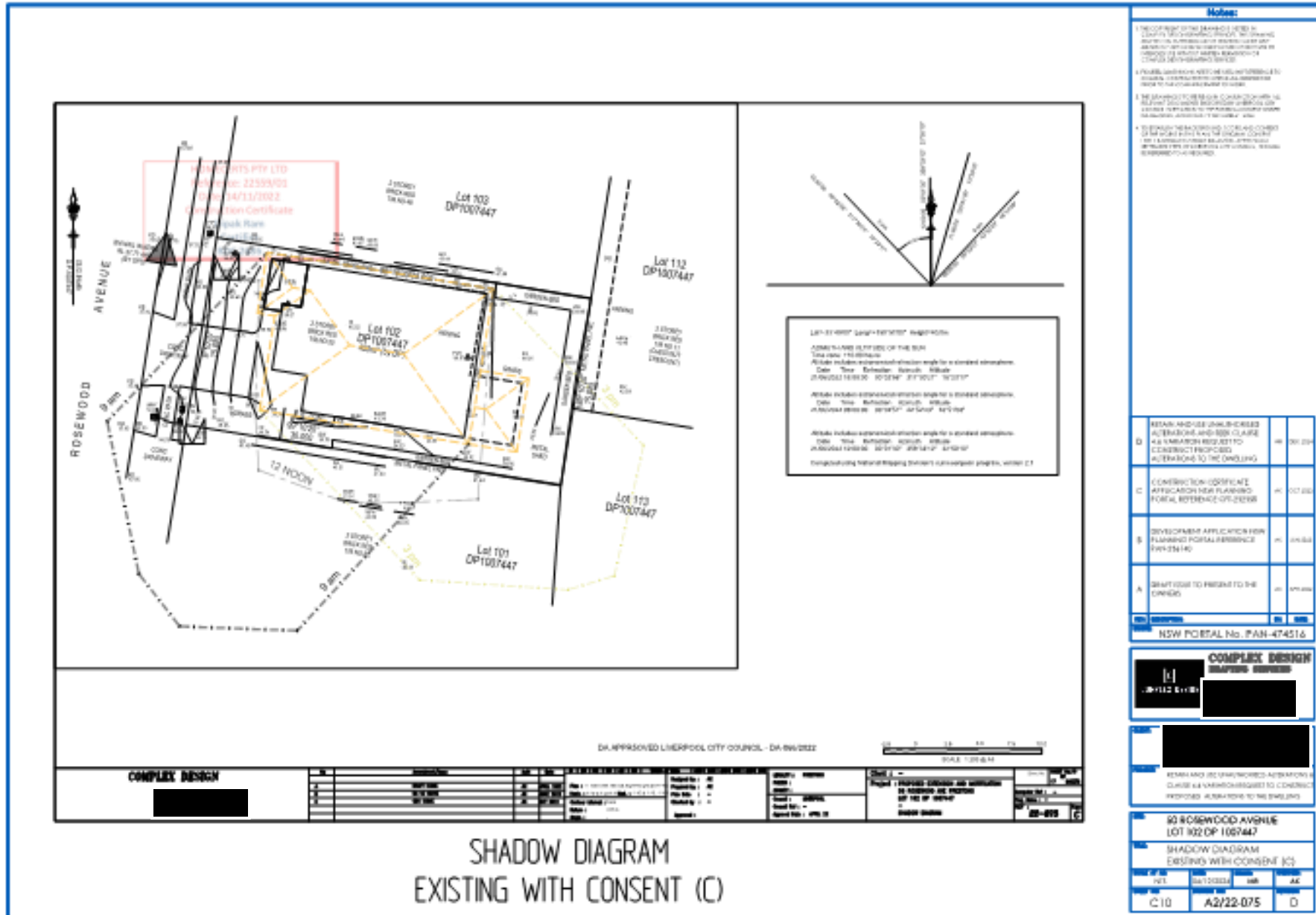
90 ROSEWOOD AVENUE
LOT 102 OF 1057447

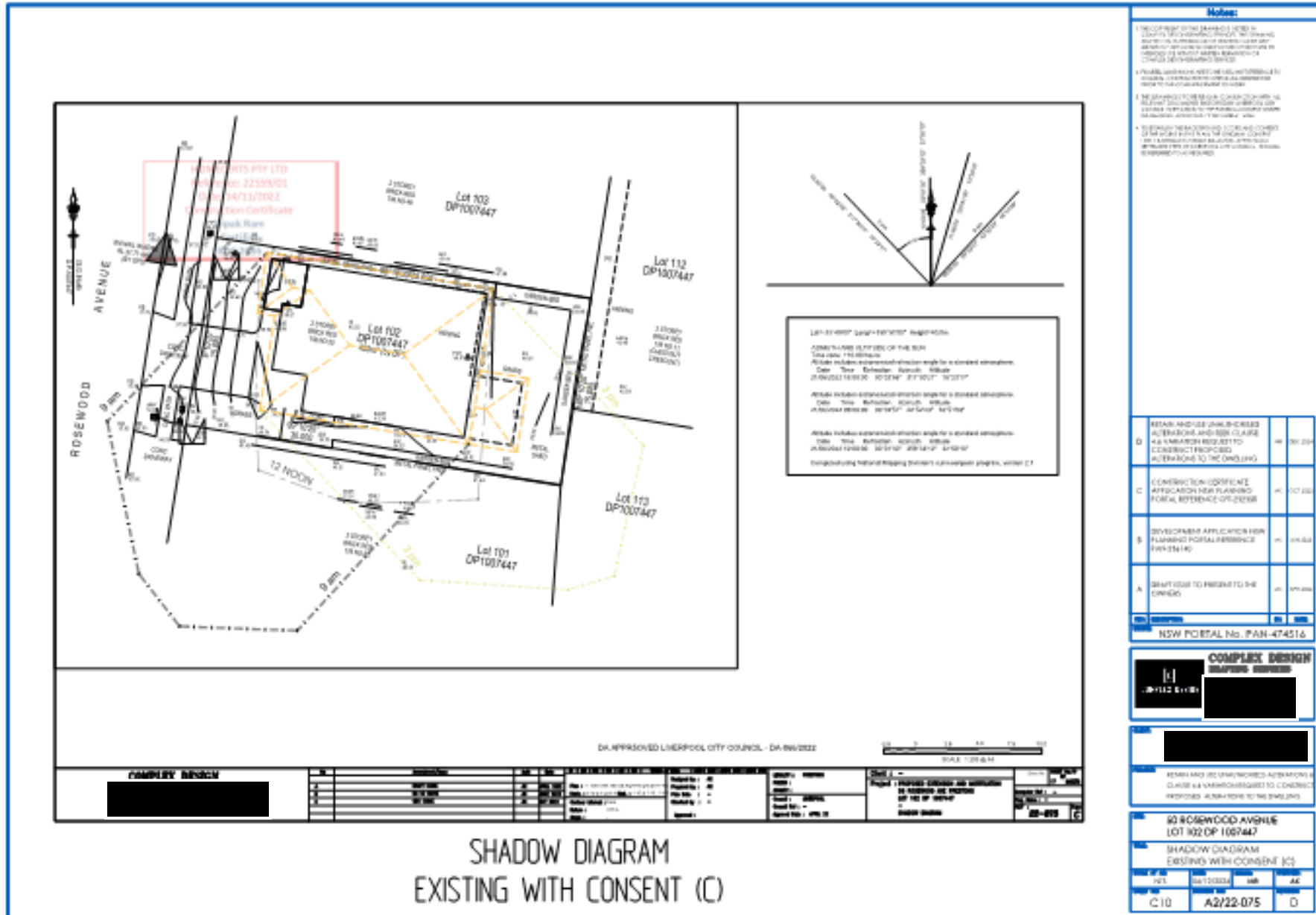
FIRST FLOOR
DA-654/00

Table:

C4.1	A2/22-075	D
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FIRST FLOOR
ORIGINAL DWELLING (DA-654/00)





**ELEVATION EAST
EXISTING WITH CONSENT (DA-866/2022)**

**ELEVATION EAST
PROPOSED ALTERATIONS (P)**

**SECTION C-C
PROPOSED ALTERATIONS (P)**

KEY →

- BLACK** → EXISTING WITH CONSENT (C), DA-866/2022 AND DA-654/00.
- BLUE** → PROPOSED (P) ALTERATIONS SEEKING CONSENT TO CONSTRUCT.
- RED** → EXISTING WITHOUT CONSENT UNAUTHORISED (U) ALTERATIONS SEEKING CONSENT TO RETAIN AND USE.

SHEET CP6.2 INCLUDES THE FOLLOWING PLANNING STATUS TYPES:

1. EXISTING WITH CONSENT (C) ALTERATIONS ENDORSED UNDER DA-866/2022.
2. PROPOSED (P) ALTERATIONS SEEKING CONSENT TO BE CONSTRUCTED. ON THIS SHEET (P) REPRESENTS PROPOSED ALTERATIONS TO THE EXISTING WITH CONSENT ALFRESCO AND KITCHEN TO CONSTRUCT PROPOSED KITCHEN EXTENSION.

ELEVATION 3

**ELEVATION EAST IN ORIGINAL DA-654/00
SHOWING OLD WINDOW ASW1218. SEE SHEET C4.2**

NOTE:

PROPOSED PLANS ARE PRESENTED IN RELATION TO THE EXISTING APPROVED WORKS TO FACILITATE INDEPENDENT ASSESSMENT OF THE PROPOSED ALTERATIONS. THIS APPROACH ALLOWS COUNCIL TO EVALUATE THE PROPOSED WORKS IN THE CONTEXT OF APPROVED DEVELOPMENT, IRRESPECTIVE OF THE OUTCOME OF THE REQUEST TO RETAIN AND USE EXISTING UNAUTHORISED WORKS.

Notes:

1. THE OUTLINE OF THE BOUNDARY LINES IS IDENTIFIED BY CONCRETE FOOTING. THE BOUNDARY LINES ARE TO BE VERIFIED BY THE APPLICANT PRIOR TO CONSTRUCTION AND TO BE SHOWN TO THE LOCAL COUNCIL PRIOR TO COMMENCEMENT OF WORKS.
2. THE APPLICANT IS ADVISED THAT THE PROPOSED ALTERATIONS ARE SUBJECT TO THE LOCAL COUNCIL'S DISCRETION TO APPROVE.
3. THE APPLICANT IS ADVISED THAT THE PROPOSED ALTERATIONS ARE SUBJECT TO THE LOCAL COUNCIL'S DISCRETION TO APPROVE.
4. THE APPLICANT IS ADVISED THAT THE PROPOSED ALTERATIONS ARE SUBJECT TO THE LOCAL COUNCIL'S DISCRETION TO APPROVE.

D	RETAIN AND USE UNAUTHORISED ALTERATIONS AND SEEK CLASS 4.4 VARIATION REQUIRED TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING	M	01/21/21
C	CONSTRUCTION COORDINATE APPLICATION FOR PLANNING PERMIT REFERENCE CP6.2/2022	M	07/21/21
B	DEVELOPMENT APPLICATION FOR PLANNING PERMIT REFERENCE P/2021/14	M	01/21/21
A	DEVELOPMENT TO PRESENT TO THE COUNCIL	M	07/21/21

NSW POSTAL No. PAN-474516


COMPLETE DESIGN

REMAIN AND USE UNAUTHORISED ALTERATIONS AND SEEK CLASS 4.4 VARIATION REQUIRED TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING

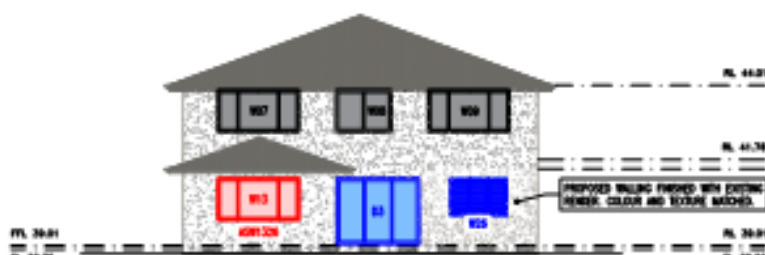
50 ROSEWOOD AVENUE
LOT 902 DP 1057447

ELEVATION & SECTION - EAST
PROPOSED ALTERATIONS (P)


CP6.2	A2/22-075	M	A4
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**ELEVATION EAST
EXISTING WITH CONSENT (DA-866/2022)**



**ELEVATION EAST
UNAUTHORISED (U) WORKS INTEGRATED WITH PROPOSED (P) WORKS**




**SECTION C-C
UNAUTHORISED (U) WORKS INTEGRATED WITH PROPOSED (P) WORKS**

KEY ->

BLACK -> EXISTING WITH CONSENT (C), DA-866/2022 AND DA-654/00.
BLUE -> PROPOSED (P) ALTERATIONS SEEKING CONSENT TO CONSTRUCT.
RED -> EXISTING WITHOUT CONSENT UNAUTHORISED (U) ALTERATIONS SEEKING CONSENT TO RETAIN AND USE.

SHEET CLIP8.3 PROVIDES A HOLISTIC VIEW OF THE DWELLING'S EVOLUTION, ILLUSTRATING EXISTING WITH CONSENT (C) ALTERATIONS, UNAUTHORISED (U) ALTERATIONS, AND PROPOSED (P) ALTERATIONS IN A SINGLE DRAWING.



ELEVATION 3


ELEVATION EAST UNDER DA-654/00. COMPARISON ON HOW THE DWELLING HAS EVOLVED TO MEET THE NEEDS OF THE OCCUPANTS.

Notes:

1. THE CURRENT (C) WORKS LISTED IN CLIP8.3 ARE UNAUTHORISED (U) WORKS. THE DRAWING IS A REPRESENTATION OF THE WORKS AS THEY WOULD BE CONSTRUCTED AND NOT A GUARANTEE OF THE WORKS AS THEY WOULD BE CONSTRUCTED. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSENTS FOR THE WORKS TO BE CONSTRUCTED.
2. THE DRAWING IS A REPRESENTATION OF THE WORKS AS THEY WOULD BE CONSTRUCTED AND NOT A GUARANTEE OF THE WORKS AS THEY WOULD BE CONSTRUCTED. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSENTS FOR THE WORKS TO BE CONSTRUCTED.
3. THE DRAWING IS A REPRESENTATION OF THE WORKS AS THEY WOULD BE CONSTRUCTED AND NOT A GUARANTEE OF THE WORKS AS THEY WOULD BE CONSTRUCTED. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSENTS FOR THE WORKS TO BE CONSTRUCTED.

D	RETAIN AND USE UNAUTHORISED ALTERATIONS AND ADD CLASSE 4.8 VARIATION REQUEST TO CONSTRUCT PROPOSED ALTERATIONS TO THE DWELLING	m	01/2024
C	CONSTRUCTION COORDINATE APPLICATION FOR PLANNING PORTAL REFERENCE CP/2024/008	m	07/2024
B	DEVELOPMENT APPLICATION FOR PLANNING PORTAL REFERENCE DP/2024/010	m	09/24
A	DRAFT CODE TO PRESENT TO THE COUNCIL	m	07/2024

NSW POSTAL No. PAH-474516

COMPLETE DESIGN


90 ROSEWOOD AVENUE
 LOT 102 DP 1057447

ELEVATION & SECTION - EAST
 INTEGRATED PLAN (CLIP)

CLIP8.3	A2/22-075	D	D
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**ELEVATION NORTH
EXISTING WITH CONSENT (DA-866/2022)**

**ELEVATION NORTH
EXISTING WITHOUT CONSENT (U)**

MAIN ENTRANCE NOW LOCATED ON STREET
FACING (FRONT) SIDE OF THE DWELLING.

KEY

BLACK -> EXISTING WITH CONSENT (C), BA-866/2022 AND DA-654/00.
BLUE -> PROPOSED (P) ALTERATIONS, SEEKING TO OBTAIN CONSENT TO CONSTRUCT.
RED -> EXISTING WITHOUT CONSENT, UNAUTHORISED (U) ALTERATIONS SEEKING TO OBTAIN CONSENT TO CONSTRUCT.

SHEET C4.1 INCLUDES THE FOLLOWING PLANNING STATUS TYPES:

- EXISTING WITH CONSENT (C) ALTERATIONS ENDORSED UNDER DA-866/2022.
- EXISTING WITHOUT CONSENT (U) ALTERATIONS SEEKING CONSENT TO OBTAIN CONSENT TO CONSTRUCT.
- ON THIS SHEET, EXISTING WITHOUT CONSENT ALTERATIONS REFERS TO THE FOLLOWING BUILDING ELEMENTS:
 - ADDITION OF WINDOW, W12 IN BED 4.
 - ADDITION OF WINDOW, W24 IN EXISTING KITCHEN.
 - CHANGE IN ORIENTATION OF FRONT DOOR, D1.

ORIGINAL ELEVATION NORTH UNDER DA-654/00.
SEE SHEET C4.2.

ELEVATION B

COMPLEX DESIGN

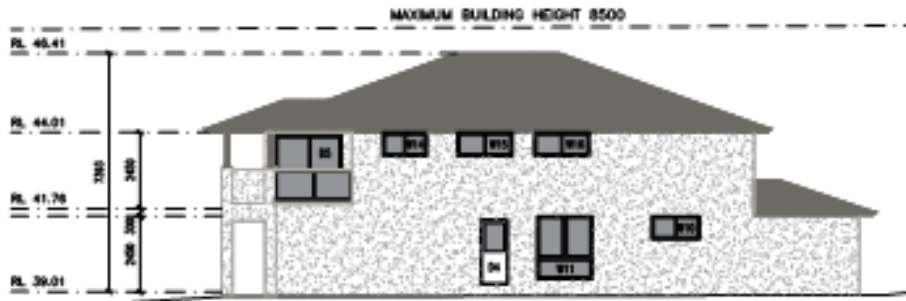
NSW POSTAL No. PAN-474516

80 ROSEWOOD AVENUE
LOT 802 DP 1057447

ELEVATION NORTH
EXISTING WITHOUT CONSENT (U)

NO.	DESCRIPTION	DATE	BY
CU9.1	A2/22-075	D	

Notes:			
1. THE CONTENT OF THIS DRAWING IS THE PROPERTY OF THE ARCHITECT. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED IN THE CONTRACT DOCUMENTS. ANY REUSE OR MODIFICATION OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT IS STRICTLY PROHIBITED.			
2. THE ARCHITECT DOES NOT TAKE RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT OR ANY OTHER PARTY. THE ARCHITECT'S OBLIGATION IS LIMITED TO THE INFORMATION PROVIDED BY THE CLIENT.			
3. THE ARCHITECT DOES NOT TAKE RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT OR ANY OTHER PARTY. THE ARCHITECT'S OBLIGATION IS LIMITED TO THE INFORMATION PROVIDED BY THE CLIENT.			
4. THE ARCHITECT DOES NOT TAKE RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT OR ANY OTHER PARTY. THE ARCHITECT'S OBLIGATION IS LIMITED TO THE INFORMATION PROVIDED BY THE CLIENT.			



ELEVATION SOUTH
EXISTING WITH CONSENT (DA-866/2022)



ELEVATION SOUTH
EXISTING WITHOUT CONSENT (U)

KEY

BLACK -> EXISTING WITH CONSENT (C), DA-866/2022 AND DA-854/00.

BLUE -> PROPOSED (P) ALTERATIONS, SEEKING CONSENT TO CONSTRUCT.

RED -> EXISTING WITHOUT CONSENT, UNAUTHORISED (U) ALTERATIONS
SEEKING CONSENT TO RETAIN AND USE.

SHEET CUB.4 INCLUDES THE FOLLOWING PLANNING STATUS TYPES:

1. EXISTING WITH CONSENT (C) ALTERATIONS ENDORSED UNDER DA-866/2022.
2. EXISTING WITHOUT CONSENT (U) ALTERATIONS SEEKING CONSENT TO RETAIN AND USE.
3. ON THIS SHEET, EXISTING WITHOUT CONSENT ALTERATIONS REFERS TO THE FOLLOWING BUILDING ELEMENTS:
 - ADDITION OF WINDOW, W20 IN BED 5.
 - ADDITION OF WINDOW, W25 IN BED 2.

Notes:

1. THE CONTENT OF THIS DRAWING IS NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.
2. THIS DRAWING IS NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.
3. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THIS DRAWING.
4. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THIS DRAWING.

D	RETAIN AND USE UNAUTHORISED ALTERATIONS AND ADD CLASS 4 & 5 NURSERY ROOMS TO EXISTING PROPOSED ALTERATIONS TO THE DWELLING	AC	001/001
C	CONSTRUCTION COORDINATE APPLICATION FOR PLANNING FOR REFERENCE OF 2024/08	AC	002/002
B	DEVELOPMENT APPLICATION FOR PLANNING FOR REFERENCE OF 2024/08	AC	003/003
A	SHAFT CODE TO PRESENT TO THE COUNCIL	AC	004/004

NSW POSTAL No. PAN-474516



CLASS 4 & 5 NURSERY ROOMS TO EXISTING PROPOSED ALTERATIONS TO THE DWELLING

50 ROSEWOOD AVENUE LOT 102 DP 1057447			
ELEVATION SOUTH UNAUTHORISED ALTERATION (U)			
CU9.4	A2/22-075	D	

Appendix A: Clause 4.6 Variation Request

Seeking to vary the

Floor Space Ratio Development Standard

To Construct Kitchen Extension

At

LOT 102/DP 1007447
50 Rosewood Avenue, Preston NSW 2170



Source: [Adaptable home cooking spaces \(www.yourhome.gov.au\)](http://www.yourhome.gov.au)

Prepared by: Mahesh Rajan

09 December 2024

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1. INTRODUCTION

This document provides a comprehensive justification for Clause 4.6 Variation Request to vary the Floor Space Ratio (FSR) development standard to construct a kitchen extension at 50 Rosewood Avenue, Prestons, NSW 2170. The analysis presented in this section will demonstrate that the proposed FSR variation is minor, reasonable, and consistent with the objectives of the Liverpool Local Environmental Plan 2008 and the Liverpool Development Control Plan 2008.

The applicant formally requests a variation to the Floor Space Ratio (FSR) standard to accommodate a proposed kitchen extension (proposed alterations). This variation is essential to ensure the functionality and liveability of the dwelling, considering the unique spatial limitations of the existing kitchen. The existing kitchen, measuring a modest 2.7m x 3.3m (see **Figure 1** and architectural plan, CP2.3), is inadequate to meet the specific needs of the multi-generational family of aging parents with increased accessibility needs and growing children. The proposed kitchen extension, designed to harmonise with the overall architectural intent of the dwelling, will offer a more practical and spacious kitchen without negatively impacting the neighbourhood's character or the amenity of neighbouring properties.

The proposed FSR variation is demonstrably in the public interest. It will enhance the amenity and liveability of the dwelling for the multi-generational family, contributing to a sustainable and inclusive community. This aligns with the *Ageing Well in NSW: Seniors Strategy 2021–2031*, which outlines the NSW Government's commitment to supporting older people to live well as they age. The FSR variation request is consistent with the NSW Government's strategy of promoting 'aging in place'. It provides a supportive living environment for the elderly family members now and the next generation.

Furthermore, the FSR variation request aligns with the principles discussed in *Housing for Life: Designed for Living (Office for Ageing Well, 2019)*, emphasising the importance of designing homes that adapt to the changing needs of occupants and support aging in place. The FSR variation request will facilitate the creation of a more functional and accessible home for the multi-generational family, promoting social inclusion and improved quality of life for all occupants.

This document will address the objectives (Clause 1.3(a) to (j)) of the *Environmental Planning and Assessment Act 1979* and provide a comprehensive assessment of the environmental planning grounds that justify the FSR variation request. It will also demonstrate that the proposed variation is consistent with the broader planning framework and the desired future character of the R2 Low-Density Residential zone.

2. RELEVANT ASSESSMENT FRAMEWORK

2.1. Liverpool Local Environmental Plan 2008

The objectives of the R2 Low Density Residential zone, as outlined in the Liverpool Local Environmental Plan 2008, including providing for the community's housing needs and ensuring a high level of residential amenity. The FSR variation request is consistent with these objectives by providing occupants with a more functional and liveable home.

2.2. Liverpool Development Control Plan 2008

The Liverpool Development Control Plan 2008 encourages development that is compatible with the desired future character of the zone. The FSR variation request is compatible with the desired future character of the R2 Low-Density Residential zone by maintaining the low-density residential character and not significantly altering the dwelling's external appearance.

2.3. Guide To Varying Development Standards (NSW DPE, November 2023)

The *Guide to Varying Development Standards* (NSW Department of Planning and Environment, November 2023) guides when and how development standards can be varied. The guide states, "compliance with the development standard is unreasonable or unnecessary if...the underlying objective or purpose would be defeated or thwarted if compliance was required." In this case, the underlying objective of the FSR development standard, which is to control the bulk and scale of development, would be defeated if compliance were required, as the proposed variation is minor and does not significantly alter the dwelling's external appearance or impact the streetscape.

2.4. Ageing Well In NSW: Seniors Strategy 2021-2031 (www.dcj.nsw.gov.au)

The proposed kitchen extension aligns with the *Ageing Well in NSW: Seniors Strategy 2021-2031* in several ways:

- (a) **Promoting Aging in Place:** The proposed kitchen extension supports the ability of the elderly occupants to remain in their homes as their needs change, aligning with the strategy's emphasis on enabling people to live in their homes and communities as they age.
- (b) **Creating Age-Friendly Environments:** The proposed kitchen extension enhances the accessibility and functionality of the dwelling, making it easier for older people to navigate and use, contributing to the strategy's goal of creating age-friendly environments.
- (c) **Supporting Multi-Generational Living:** The proposed kitchen extension caters to the needs of a multi-generational family, promoting social inclusion and interdependence, which aligns with the strategy's focus on recognising the **value and diversity of aging**.

- (d) **Enhancing Health and Wellbeing:** The proposed kitchen extension improves the dwelling's overall liveability, contributing to the occupants' **physical and mental wellbeing**, which aligns with the strategy's goal of supporting people to have healthier, longer lives.

2.5. The Desire To Age In Place Among Older Australians (www.aihw.gov.au)

The proposed kitchen extension aligns with *The Desire to Age in Place Among Older Australians* by addressing the following key aspects:

- (a) **Meeting Accessibility Needs:** The proposed kitchen extension specifically addresses the increasing accessibility needs of the elderly occupants, ensuring they can navigate and use the kitchen space comfortably and safely. This aligns with the document's emphasis on the importance of accessible housing for supporting aging in place.
- (b) **Facilitating Functional Living:** The proposed kitchen extension creates a more functional kitchen space that supports the changing needs of the multi-generational family, enabling them to live together comfortably and independently. This aligns with the document's recognition of the link between functional housing and the ability to age in place.
- (c) **Providing Housing Choice:** The proposed kitchen extension supports the family's desire to live together in a multi-generational setting. It offers a **housing choice that aligns with their cultural preferences and needs**. This aligns with the document's emphasis on providing housing choices that support aging in place.
- (d) **Promoting Social Inclusion:** The proposed kitchen extension creates a more inclusive living environment that supports the participation of all family members, regardless of age or ability. This aligns with the document's recognition of the importance of social inclusion for aging in place.
- (e) **Enhancing Adaptability:** The proposed kitchen extension enhances the adaptability of the dwelling, allowing it to be modified to meet the changing needs of the occupants over time. This aligns with the document's emphasis on the importance of adaptable housing for supporting aging in place.

2.6. Housing For Life: Designed For Living (Office For Ageing Well, 2019) (www.sahealth.sa.gov.au)

In several ways, the proposed kitchen extension aligns with the key principles and recommendations outlined in *Housing for Life: Designed for Living* (Office for Ageing Well, 2019). By incorporating these principles, the proposed kitchen extension creates a more accessible, adaptable, and functional kitchen space for the multi-generational family, supporting their ability to age in place and enjoy a high quality of life:

- (a) **Supporting Aging in Place:** The proposed kitchen extension prioritises creating a more accessible and functional living environment, enabling the elderly occupants to age in place comfortably and safely. This aligns with the document's emphasis on the importance of designing homes that adapt to the changing needs of occupants and support aging in place.

- (b) **Enhancing Accessibility:** The proposed kitchen extension improves accessibility within the kitchen space, making it easier for older people to navigate and use. These alterations resonate with the document's focus on incorporating accessible design features to support the independence and wellbeing of older occupants.
- (c) **Promoting Adaptability:** The proposed kitchen extension enhances the adaptability of the dwelling, allowing it to be easily modified to meet the changing needs of the occupants over time. This flexibility is crucial in a multi-generational household where the needs of individuals may evolve. This approach aligns with the document's emphasis on designing homes that can adapt to the changing needs of occupants and support aging in place.
- (d) **Improving Functionality:** The proposed kitchen extension improves the overall functionality of the dwelling, making it more suitable for meeting the diverse needs of the occupants. This includes creating a more spacious and functional kitchen and living area, accommodating various activities and facilitating interaction between family members. This focus on functionality aligns with the document's recommendation to design adaptable and functional homes to support the changing needs of occupants.

2.7. The Livable And Adaptable Home (www.yourhome.gov.au)

The proposed kitchen extension aligns with the key principles and recommendations outlined in *The Livable and Adaptable Home* in several ways. By incorporating these principles, the proposed kitchen extension creates a more liveable and adaptable home that can accommodate the evolving needs of the occupants, promoting their wellbeing and independence:

- (a) **Adapting to Changing Needs:** The proposed kitchen extension creates a more spacious and functional kitchen space that can adapt to the changing needs of the occupants over time. This aligns with the document's emphasis on designing homes that accommodate changing households, lifestyles, and physical capabilities.
- (b) **Supporting Aging in Place:** The proposed kitchen extension supports the elderly occupants' ability to age in place comfortably and safely by improving the accessibility and functionality of the kitchen space. This aligns with the document's focus on enabling people to live independently in their homes for as long as possible.
- (c) **Promoting Multi-Generational Living:** The proposed kitchen extension supports the needs of a multi-generational family, allowing for comfortable cohabitation and interaction between family members of different ages and abilities. This aligns with the document's recognition of the importance of accommodating diverse household structures and needs.

2.8. Case Law: North Sydney Council v Michael Standley & Associates Pty Ltd [1998] NSWSC 163

The case law, *North Sydney Council v Michael Standley and Associates Pty Ltd [1998] NSWSC 163*, strongly supports the proposed FSR variation request. This case demonstrates the Land and Environment Court's willingness to grant variations to development standards, even when they result

in non-compliance, when such variations are necessary to achieve a reasonable development outcome, particularly in cases that serve the public interest. By referencing *North Sydney Council v Michael Standley and Associates Pty Ltd* and highlighting these key points, the applicant demonstrates that the FSR variation request is consistent with the principles and precedents established by the Land and Environment Court of New South Wales. The variation is necessary to achieve a reasonable development outcome, serve the public interest, and maintain the area's desired character.

2.8.1. Flexibility In Applying Development Standards

The Court recognises the need for flexibility in applying development standards, particularly when strict compliance would impose unreasonable or unnecessary restrictions. In this case, strict compliance with the FSR standard would prevent the necessary proposed kitchen extension to accommodate the needs of the multi-generational family, including elderly occupants with accessibility needs and growing children. The proposed FSR variation is necessary to facilitate the construction of a more functional and accessible kitchen space that supports the family's changing needs and promotes aging in place.

2.8.2. Consideration Of The Public Interest

The case emphasises the importance of considering the public interest when determining development applications. The FSR variation request serves the public interest by enabling the creation of a more functional and accessible home, promoting aging in place, and supporting multi-generational living arrangements. This aligns with broader societal goals of providing adaptable and affordable housing solutions that cater to the diverse needs of the community.

2.8.3. Approval Of Modifications Even With Non-Compliance

The Court demonstrates a willingness to approve modifications to development consents even if an applicable development standard would prohibit the modified development. This supports the approval of the FSR variation request, even though it exceeds the maximum permissible FSR, as it is necessary to achieve a reasonable and desirable outcome in this specific context.

2.8.4. The "Creep Factor" And Contextual Assessment

The case of *North Sydney Council v Michael Standley and Associates Pty Ltd [1998] NSWSC 163* acknowledges the "creep factor" concern, which refers to the potential for development to significantly deviate from its original approval through a series of minor modifications. However, the Court emphasises that this concern can be mitigated by assessing each modification against all relevant Section 90 factors to ensure it remains substantially the same development.

In this proposal, while exceeding the maximum permissible limit, the FSR variation request does not substantially change the development. The variation is primarily driven by internal alterations to improve the dwelling's functionality and accessibility for a multi-generational family. The proposed

kitchen extension does not significantly alter the building's external appearance, bulk, or scale, ensuring that the development remains compatible with the desired future character of the R2 Low-Density Residential zone.

Furthermore, the FSR variation request and proposed kitchen extension do not alter the overall footprint of the dwelling with respect to the site. No extra concreting is needed, the landscaping remains unaffected, no impact on shadowing, and no alterations are proposed to any setback. This ensures that the development's impact on the surrounding environment remains **substantially the same as approved under DA-866/2022**.

This approach aligns with the Court's view in *North Sydney Council v Michael Standley and Associates Pty Ltd*, where it was held that modifications should be assessed holistically, considering their overall impact on the development. The FSR variation request, in this case, is a minor alteration in the context of the entire development and does not fundamentally change its nature or character. It is a necessary adjustment to accommodate the evolving needs of the occupants while maintaining the essential features of the originally approved development.

3. SITE AND PROPOSED DEVELOPMENT

3.1. Describe The Site

The site is a 450m² residential lot located at 50 Rosewood Avenue, Prestons, NSW 2170. It is currently developed with a double-storey, six-bedroom dwelling. The site is in a popular area with established properties bordering Hoxton Park, Carnes Hill, and Prestons. The site is zoned R2 Low Density Residential under the Liverpool Local Environmental Plan 2008.

3.2. Describe The Proposed Development

This Clause 4.6 Variation Request accompanies a development modification application for DA-866/2022, seeking to vary the Floor Space Ratio (FSR) development standard prescribed under Clause 4.4 of the Liverpool Local Environmental Plan 2008. The request is made pursuant to Clause 4.6 of the Liverpool LEP 2008.

The dwelling is occupied by a multi-generational family, including elderly occupants with increasing accessibility needs and growing children. The proposed kitchen extension directly addresses these needs by creating a more spacious and functional kitchen space, enabling this family to age in place comfortably and safely. The importance of housing that supports aging in place is also highlighted in *Housing for Life: Designed for Living (Office for Ageing Well, 2019)*, emphasising the role of appropriate design in enabling older people to remain in their homes and communities as they age. This approach aligns with the growing societal need for adaptable housing solutions, particularly in the context of housing affordability constraints and the desire of families to cohabitate. The proposed kitchen extension is consistent with the principles discussed in *The Livable and Adaptable Home (www.yourhome.gov.au)*.

The proposed modifications involve altering the existing kitchen and alfresco area to create a larger, open-plan kitchen, dining, and family area. This change will result in a minor increase to the overall floor area (GFA), exceeding the FSR currently allowed by the legislation. However, the proposed FSR variation is modest, representing a 10.23% increase over the maximum permissible FSR of 0.6:1. The following sheets of the architectural drawings illustrate the full scope of building works involved in the proposed kitchen extension, which seek to vary the FSR development standard:

- CP2.3 - Demolition Plan Ground Floor (Proposed Alterations)
- CP5.2 - Ground Floor (Proposed Alterations)
- CP7.1 - GFA Calculation (Proposed Alterations)
- CP7.2 - FSR Calculation (Proposed Alterations)
- CP8.2 - Elevation & Section - East (Proposed Alterations)
- CP9.2 - Elevation - North - (Proposed Alterations)
- CP9.6 - Section A-A (Proposed Alterations)
- CUP15.1 - Window & Door Schedule (Integrated Schedule)

"As a person's physical abilities decline over time, the kitchen becomes one of the home's most impacted areas", [Cooking Spaces \(www.yourhome.gov.au\)](http://www.yourhome.gov.au) emphasises the importance of designing kitchens for independence and adaptability to meet an individual's needs. The proposed kitchen extension will address this concern by creating a more accessible and user-friendly kitchen space for the again occupants.

4. PLANNING INSTRUMENT, DEVELOPMENT STANDARD AND PROPOSED VARIATION

4.1. What Is The Environmental Planning Instrument You Are Seeking To Vary?

The relevant environmental planning instrument is the Liverpool Local Environmental Plan 2008. This proposal seeks to vary the Floor Space Ratio (FSR) development standard stipulated in Clause 4.4 of the relevant planning instrument. This variation is necessary to accommodate the proposed kitchen extension to the existing dwelling, which will slightly increase the Gross Floor Area (GFA) of the dwelling. This increase is required to facilitate improved accessibility and functionality for the multi-generational occupants, including elderly family members and growing children. The proposed kitchen extension will result in a minor deviation from the prescribed FSR limit of 0.6:1.

4.2. What Is The Site's Zoning?

R2 Low Density Residential

4.3. Identify The Development Standard To Be Varied.

Floor Space Ratio (FSR) development standard. Clause 4.4 of Liverpool Local Environmental Plan 2008

4.4. Identify The Type Of Development Standard.

Numeric.

4.5. What Is The Numeric Value Of The Development Standard In The Environmental Planning Instrument?

The current maximum permissible Floor Space Ratio (FSR) for the site, as per Clause 4.6 of the Liverpool Local Environmental Plan 2008, is 0.6:1.

4.6. What Is The Difference Between The Existing And Proposed Numeric Values?

The proposed kitchen extension will result in an FSR of 0.6614:1, exceeding the maximum permissible FSR of 0.6 by 0.0614, equivalent to a 10.23% increase. The calculations are presented below:

$$\begin{aligned} \text{Existing FSR} &= \text{Existing GFA/ SiteArea} \\ &= 267.68 / 450 \\ &= 0.5948 \end{aligned}$$

$$\text{Permissible FSR} = 0.6$$

$$\begin{aligned} \text{Proposed Additional FSR} &= 29.93 / 450 \\ &= 0.0614 \end{aligned}$$

$$\text{Existing GFA} = 267.68\text{m}^2$$

$$\text{Permissible GFA} = 270\text{m}^2$$

$$\text{Proposed Additional GFA} = 29.93\text{m}^2$$

$$\begin{aligned} \text{Total GFA Seeking Consent} &= (\text{Existing GFA} + \text{Proposed Additional GFA}) \\ &= 267.68 + 29.93 \\ &= 297.61\text{m}^2 \end{aligned}$$

4.7. What Is The Percentage Variation Between The Proposal And The Environmental Planning Instrument?

$$\begin{aligned} \text{Existing FSR} &= \text{ExistingGFA} / \text{SiteArea} \\ &= 267.68 / 450 \\ &= 0.5948 \end{aligned}$$

$$\text{Permissible FSR} = 0.6$$

$$\begin{aligned} \text{Proposed Additional FSR} &= 29.93 / 450 \\ &= 0.06614 \end{aligned}$$

$$\begin{aligned} \text{Total FSR Seeking Consent} &= (\text{Existing FSR} + \text{Proposed Additional FSR}) \\ &= 0.5949 + 0.06651 \\ &= 0.6614 \end{aligned}$$

$$\begin{aligned} \text{Percentage Variation (FSR)} &= \frac{(\text{Existing FSR} - \text{Permissible FSR})}{\text{Permissible FSR}} \times 100 \\ &= ((0.6609 - 0.6) / 0.6) \times 100 \\ &= (0.06136 / 0.6) \times 100 \\ &= 10.23\% \end{aligned}$$

4.8. Visual Representation Of The Proposed Variation

Figure 1 visually represents the proposed Floor Space Ratio (FSR) variation request. The areas hatched in blue depict the alterations to the existing alfresco (29.93m²) to extend the existing kitchen (9.50m²), necessitating the FSR variation request. The areas hatched in grey are existing GFA and FSR and comply with applicable planning instruments. All other areas are excluded from GFA and FSR in accordance with Clause 1.4 of Liverpool Local Environmental Plan 2008. Additionally, the elevations affected by the proposed kitchen extension are illustrated in **Figure 2**, **Figure 3**, **Figure 4** and **Figure 5**. The important conclusion drawn from these figures is that the dwelling remains **substantially the same**. The architectural plans accompanying this proposal illustrate further details on GFA and FSR calculations (see sheets CP7.1 for GFA and CP7.2 for FSR).

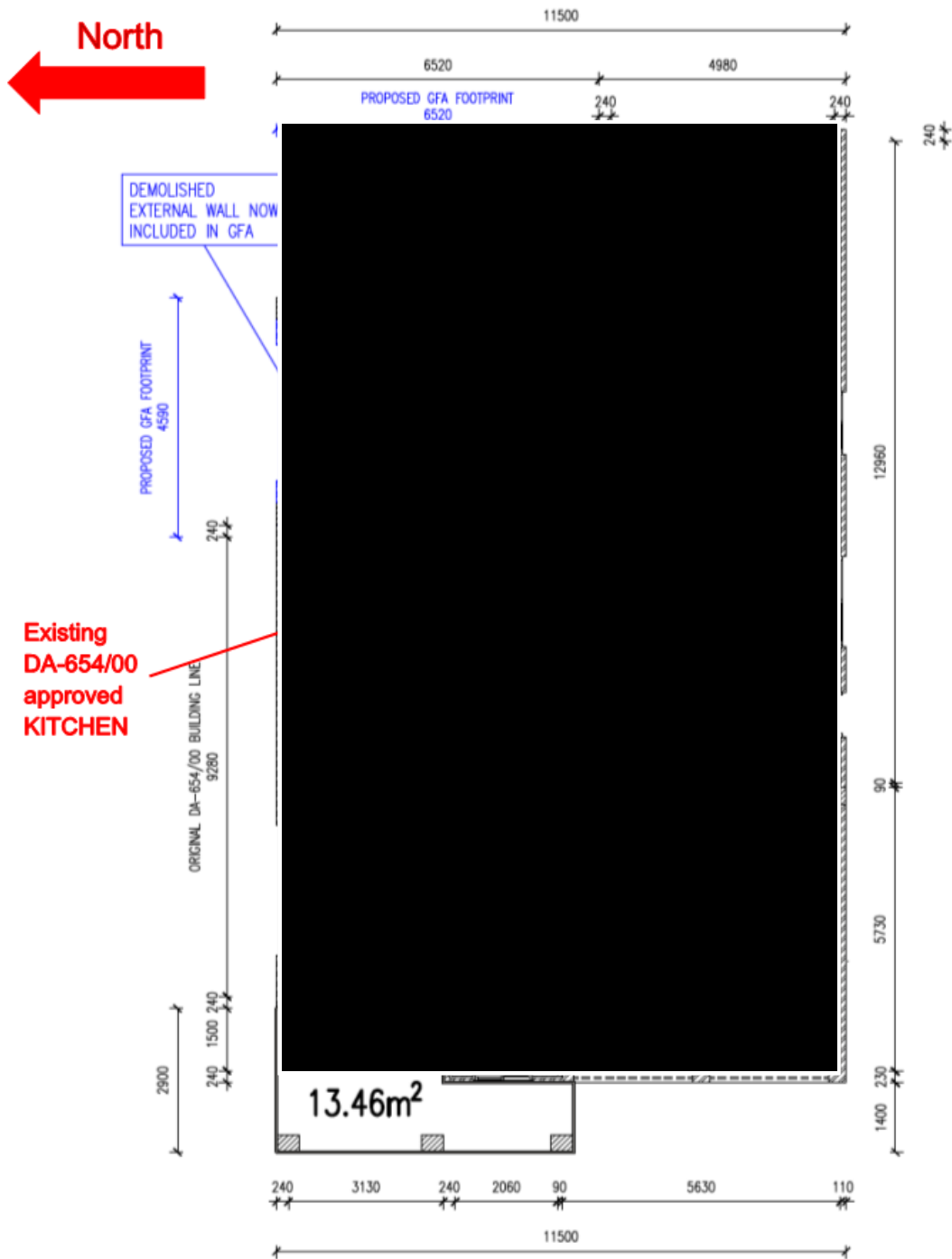


Figure 1: The proposed ground floor plan illustrates the existing and proposed Gross Floor Area (GFA) for the proposed kitchen extension. Currently, the entire 29.93m² is occupied by the alfresco, as depicted in Figure 2.

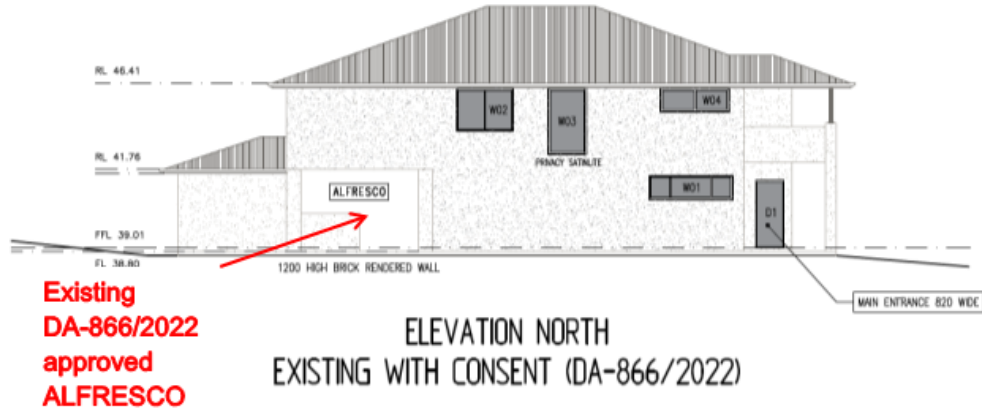


Figure 2: The existing DA-866/2022 approved north elevation shows the existing alfresco area that will be altered to accommodate the proposed kitchen extension. This existing 9.50m² kitchen is illustrated in **Figure 1**.

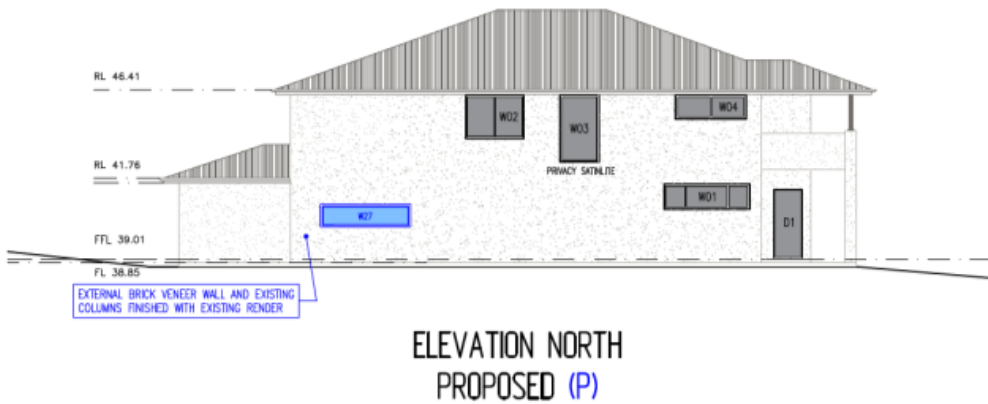


Figure 3: The proposed north elevation with proposed kitchen walling integrated with the existing dwelling and a new heat-resistant fixed window to enhance the natural light in the proposed kitchen. **Note:** the dwelling, viewed from the north, remains substantially the same development as originally approved under DA-866/2022.

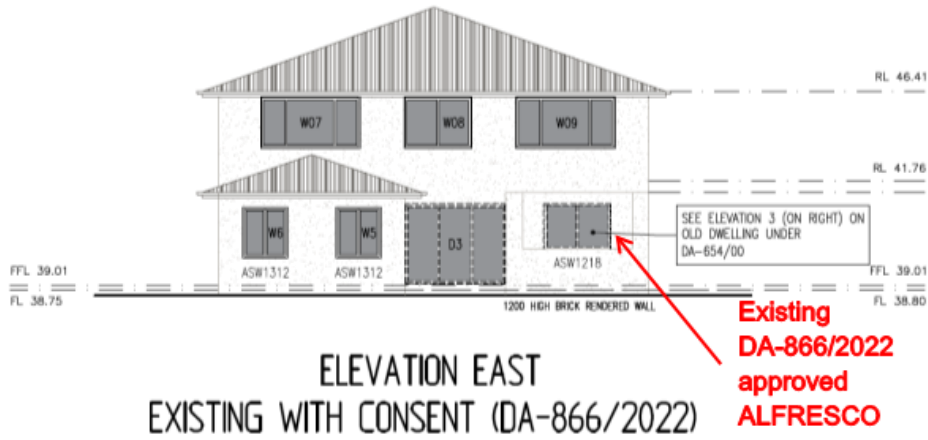


Figure 4: The existing DA-866/2022 approved east elevation shows the existing alfresco area that will be altered to accommodate the proposed kitchen extension. This existing 9.50m² kitchen is illustrated in Figure 1.

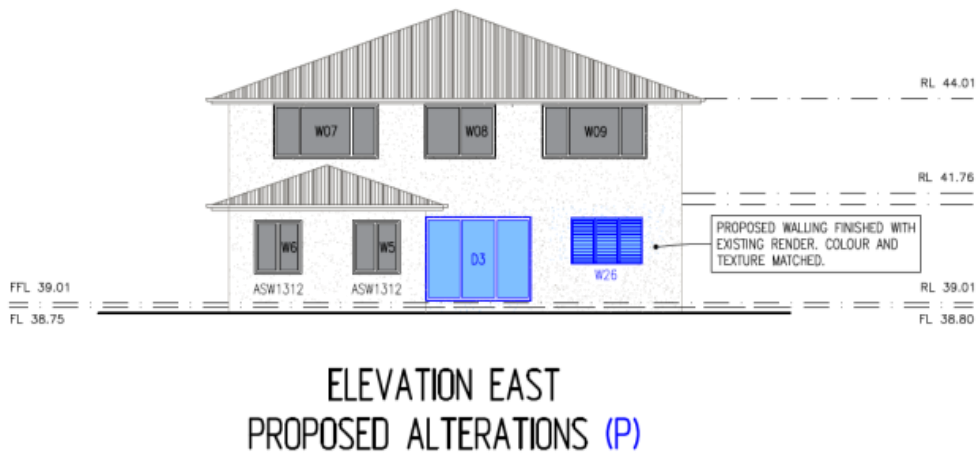


Figure 5: The proposed east elevation with proposed kitchen walling integrated with the existing dwelling and a new louvre window to enhance natural ventilation in the proposed kitchen. **Note:** the dwelling, viewed from the east, remains substantially the same development as originally approved under DA-866/2022.

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5. HOW IS COMPLIANCE WITH THE DEVELOPMENT STANDARD UNREASONABLE OR UNNECESSARY IN THE CIRCUMSTANCES OF THIS PARTICULAR CASE?

5.1. Method For Achieving Objectives Despite Non-Compliance

This proposal argues that compliance with the Floor Space Ratio (FSR) development standard in this case is unreasonable or unnecessary. This position is firmly grounded in established legal precedents, planning principles, and objectives.

The seminal case of *Wehbe v Pittwater Council [2007] NSWLEC 827* provides a framework for demonstrating that strict adherence to a development standard may be unreasonable or unnecessary. Central to this argument is the demonstration that the objectives of the standard are achieved even with the proposed FSR variation.

The NSW Planning Portal sets out a five part test for consent authorities, such as a council, to consider when assessing an application to vary a development standard. These tests are used as prompts to answer the above question in relation to the application:

- a) The objectives of the standard are achieved notwithstanding non-compliance with the standard.
- b) The underlying objective or purpose of the standard is not relevant to the development, and therefore, compliance is unnecessary.
- c) The underlying object of purpose would be defeated or thwarted if compliance was required, and therefore compliance is unreasonable.
- d) The development standard has been virtually abandoned or destroyed by the Council's own actions in granting consents departing from the standard, and hence compliance with the standard is unnecessary and unreasonable.
- e) The compliance with development standard is unreasonable or inappropriate due to the existing use of land and the current environmental character of the particular parcel of land. That is, the particular parcel of land should not have been included in the zone.

5.2. Are the objectives of the development standard achieved, notwithstanding the non-compliance?

Yes. The objectives of the FSR development standard are achieved notwithstanding the non-compliance.

Please refer to **5.2.1 Assessment of Consistency With Objectives of Clause 4.4** for assessment against each Clause 4.4 objective. The objectives are as follows:

- (a) to establish standards for the maximum development density and intensity of land use, taking into account the availability of infrastructure and the generation of vehicle and pedestrian traffic,

- (b) to control building density and bulk in relation to the site area in order to achieve the desired future character for different locations,
- (c) to minimise adverse environmental effects on the use or enjoyment of adjoining properties and the public domain,
- (d) to maintain an appropriate visual relationship between new development and the existing character of areas or locations that are not undergoing, and are not likely to undergo, a substantial transformation,
- (e) to provide an appropriate correlation between the size of a site and the extent of any development on that site,
- (f) to facilitate design excellence in the Liverpool city centre by ensuring the extent of floor space in building envelopes leaves generous space for the articulation and modulation of design.

Please refer to **5.2.2 Assessment of Consistency With Zone R2 Low Density Residential** for assessment against each Zone R2 Low Density Residential objective. The objectives are as follows:

- (a) To provide for the housing needs of the community within a low density residential environment.
- (b) To enable other land uses that provide facilities or services to meet the day to day needs of residents.
- (c) To provide a suitable low scale residential character commensurate with a low dwelling density.
- (d) To ensure that a high level of residential amenity is achieved and maintained.

5.2.1. Assessment of Consistency With Objectives of Clause 4.4(a) to (f)

5.2.1.1. Assessment of Development Density and Intensity – Clause 4.4(a)

The proposed kitchen extension and the FSR variation request maintain the development density and intensity of land use at 50 Rosewood Avenue, Prestons NSW 2170, in the following ways:

- **Minimal impact on external appearance:** The proposed kitchen extension is primarily internal, and the FSR variation results in a minor increase in floor area (10.23% over the maximum permissible FSR). This minimal change ensures that the development density and intensity remain substantially the same as the originally approved development.
- **No change to the dwelling's footprint:** The proposed kitchen extension does not alter the overall footprint of the dwelling with respect to the site. This means there is no increase in site coverage, preserving the existing development density and intensity.
- **Consistent with the character of the area:** The proposed kitchen extension is consistent with the desired future character of the R2 Low Density Residential zone. The minor increase in floor area does not alter the low-density residential character of the area, ensuring that the development density and intensity remain compatible with the surrounding neighbourhood.
- **No impact on infrastructure or traffic generation:** The proposed kitchen extension does not involve any changes that would increase the demand on existing infrastructure or

generate additional vehicle or pedestrian traffic. This ensures that the development density and intensity remain consistent with the existing infrastructure capacity.

Overall, the proposed kitchen extension and the FSR variation request effectively control building density and bulk to achieve the desired future character of the R2 Low-Density Residential zone. The alterations are minor, primarily internal, and do not alter the dwelling's footprint or external appearance. The development remains compatible with the desired future character of the R2 Low-Density Residential zone and does not impact the existing setbacks.

5.2.1.2. Assessment of Building Density and Bulk – Clause 4.4(b)

The proposed kitchen extension and the FSR variation request effectively control building density and bulk to achieve the desired future character of the R2 Low Density Residential zone.

- **Minor increase in floor area:** The proposed kitchen extension result in a minor increase in floor area (10.23% over the maximum permissible FSR). This minor increase ensures that the building bulk remains substantially the same as the originally approved development, preserving the desired low-density character of the area.
- **No change to the dwelling's footprint:** The proposed kitchen extension does not alter the overall footprint of the dwelling with respect to the site. This means there is no increase in the building's bulk or scale, maintaining the desired low-density character of the area.
- **Internal alterations:** The proposed kitchen extension is primarily internal, with minimal impact on the dwelling's external appearance. This ensures that the building bulk remains consistent with the desired future character of the R2 Low Density Residential zone.
- **Consistent with the character of the area:** The proposed kitchen extension is compatible with the desired future character of the R2 Low Density Residential zone. The minor increase in floor area does not alter the low-density residential character of the area, ensuring that the building density and bulk remain consistent with the surrounding neighbourhood.
- **No impact on setbacks:** The proposed kitchen extension does not change the dwelling's setbacks. This ensures that the building bulk and density remain consistent with the desired future character of the R2 Low Density Residential zone.

Overall, the proposed kitchen extension and the FSR variation request maintain the development density and intensity of land use at 50 Rosewood Avenue, Prestons. The alterations are minor, primarily internal, and do not alter the dwelling's footprint or external appearance. The development remains compatible with the desired future character of the R2 Low-Density Residential zone and does not impact the existing infrastructure or traffic generation.

5.2.1.3. Assessment of Adverse Environmental Effects – Clause 4.4(c)

The proposed kitchen extension and the FSR variation request minimise adverse environmental effects on the use or enjoyment of adjoining properties and the public domain in several ways:

- **Minimal visual impact:** The proposed kitchen extension are primarily internal and do not significantly alter the dwelling's external appearance. This ensures that the development does not negatively impact the visual amenity of the surrounding area or the streetscape.
- **No overshadowing or privacy issues:** The proposed kitchen extension does not increase the dwelling's height or bulk, and the placement of windows has been carefully considered to avoid any overshadowing or privacy issues for adjoining properties.
- **No noise pollution:** The proposed kitchen extension does not involve any noisy activities or equipment that would disturb the peace and quiet of the neighbourhood.
- **Environmental benefits:** The proposed kitchen extension promotes natural ventilation and harnesses passive solar heating and cooling, creating a more sustainable and environmentally friendly dwelling.
- **Consistent with the character of the area:** The proposed kitchen extension is compatible with the desired future character of the R2 Low Density Residential zone. The minor increase in floor area does not alter the low-density residential character of the area, ensuring that the development remains consistent with the surrounding neighbourhood.
- **No impact on infrastructure:** The proposed kitchen extension does not involve any changes that would increase the demand on existing infrastructure, such as water, sewerage, or stormwater systems. This ensures that the development does not negatively impact the provision of public services or amenities.

Overall, the proposed kitchen extension and the FSR variation request have been designed to minimise any adverse environmental effects on the use or enjoyment of adjoining properties and the public domain. The proposed kitchen extension are minor, primarily internal, and do not alter the dwelling's footprint or external appearance. The development remains compatible with the desired future character of the R2 Low-Density Residential zone and does not negatively impact the environment or the amenity of the neighbourhood.

5.2.1.4. Assessment of Visual Relationship – Clause 4.4(d)

The proposed kitchen extension and the FSR variation request maintain the visual relationship with the local character of the area in several ways:

- **Minimal external changes:** The proposed kitchen extension is primarily internal, with minimal impact on the dwelling's external appearance. This ensures that the development does not alter the streetscape or visual character of the neighbourhood.
- **Consistent with the surrounding dwellings:** The dwelling's design is compatible with the surrounding houses, and the proposed kitchen extension will not change this. The proposed kitchen extension is consistent with the prevailing architectural styles and scale of the neighbourhood, ensuring that the dwelling remains visually integrated with its surroundings.
- **No obstruction of views:** The proposed kitchen extension does not obstruct any significant views from or to the dwelling. This ensures that the development does not negatively impact the visual amenity of the area.

- **Consistent scale and form:** The dwelling's scale and form are consistent with the neighbourhood, and the proposed kitchen extension will not change this. This ensures that the development remains visually harmonious with the surrounding dwellings and does not disrupt the established character of the area.
- **Complements the streetscape:** The dwelling complements the streetscape, and the proposed kitchen extension will not change this. The proposed kitchen extension is designed to be sensitive to the existing streetscape and contribute positively to the visual appeal of the neighbourhood.

Overall, the proposed kitchen extension and the FSR variation request maintain the visual relationship with the local character of the area. The proposed kitchen extension are minor, primarily internal, and do not alter the dwelling's footprint or external appearance. The development remains compatible with the surrounding dwellings and does not obstruct any significant views. The dwelling's scale and form remain consistent with the neighbourhood.

5.2.1.5. Assessment of Correlation between Site Size and Development – Clause 4.4(e)

The proposed kitchen extension and the FSR variation request maintain an appropriate correlation between the size of the land and the extent of the existing dwelling by considering the following factors:

- **Minor increase in floor area:** The proposed kitchen extension result in a minor increase in floor area (10.23% over the maximum permissible FSR). This minor increase ensures that the overall size of the dwelling remains proportionate to the size of the land.
- **No change to the dwelling's footprint:** The proposed kitchen extension does not alter the overall footprint of the dwelling with respect to the site. This means there is no increase in site coverage, preserving the existing balance between the built form and the open space on the land.
- **Consistent with the character of the area:** The proposed kitchen extension is compatible with the desired future character of the R2 Low Density Residential zone. The minor increase in floor area does not alter the low-density residential character of the area, ensuring that the size of the dwelling remains proportionate to the typical lot sizes and development patterns in the neighbourhood.
- **Consideration of the occupants' needs:** The variation is driven by the need to accommodate a multi-generational family with specific needs, not by an intention to maximise development. The proposed kitchen extension is designed to improve the functionality and accessibility of the dwelling for the occupants, ensuring that the increase in floor area is directly related to meeting their needs.
- **Adaptable housing solutions:** The variation aligns with the principle of providing adaptable housing solutions to meet the evolving needs of occupants. This ensures that the dwelling

can be modified in the future to accommodate changing household structures and needs without requiring excessive expansion or overdevelopment of the site.

Overall, the proposed kitchen extension and the FSR variation request maintain an appropriate correlation between the size of the land and the extent of the existing dwelling. The proposed kitchen extension are minor, primarily internal, and do not alter the dwelling's footprint or external appearance. The development remains compatible with the desired future character of the R2 Low Density Residential zone. It ensures that the size of the dwelling remains proportionate to the size of the land.

5.2.1.6. Assessment of Design Excellence – Clause 4.4(f)

While the proposed kitchen extension is not in the Liverpool city centre, the FSR variation facilitates design excellence by creating a more functional and accessible living environment for a multi-generational family. The dwelling, in its current state, represents a high-quality residential development that positively contributes to the streetscape and overall character of the area. The proposed kitchen extension further enhances the dwelling's aesthetic appeal and functionality, ensuring it remains an exemplary dwelling that adds economic value to the street. The proposed kitchen extension does not impact the dwelling's design excellence. The proposed kitchen extension is primarily internal and does not affect the building envelope or the articulation and modulation of design. This is supported by the following:

- The proposed kitchen extension is focused on improving the functionality and accessibility of the dwelling for its occupants, aligning with the principle of adaptable housing design.
- The proposed kitchen extension does not involve any significant changes to the dwelling's external appearance or architectural features.
- The dwelling's design remains consistent with the desired future character of the R2 Low-Density Residential zone.
- The proposed kitchen extension does not impact the articulation and modulation of design, as they are primarily internal and do not affect the building envelope.

5.2.2. Assessment of Consistency With Zone R2 Low Density Residential

The proposed kitchen extension and FSR variation are consistent with the objectives of the R2 Low Density Residential zone in several ways:

- (a) **Housing Needs:** The extension directly addresses the housing needs of the community by providing a more functional and spacious living environment for a multi-generational family. This accommodates the growing trend of extended families living together and supports the need for adaptable housing solutions.
- (b) **Facilities and Services:** The extension enhances the functionality and accessibility of the dwelling, particularly the kitchen, which is a vital space for meeting the day-to-day needs of residents. The improved kitchen facilitates meal preparation, dining, and social interaction, contributing to the occupants' wellbeing and quality of life.

- (c) **Low-Scale Residential Character:** The extension is designed to be consistent with the low-density character of the R2 zone. It does not significantly alter the dwelling's external appearance or bulk, ensuring compatibility with the surrounding neighbourhood.
- (d) **High Level of Residential Amenity:** The extension enhances the amenity of the dwelling by improving its functionality, accessibility, and adaptability. This contributes to a more comfortable and liveable environment for the occupants, promoting their wellbeing and supporting aging in place.

In summary, the proposed kitchen extension and FSR variation are consistent with the objectives of the R2 Low-Density Residential zone by providing for the housing needs of the community, enabling essential facilities and services, maintaining a low-scale residential character, and ensuring a high level of residential amenity.

5.3. Are the underlying objectives or purpose of the development standard not relevant to the development?

No. The underlying objectives of the Floor Space Ratio (FSR) development standard remain highly relevant to the proposed kitchen extension.

While the proposed kitchen extension necessitates exceeding the FSR limit, it is crucial to ensure that the development remains compatible with the desired future character of the R2 Low Density Residential zone. The FSR standard serves to control the bulk and scale of development, preventing excessive density and preserving the neighbourhood's low-density residential character. Therefore, careful consideration must be given to ensure that the proposed kitchen extension, while exceeding the FSR limit, does not create an undesirable precedent or adversely impact the zone's character. The assessment must demonstrate that the development remains harmonious with the surrounding built environment and contributes positively to the neighbourhood's amenities.

Furthermore, it is essential to recognise that the proposed kitchen extension is driven by the need to accommodate a multi-generational family, including elderly occupants with increasing accessibility needs and growing children. This reflects a growing societal trend towards extended family living arrangements and highlights the importance of adaptable housing solutions. The importance of adaptable housing is discussed in *The Livable and Adaptable Home* (www.yourhome.gov.au), which promotes the development of housing that can meet the changing needs of occupants over time. In this context, the assessment should also consider the social benefits of the proposed development, which include:

- (a) **Improved accessibility for elderly occupants:** The proposed kitchen extension and open-plan living area will facilitate greater accessibility and mobility for the elderly family members, promoting their independence and wellbeing. This aligns with the emphasis in *The Desire to Age in Place Among Older Australians* (www.aihw.gov.au) on the importance of accessible housing for supporting aging in place.

- (b) **Enhanced family interaction:** The larger and more functional living space will encourage greater interaction and connection among family members, fostering a supportive and inclusive multi-generational living environment.
- (c) **Adaptability for future needs:** The proposed kitchen extension will enhance the dwelling's adaptability to accommodate the changing needs of its occupants over time, ensuring its long-term suitability for multi-generational living. This aligns with the principles discussed in *Housing for Life: Designed for Living (Office for Ageing Well, 2019)*, which emphasises the importance of designing homes that adapt to the changing needs of occupants and support aging in place.
- (d) **Promoting Aging in Place:** The proposed kitchen extension supports the ability of the elderly occupants to remain in their homes as their needs change, aligning with the *Ageing Well in NSW: Seniors Strategy 2021-2031* emphasis on enabling people to live in their homes and communities as they age.

By considering these social benefits alongside the objectives of the FSR standard, a comprehensive assessment can determine whether the proposed kitchen extension achieves a balance between the need for increased living space and the preservation of the neighbourhood's character.

5.4. Would the underlying objective or purpose be defeated or thwarted if compliance was required?

Yes. The underlying objective of the FSR development standard, which is to control the bulk and scale of development in the R2 Low-Density Residential zone, would be defeated if compliance were required in this case.

5.4.1. Impact of Refusing the FSR Variation

If the applicant is refused the FSR variation request, the following objectives of the FSR development standard may not be fully achieved:

- (a) **Establish standards for the maximum development density and intensity of land use:** While the proposed kitchen extension does not significantly increase the development's density or intensity, refusing the FSR variation could set a precedent that could lead to future modifications or extensions that might not adhere to these standards.
- (b) **Control building density and bulk to achieve the desired future character:** Refusing the FSR variation could limit the ability to create a functional and adaptable living space for the multi-generational family. This could lead to future modifications or extensions that may not be compatible with the desired future character of the R2 Low-Density Residential zone.
- (c) **Minimise adverse environmental effects:** While the proposed kitchen extension themselves do not have significant adverse environmental effects, refusing the FSR variation could lead to future modifications or extensions that might have a more significant impact on the environment, such as increased overshadowing, overlooking, or noise pollution.

- (d) Maintain an appropriate visual relationship: Refusing the FSR variation could limit the ability to create a dwelling that maintains an appropriate visual relationship with the existing character of the area. This could lead to future modifications or extensions that may not be compatible with the surrounding neighbourhood's streetscape and visual amenity.
- (e) Provide an appropriate correlation between the size of a site and the extent of any development: Refusing the FSR variation could hinder the ability to provide an appropriate correlation between the size of the site and the extent of development. This could lead to future modifications or extensions that result in overdevelopment of the site and an imbalance between the built form and open space.
- (f) Facilitate design excellence: Refusing the FSR variation could limit the ability to achieve design excellence by restricting the flexibility to create a functional and accessible living environment for a multi-generational family. This could result in a dwelling that does not adequately meet the needs of its occupants or contribute positively to the streetscape and overall character of the area.

In summary, refusing the FSR variation request could hinder the full achievement of the objectives of the FSR development standard by limiting the ability to create a functional, accessible, and adaptable dwelling that meets the needs of the occupants while maintaining the desired character of the area and minimising adverse environmental impacts.

5.4.2. Benefits of the Proposed Kitchen Extension

The proposed kitchen extension, while resulting in a minor increase to the floor area, does not significantly alter the dwelling's external appearance or impact the streetscape. The proposed FSR of 0.6614:1 represents only a minor variation of 10.23% from the maximum permissible FSR of 0.6:1.

Requiring strict compliance with the FSR standard in this instance would prevent the occupants of the dwelling, a multi-generational (extended) family with elderly members and specific needs, from making internal alterations that improve the amenity and functionality of their home. The proposed kitchen extension is crucial for enhancing the living environment and ensuring the long-term wellbeing of the occupants, particularly the elderly residents and the growing family members.

The proposed kitchen extension is consistent with the key principles discussed in *The Livable and Adaptable Home*, which emphasises the importance of designing homes that are adaptable to the changing needs of occupants over time. The proposed kitchen extension also supports the multi-generational family's desire to age in place, as explored in *The Desire to Age in Place Among Older Australians*. The proposed kitchen extension is consistent with the *Livable Housing Design Guidelines*, which promote the design and construction of adaptable and accessible housing to meet the diverse needs of occupants. The proposed kitchen extension also aligns with the *Ageing Well in NSW: Seniors Strategy 2021-2031*, which outlines the NSW Government's commitment to supporting older people to live well as they age.

Furthermore, denying this proposed kitchen extension based solely on a minor FSR variation would undermine the broader planning objective of providing housing that meets the diverse needs of the community. It would also contradict the spirit of adaptable housing design, which encourages homes to be modified/alterd to suit the evolving needs of occupants over time.

Therefore, in this specific context, strict adherence to the FSR standard would be an unreasonable outcome. It would prioritise a rigid numerical standard over the wellbeing and changing needs of the occupants, ultimately hindering the creation of a truly functional and accessible home for a multi-generational (extended) family with elderly parents and growing children.

5.5. Has the development standard been virtually abandoned or destroyed by the Council's own actions in granting consents departing from the standard?

Yes. The Council has demonstrated a willingness to vary the FSR development standard in past development approvals, suggesting that strict compliance may not always be necessary to achieve reasonable planning outcomes. This provides a precedent for considering an FSR variation in this case, particularly given the specific circumstances of the dwelling's occupants and the minor nature of the proposed variation. Examples of previous FSR variations granted by the Council include:

- **DA-241/2021:** For a subdivision at 1 Strzlecki Drive, Horningsea Park, the Council approved FSRs of 0.616:1 and 0.671:1 for the two resulting lots, both exceeding the maximum permissible FSR of 0.6:1. Extent of Variation: Lot 1 – 6.99sqm / 2.7% and Lot 2 – 31.06sqm / 11.9%
- **DA-532/2020:** For the construction of a part two-storey and part three-storey self-storage facility at 653 Hume Highway, Casula, the Council approved FSR of 1.117:1, exceeding the maximum permissible FSR of 0.75:1. Extent of Variation: 0.367:1 / 48.9%
- **DA-452/2020:** For alterations and additions to a dwelling at 4 Sherrard Avenue, Elizabeth Hills, the Council approved an FSR of 0.71:1, exceeding the maximum permissible FSR of 0.65:1. Extent of Variation: 0.06:1 / 9.2%

These examples demonstrate that the Council recognises the need for flexibility in applying the FSR standard, particularly when the proposed variation is minor and contributes to achieving positive planning outcomes.

5.6. Is the zoning of the land unreasonable or inappropriate so that the development standard is also unreasonable or unnecessary?

No. The R2 Low Density Residential zoning of the land is entirely appropriate for this site. This zoning aligns with the site's characteristics, the surrounding residential context, and the established character of the neighbourhood. The proposed kitchen extension, despite the minor FSR variation, remains consistent with the zone's objectives, which include:

- Providing for the housing needs of the community within a low-density residential environment.
- Ensuring a high level of residential amenity.
- Maintaining a low-scale residential character commensurate with a low dwelling density.

The proposed kitchen extension, driven by the need to accommodate a multi-generational family with elderly occupants and growing children, supports the zone's objectives by facilitating aging in place and promoting adaptable housing solutions within an established residential context.

The FSR variation, while exceeding the numerical limit, does not fundamentally alter the dwelling's low-density residential character. The alterations are primarily internal, at the rear of the dwelling and do not significantly impact the dwelling's external appearance or the streetscape.

In [Housing for Life: Designed for Living \(Office for Ageing Well, 2019\)](#), the authors highlight the importance of designing homes that adapt to the changing needs of occupants and support aging in place. The proposed kitchen extension is consistent with this principle by providing a more spacious and functional living environment for the multi-generational family, enabling them to age in place comfortably and safely.

Therefore, the R2 Low Density Residential zoning remains appropriate for the site, and the proposed kitchen extension, including the FSR variation, is compatible with the zone's objectives and desired future character.

6. ARE THERE SUFFICIENT ENVIRONMENTAL PLANNING GROUNDS TO JUSTIFY CONTRAVENING THE DEVELOPMENT STANDARD?

Yes. There are sufficient environmental planning grounds to justify contravening the FSR development standard.

Please refer to **6.1 Assessment Of Consistency With EP&A Act 1979** for assessment against each **Clause 1.3 Objects of Act**. The objects of this Act are as follows:

- (a) to promote the social and economic welfare of the community and a better environment by the proper management, development and conservation of the state's natural and other resources,
- (b) to facilitate ecologically sustainable development by integrating relevant economic, environmental and social considerations in decision-making about environmental planning and assessment,
- (c) to promote the orderly and economic use and development of land,
- (d) to promote the delivery and maintenance of affordable housing,
- (e) to protect the environment, including the conservation of threatened and other species of native animals and plants, ecological communities and their habitats,
- (f) to promote the sustainable management of built and cultural heritage (including Aboriginal cultural heritage),
- (g) to promote good design and amenity of the built environment,
- (h) to promote the proper construction and maintenance of buildings, including the protection of the health and safety of their occupants,
- (i) to promote the sharing of the responsibility for environmental planning and assessment between the different levels of government in the state,
- (j) to provide increased opportunity for community participation in environmental planning and assessment.

6.1. Assessment Of Consistency With EP&A Act 1979

The proposed kitchen extension and the FSR variation are consistent with the objectives of the Environmental Planning and Assessment Act 1979 in the following ways:

- (a) **Social and economic welfare:** The proposed kitchen extension enhances the functionality and accessibility of the dwelling, improving the occupants' quality of life and promoting social inclusion. This aligns with the objective of promoting social and economic welfare by creating a more liveable and adaptable home environment.
- (b) **Ecologically sustainable development:** The proposed kitchen extension promotes sustainable building practices by incorporating energy-efficient appliances and design features that maximise natural light and ventilation. This aligns with the objective of facilitating ecologically sustainable development by integrating environmental considerations into the design.

- (c) **Orderly and economic use of land:** The proposed kitchen extension involves a minor increase in floor area and does not alter the dwelling's overall footprint. This ensures the efficient use of land and promotes orderly development without significant changes to the existing building envelope.
- (d) **Affordable housing:** The proposed kitchen extension supports the provision of affordable housing by enabling a multi-generational family to cohabitate comfortably. This addresses the growing need for adaptable and affordable housing solutions, particularly for extended families.
- (e) **Environmental protection:** The proposed kitchen extension has minimal impact on the surrounding environment and promotes sustainable building practices. This aligns with the objective of protecting the environment and minimising any adverse impacts.
- (f) **Sustainable management of heritage:** The proposed kitchen extension does not impact any built or cultural heritage (including Aboriginal cultural heritage). The development is consistent with the existing character of the area and does not involve any demolition or alteration of heritage features.
- (g) **Good design and amenity:** The proposed kitchen extension enhances the amenity and functionality of the dwelling, contributing to a more liveable and aesthetically pleasing living environment. This aligns with the objective of promoting good design and amenity of the built environment.
- (h) **Proper construction and maintenance:** The proposed kitchen extension will be constructed in accordance with the National Construction Code (NCC) and relevant Australian Standards, ensuring the health and safety of the occupants. This aligns with the objective of promoting proper construction and maintenance of buildings.
- (i) **Sharing of responsibility:** The proposed modifications have been designed and assessed considering the relevant planning controls and building regulations, demonstrating a shared responsibility between different state government levels.
- (j) **Community participation:** The modification application process allows community participation in environmental planning and assessment. The applicant has submitted a comprehensive SEE, which is publicly available, and the Council will consider any submissions from the community before making a decision on the application.

The proposed kitchen extension and FSR variation align with the objectives of the Environmental Planning and Assessment Act 1979 by promoting sustainable development, enhancing the living environment for the occupants, and protecting the environment and community interests.

7. IS THERE ANY OTHER RELEVANT INFORMATION RELATING TO JUSTIFYING A VARIATION OF THE DEVELOPMENT STANDARD?

Yes, there is further relevant information to justify the variation of the FSR development standard. The proposed alterations to the kitchen are particularly relevant in achieving the objectives of the *Ageing Well in NSW: Seniors Strategy 2021-2031*.

The kitchen is often considered the heart of the home, and it plays a vital role in the daily lives of occupants, especially elderly family members. The proposed kitchen extension will enhance its functionality, accessibility, and adaptability, making it easier and more comfortable for elderly occupants to use. This aligns with the *Ageing Well in NSW: Seniors Strategy 2021-2031*, which aims to create age-friendly environments that support the independence and wellbeing of older people.

Specifically, the proposed kitchen alterations support the following objectives of the *Ageing Well in NSW: Seniors Strategy 2021-2031*.

7.1. Promoting Aging in Place

The proposed kitchen extension creates a more accessible and functional kitchen, enabling elderly occupants to age in place comfortably and safely. This aligns with the strategy's emphasis on enabling people to live in their homes and communities as they age. The proposed kitchen extension directly supports the "Promoting Aging in Place" objective of the *Ageing Well in NSW: Seniors Strategy 2021-2031* in several ways:

- **Enhanced Accessibility:** The expanded kitchen area allows wider walkways and turning spaces, accommodating mobility aids and making it easier for elderly occupants with limited mobility to navigate the space safely. This aligns with the strategy's emphasis on creating age-friendly environments that support the independence and wellbeing of older people.
- **Improved Functionality:** The larger kitchen facilitates the incorporation of age-friendly design features, such as:
 - ✓ Lower benchtops and cabinets to reduce strain on joints and muscles.
 - ✓ Easy-to-reach storage solutions to minimise bending and reaching.
 - ✓ Accessible appliances with user-friendly controls.
 - ✓ Slip-resistant flooring to prevent falls.
- **Increased Social Interaction:** The open-plan design and extended kitchen space encourage social interaction and family gatherings, which are crucial for combating social isolation and promoting mental wellbeing among older adults. This aligns with the strategy's focus on recognising the value and diversity of aging and supporting families to live together harmoniously.
- **Adaptability for Future Needs:** The extended kitchen provides the flexibility to adapt to changing needs over time. This may include installing grab bars, adjustable countertops, or other assistive devices as required. This adaptability ensures that the dwelling can continue to

meet the needs of the occupants as they age, allowing them to remain in their home comfortably and safely.

- **Enhancing Health and Wellbeing:** The proposed kitchen extension improves the kitchen's overall usability and contributes to the occupants' physical and mental wellbeing. This aligns with the strategy's goal of supporting people to have healthier, longer lives by creating supportive and comfortable living environments.
- **Creating Age-Friendly Environments:** The proposed kitchen extension enhances the accessibility and functionality of the kitchen, making it easier for older people to navigate and use. This contributes to the strategy's goal of creating age-friendly environments that support the wellbeing and participation of older people.

By creating a more accessible, functional, and adaptable kitchen space, the proposed kitchen extension directly supports the "Promoting Aging in Place" objective of the *Ageing Well in NSW: Seniors Strategy 2021-2031*. This strengthens the argument for the FSR variation, as it enables the creation of a living environment that caters to the evolving needs of the occupants and promotes their ability to **age in place with dignity and independence**.

7.2. Supporting Multi-Generational Living

The proposed kitchen extension is not merely an architectural addition but a cornerstone in facilitating the **family's multi-generational living vision**. This extension **directly supports the family's cultural values** and enhances the wellbeing of all its members, particularly the elderly occupants.

The proposed kitchen extension is integral to supporting the family's multi-generational living goals in several keyways:

- **Enhanced Accessibility and Safety:** A larger kitchen allows for a safer and more accessible environment for elderly family members. The increased space allows for:
 - ✓ Wider walkways and turning spaces: This accommodates mobility aids and reduces the risk of falls and injuries, promoting independent movement within the kitchen.
 - ✓ Accessible countertops and appliances: Lowered countertops and strategically placed appliances allow for ease of use and minimise strain, enabling elderly family members to actively participate in meal preparation and other kitchen tasks.
 - ✓ Customised storage solutions: Ergonomic storage solutions, such as pull-out shelves and drawers, reduce the need for bending and reaching, making it easier and safer for elderly occupants to access kitchenware.
- **Fostering Intergenerational Connections:** The expanded kitchen space fosters intergenerational connections and the sharing of cultural heritage by:
 - ✓ Facilitating shared meal preparation: Ample space allows multiple family members to cook together, providing opportunities for elderly family members to pass down cherished recipes and culinary traditions to younger generations.

- ✓ Promoting social interaction: The open design seamlessly integrates the kitchen with dining and living areas, creating a central gathering place for family members to connect, share stories, and strengthen bonds.
- **Supporting Caregiver Responsibilities:** The proposed kitchen extension also supports caregivers by providing:
 - ✓ A functional and efficient workspace: The improved layout and increased workspace efficiency ease the burden of meal preparation and other household tasks, particularly for caregivers managing the needs of both children and elderly family members.
 - ✓ A supportive environment for childcare: The spacious kitchen allows for safe and convenient childcare, enabling parents to balance their responsibilities while benefiting from the proximity and support of elderly family members.
- **Creating a Welcoming and Inclusive Space**
 - ✓ Ultimately, the proposed kitchen extension creates a welcoming and inclusive environment for all family members. It provides a comfortable and functional space where everyone can gather, interact, and contribute to the family's wellbeing. This aligns with the overall goal of creating a home that supports multi-generational living, values the contributions of all ages, and promotes a sense of belonging and shared heritage.

8. IS THE PLANNING CONTROL A DEVELOPMENT STANDARD THAT CAN BE VARIED? – CLAUSE 4.6(2)

Yes. The FSR prescribed by Clause 4.4 of the Liverpool Local Environmental Plan 2008 is a development standard capable of being varied under Clause 4.6(2) of the Liverpool Local Environmental Plan 2008.

The proposed kitchen extension, which seeks to increase the FSR to accommodate proposed kitchen extension that enhance the accessibility and functionality of the dwelling for its multi-generational occupants, is not excluded from the operation of Clause 4.6(2). It does not fall under any of the matters listed in Clause 4.6(6) or Clause 4.6(8) of the Liverpool Local Environmental Plan 2008, which specify the types of development standards that cannot be varied.

9. WOULD THE BURDEN PLACED ON THE COMMUNITY BE DISPROPORTIONATE TO THE ADVERSE CONSEQUENCES ATTRIBUTABLE TO THE PROPOSED NON-COMPLIANT DEVELOPMENT?

Yes, requiring strict compliance with the FSR development standard in this case would impose an unreasonable burden on the occupants, a multi-generational family with elderly members, by preventing them from making alterations that improve the amenity, accessibility, and functionality of their home. These modifications are crucial for enhancing the living environment and ensuring the long-term wellbeing of the occupants, particularly the elderly residents with increasing accessibility needs.

The adverse consequences of the proposed non-compliant development are minimal, as the variation is minor (10.23% over the maximum permissible FSR) and does not significantly alter the dwelling's external appearance or impact the streetscape. However, denying these modifications based solely on a minor FSR variation would be a disservice to the community, particularly to the elderly residents who would benefit significantly from the improved living conditions and enhanced accessibility. The benefits to the occupants and the wider community, in terms of improved living conditions, enhanced family support, and adaptable housing solutions, far outweigh any perceived negative impacts.

Furthermore, refusing this application based solely on a minor FSR variation would set an undesirable precedent. It would signal that the Council is not prioritising the needs of aging residents and is not committed to creating age-friendly communities, as outlined in the *Ageing Well in NSW: Seniors Strategy 2021-2031*. This could discourage future development applications that seek to modify existing dwellings to better accommodate the needs of elderly occupants.

The proposed kitchen extension aligns with the principles discussed in *The Livable and Adaptable Home* by creating a more spacious and functional living environment that can adapt to the changing needs of the occupants over time. The kitchen alterations also support the desire of the multi-generational family to age in place, as explored in *The Desire to Age in Place Among Older Australians*.

Furthermore, the proposed kitchen extension is consistent with the *Livable Housing Design Guidelines*, which promote the design and construction of adaptable and accessible housing to meet the diverse needs of occupants. The proposed kitchen extension also aligns with the *Ageing Well in NSW: Seniors Strategy 2021-2031*, which outlines the NSW Government's commitment to supporting older people to live well as they age.

Approving this modification application would demonstrate the Council's commitment to supporting the needs of aging residents and creating age-friendly communities. It would also encourage future development applications that seek to improve the accessibility and functionality of existing dwellings for elderly occupants.

10. IS THE PROPOSED DEVELOPMENT IN THE PUBLIC INTEREST? – CLAUSE 4.6(4)(a)(ii) - Historical

Yes, the proposed kitchen extension is definitively in the public interest. It aligns with several key principles of responsible development and addresses broader societal needs, particularly in the context of housing affordability and multi-generational living. The proposed kitchen extension demonstrably promotes the public interest by aligning with the *Ageing Well in NSW: Seniors Strategy 2021-2031*. This alignment reflects a commitment to the wellbeing of again residents of NSW and contributes to a more inclusive and age-friendly community. The key aspects of this alignment include:

10.1. Promoting Aging in Place

The proposed kitchen extension enables elderly occupants to remain in their home as their needs change, supporting their independence and social connections. This is crucial for fostering a society where older individuals can **age with dignity and maintain a high quality of life**.

10.2. Creating Age-Friendly Environments

The proposed kitchen extension enhances the accessibility and functionality of the dwelling, making it easier for elderly occupants to navigate and use. This contributes to creating a supportive living environment that promotes the wellbeing and **active participation of elderly family members**.

10.3. Supporting Multi-Generational Living

The proposed kitchen extension caters to the needs of a multi-generational family, promoting social inclusion and interdependence. This recognises the **value and diversity of aging** and supports families in living together harmoniously, **fostering stronger bonds and mutual support**.

10.4. Enhancing Health and Wellbeing

The proposed kitchen extension improves the dwelling's overall liveability, contributing to the occupants' physical and mental wellbeing. This aligns with the critical goal of supporting healthier, longer lives by creating a **comfortable and supportive living environment**.

10.5. Alignment With Liverpool LEP 2008 And Liverpool DCP 2008

Furthermore, the proposed kitchen extension aligns with the objectives of the Liverpool Local Environmental Plan 2008 and the Liverpool Development Control Plan 2008. These objectives include promoting sustainable development, providing housing that meets community needs, and maintaining a high level of residential amenity. The kitchen extension contributes to these objectives by creating a more functional and sustainable living space that caters to the needs of a multi-generational family, promoting a more inclusive and adaptable housing solution within the community.

11. HAS THE WRITTEN REQUEST ADEQUATELY ADDRESSED THE MATTERS REQUIRED BY SUBCLAUSE (3)(A)(B)?

Yes. This written request has comprehensively addressed the matters required under Sub-clause (3) of Clause 4.6. It provides a detailed and thorough examination of why compliance with the Floor Space Ratio (FSR) development standard is considered unreasonable or unnecessary in the specific circumstances of this case.

While Clause 4.6(4)(a)(i) has been repealed, this assessment nonetheless ensures that the consent authority (the Council) is provided with a record of its assessment carried out under subclause (3).

This assessment includes:

- Demonstration of how the objectives of the FSR standard are still achieved despite the proposed variation. This includes consideration of the dwelling's external appearance, streetscape impact, traffic generation, and impact on infrastructure.
- Explanation of how strict compliance with the FSR standard would undermine the underlying purpose of the standard. This involves demonstrating how the proposed kitchen extension enhances the functionality, accessibility, and liveability of the dwelling for its multi-generational (extended family) occupants, including elderly residents with specific needs.
- Analysis of the disproportionate burden that strict compliance would impose on the occupants compared to the negligible adverse consequences of the proposed variation. This includes highlighting the social and environmental benefits of the proposed kitchen extension, such as improved accessibility, enhanced family interaction, and adaptable housing solutions.

The written request also provides sufficient environmental planning grounds to justify the proposed variation to the development standard. These grounds are rooted in the objectives of the Environmental Planning and Assessment Act 1979, including promoting sustainable development, improving the quality of life, and facilitating the provision of housing that meets community needs, particularly the needs of multi-generational (extended) families and aging residents.

In conclusion, this written request has meticulously addressed all the necessary matters under Sub-clause (3) of Clause 4.6, providing a comprehensive and persuasive justification for the proposed FSR variation. The request demonstrates that the proposed variation is minor, reasonable, and consistent with the objectives of the relevant planning instruments. It also highlights the significant social and environmental benefits of the proposed kitchen extension, particularly in the context of providing adaptable housing solutions for a multi-generational family with elderly occupants.

12. CONCLUSION

In conclusion, the proposed FSR variation is a reasonable and necessary adjustment to accommodate the evolving needs of the multi-generational family residing at 50 Rosewood Avenue, Prestons. The variation will facilitate the creation of a more functional and accessible dwelling that supports aging in place, enhances the occupants' quality of life, and promotes social inclusion.

The applicant's commitment to providing a supportive living environment for elderly family members aligns with the NSW Government's initiative outlined in the *Ageing Well in NSW: Seniors Strategy 2021-2031*. By promoting aging in place and creating an age-friendly dwelling, the applicant contributes to the broader societal goals of creating inclusive communities that support the wellbeing and participation of older people.

The proposed FSR variation, while exceeding the maximum permissible limit by 10.23%, does not result in a substantial change to the development. It is a minor adjustment that enhances the dwelling's functionality and liveability without compromising its compatibility with the desired future character of the area.

Therefore, the applicant respectfully requests that the Council approve the proposed FSR variation, recognising its alignment with the objectives of the Liverpool Local Environmental Plan 2008, the Liverpool Development Control Plan 2008, and the *Ageing Well in NSW: Seniors Strategy 2021-2031*.

APPLICANT DECLARATION	
To the best of my knowledge and belief, I declare that the particulars in this document are correct in every detail and that the information required by the Council has been provided. I acknowledge that the development application may be returned to me if information is found to be missing or inadequate for its intended purpose.	
Applicant's name	Mahesh Rajan
Applicants signature	Mahesh Rajan Digitally signed by Mahesh Rajan Date: 2024.12.10 13:51:01 +11'00'
Date	10 December 2024

LIVERPOOL CITY COUNCIL

LOCAL PLANNING PANEL REPORT

REPORT ATTACHMENT: DRAFT REASONS FOR REFUSAL

Reasons for refusal

1. The proposed modification does not satisfactorily demonstrate that the modification is substantially the same development as the development for which the consent was originally granted and therefore is inconsistent with the provisions of Section 4.55(2)(a) of the Environmental Planning and Assessment Act 1979.
2. The proposed development contravenes Clause 4.4 Floor Space Ratio under the Liverpool Local Environmental Plan 2008 and is not supported by sufficient environmental planning grounds and inadequately demonstrates that compliance with the development standard is unreasonable or unnecessary on the site in order to vary the development standard, pursuant to Sections 4.55(3), 4.15(1)(a)(i), 4.15(1)(b) and 4.15(1)(c) of the Environmental Planning and Assessment Act 1979.
3. The proposed development is not consistent with the objectives of the R2 – Low Density Residential zone under the Liverpool Local Environmental Plan 2008 as the proposed development does not demonstrate satisfactory compliance with ensuring *to provide a suitable low scale residential character commensurate with a low dwelling density*, pursuant to Sections 4.55(3), 4.15(1)(a)(i), 4.15(1)(b) and 4.15(1)(c) of the Environmental Planning and Assessment Act 1979.
4. The proposed development does not achieve satisfactory compliance with the controls stipulated in the Liverpool Development Control Plan 2008, including:
 - a) Part 3.2 Dwelling houses on lots greater than 400sqm in the R2, R3 and R4 zones
 - i. Section 2: Site Planning
 - ii. Section 4: Landscaped Area and Private Open Space
 1. Private Open Space
 - iii. Section 5: Cut and Fill, Building design, Streetscape and Layout
 1. Building Design and Appearance
 2. Internal Design of Dwellings

pursuant to Sections 4.55(3), 4.15(1)(a)(iii), 4.15(1)(b) and 4.15(1)(c) of the Environmental Planning and Assessment Act 1979.
5. The proposed modification is likely to have an adverse impact on the built environment, pursuant to Sections 4.55(3), 4.15(1)(a)(iv), 4.15(1)(b) and 4.15(1)(c) of the Environmental Planning and Assessment Act 1979.
6. The proposed modifications demonstrate that the site would not be suitable for the proposed development, pursuant to Sections 4.55(3), 4.15(1)(c) of the Environmental Planning and Assessment Act 1979.
7. Due to the above reasons, approval of the development would set an undesirable precedent for similar inappropriate development and is therefore not in the public interest, pursuant to provisions of Sections 4.55(3) and 4.15(1)(e) of the Environmental Planning and Assessment Act 1979.



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**REPORT ATTACHMENT : LIVERPOOL DEVELOPMENT CONTROL PLAN 2008
COMPLIANCE TABLES**


LDCP 2008 Part 1. General Controls for all Development			
Control	Required	Proposal	Compliance
Section 2 – Tree Preservation	Consider impact of development on existing vegetation	The proposal does not seek to remove any trees.	Complies
Section 3 – Landscaping and Incorporation of Existing Trees	Incorporation of existing trees into development where appropriate	The proposal does not seek to alter the approved landscaping.	Complies
Section 4 – Bushland and Habitat Preservation	Consider impact of development on bushland and habitats	No impact on bushland and habitats considering the location of the development.	Complies
Section 5 – Bushfire Risk	Land on or adjacent to bushfire prone land to comply with RFS requirements	Site is not classified as Bushfire prone land.	Complies
Section 6 – Water Cycle Management	Consideration of stormwater and drainage	No modification to water cycle management.	Complies
Section 7 – Development Near a Watercourse	Consideration of impact to riparian corridors	Development is not in close proximity to watercourse	Complies
Section 8 – Erosion and Sediment Control	Sediment Control Plan or Soil and Water Management Plan required	Disturbance to natural ground is not proposed. Existing conditions will remain unaltered.	Complies
Section 9 – Flooding Risk	Flood affection of property to considered	The site is not mapped as a flood prone area.	Complies
Section 10 – Contaminated Land Risk	Previous use to be considered in assessing risk	As the site is in a residential zone there are no obvious uses that may lend themselves to the requirement of a land contamination assessment report. Therefore, considered acceptable in this instance.	Complies
Section 11 – Salinity Risk	Salinity Management response required for affected properties	High Salinity potential which has been considered in the original application. Existing conditions will remain unaltered.	Complies
Section 12 – Acid Sulfate Soils Risk	Affected properties to consider impact of development on soils	Site is not affected by acid sulfate soils.	Complies
Section 13 – Weeds	Noxious weeds to be removed as part of	The submitted site plan does not identify any noxious weeds on site.	Complies

	development where applicable		
Section 14 – Demolition of Existing Development	Must comply with AS 2601-2001	Partial demolition of building elements is proposed. Conditions of consent would be imposed if the consent were approvable	Complies
Section 15 – Onsite Sewage Disposal	S68 Application required where connection to sewer not available	Site is connected to sewer.	Complies
Section 16 – Aboriginal Archaeology	AHIA required where items of aboriginal archaeology exist	No known items of Aboriginal archaeology are present on the subject property. Standard conditions of consent will be applied for any unexpected finds.	Complies
Section 17 – Heritage and Archaeology	Consideration of the impact on the heritage significance on any heritage buildings, sites, streetscapes or areas.	Site is not associated with any heritage items.	Complies
Section 19 – Used Clothing Bins	Applies to any charity bins located on either private or Council land.	No charity bins located on site.	Complies
Section 20 – Car Parking and Access	Two (2) car parking spaces required for each dwelling.	The proposed development provides two (2) parking spaces via double garage.	Complies
Section 21 – Subdivision of Land and Buildings	Minimum lot width: 8m	Existing lot width is 15m. Subdivision is not proposed.	Not applicable
Section 22 – Energy conservation	A complying BASIX report is to be submitted with all development applications containing residential activities.	An updated BASIX certificate has been provided to address the new/modified openings.	Complies
Section 23 – Reflectivity	To consider materials used to avoid undesirable glare and heat load.	The new colours and textures selected as part of this modification does not emit undesirable glare or heat load.	Complies
Section 24 – Landfill	To minimize land cut and filling and to avoid its adverse impact nearby lands	Cut /fill is not proposed as part of this development	Complies
Section 25 – Waste Disposal & re-use Facilities	Waste Management Plan shall be submitted for demolition, construction and	A waste management plan has been submitted.	Complies

	ongoing waste management.		
Section 26 – Outdoor advertising and signage	Provision of signage for business	Not applicable	Not applicable
Section 27 – Social impact statement	A typical residential dwelling does not require a social impact statement, unless requested in writing by Council	A social impact assessment was submitted, but was not required or request by Council.	Not applicable

Liverpool Development Control Plan - Part 3.2 Dwelling Houses on Lots Greater than 400sqm

LDCP 2008 Part 3.2 Dwelling Houses on Lots greater than 400sqm			
Control	Required	Proposal	Compliance
Site Planning	The dwelling layout must be designed around the site attributes such as slope, existing vegetation, land capability and/or solar access	The proposal does not alter the dwelling siting and footprint. It does not adversely respond to existing site attributes.	Unaltered
	There must be a direct link from at least one living area to the principal private open space.	The proposed amendments result in a direct link not being made from a living room to the private open space. Previously, the development provided for a direct link from the family room to the POS, however, access to the POS is now through the kitchen.	Does not comply
	The siting of windows of habitable rooms on the first floor shall minimise overlooking to the private open space of neighbouring properties.	The applicant provided amended plans to address overlooking caused by unauthorised windows. However, these issues were addressed by making the glazing of these windows opaque /screened so privacy issues do not arise.	Complies
	Stormwater from the site must be able to be drained satisfactorily.	Councils Land Development Engineers reviewed the original application, with this subject modification proposing no changes.	Complies

Front Setback	A ground floor setback of 4.5m is required. A first floor setback of 5.5m is required. Garages must be setback 1m behind the main face of the dwelling.	Ground floor setback = 5.5m First floor setback = 5.5m Garage setback is not more than 1m from main face of dwelling. Existing dwelling does not comply with garage setback 1m behind main face control.	Does not comply. However variation approved with original consent.
Side Setback	A ground floor side setback of 0.9m is required. A first floor side setback of 1.2m is required.	Ground floor setback = 0.95m on northern side Ground floor southern setback = 2.56m on southern side First floor setback = 0.95m on northern side = 2.56m on the southern side. First floor setback on the northern side does not comply with the 1.2m setback requirement. However, this is due to the original dwelling, prior to DA-866/2022, having a northern setback of 0.95m. 	Does not comply. However variation approved with original consent.
Rear Setback	A ground floor rear setback of 4m is required. A first floor rear setback of 7m is required	Ground floor setback: 5.21m First floor setback: 8.61m	Unaltered

Landscaped Area	A minimum of 25% of the site area shall consist of Landscaped Area, this may include lawn, deep rooted trees, garden beds and mulched areas.	The landscape plan provided indicates 140sqm of landscape area which is 31% of the site.	Unaltered
	A minimum unencumbered area of 4m x 6m shall be provided in the rear setback to accommodate deep rooted trees.	A minimum 4x6m unencumbered area will be achieved.	Unaltered
	A minimum of 50% of the front setback area shall be Landscaped Area.	A front setback area of 72sqm is present. 46sqm of landscaping is proposed within the front setback area. 63% of the front setback area is proposed to be landscape area.	Unaltered
	A minimum unincumbered area of 3 x 5m shall be provided in front setback to accommodate deep rooted trees.	An unincumbered area of 3x5m is achieved in the front setback.	Unaltered
Private Open Space	Each dwelling must provide a minimum of 80sqm of Private Open Space.	POS of 82sqm is provided at the rear of the proposed dwelling (excluding metal shed).	Unaltered
	Areas less than 2.5 m in width does not qualify as Private Open Space.	Noted. No areas less than 2.5m in width have been included in the calculation of POS.	Unaltered
	The Private Open Space must have an area for clothes drying with at least 2 hours of full sun between 9.00am and 5.00pm at 21 June.	Areas for clothes drying have been provided in the POS and that area is capable of receiving 2 hours sunlight.	Unaltered
	The Private Open Space shall include the principal private open space, which is directly accessible from the main living area of a dwelling with a minimum dimension of 4 x 6 m	The proposed amendments result in a direct link not being made from a living room to the private open space. Previously, the development provided for a direct link from the family room to the POS, however, access to the POS is now through the kitchen.	Does not comply

	The Principal Private Open Space must receive 3 hours of sunlight to at least 50% of the area between 9:00am and 5:00pm on 21 June.	The minimum requirement of 3 hours sunlight to the PPOS is achieved. The shadow diagrams provided at 9am, 12pm and 3pm on June 21 reflect that 50% or more of the PPOS would easily achieve exposure to direct sunlight for 3 hours during the day.	Unaltered
Cut and Fill of Land	The maximum cut on a site should not exceed 600mm. The maximum fill on a site should not exceed 1m.	Cut and fill is not proposed	Unaltered
Building Design and Appearance	All dwelling houses are to be orientated to the street. The front pedestrian entrance must be visible from the street. The front building facades shall be articulated, this articulation may include front porches, entries, wall indents, windows, changes in finishes, balconies and/or verandahs. Eave overhang must provide for sun shading and protect windows and doors. Eaves should have a minimum overhang of 400mm and be provided to a minimum of 70% of the dwelling. The side walls shall be articulated if the wall has a continuous length of over 14m.	The front door entry has been modified without consent to be relocated to address the street. Front entrance to the primary dwelling is visible from the street. The proposed façade incorporates an existing two balconies, and portico which provides an articulated façade. Additionally, it proposed to replace two ground floor lounge windows with three windows in place. Eave overhang is unaltered. The external walls are proposed to be altered for the ground floor kitchen. This is considered to be unsatisfactory as this subject wall 14.35m in length. No variation has	Complies Complies Complies Complies Does not comply

		<p>been sought and this is also a result of the enclosure of the previous alfresco area, which also leads to a breach of the floor space ratio development standard.</p>	
	<p>To break up the bulk of two <u>storey</u> dwellings balconies built above garages are encouraged</p>	Existing balconies remain unaltered.	Unaltered
	<p>Balconies are not permitted on the first floor of the side and/or rear portion of the <u>dwelling</u>. Balconies may be considered if they address public open space/utilities.</p>	Existing balconies remain unaltered.	Unaltered
Garages and Carports	<p>The maximum width of garage doors or carports must be no greater than 45% of the building frontage width.</p>	The existing garage doors remain unaltered. The development does not contain a carport.	Complies
	<p>Garages and carports must be designed to be the minor element of the façade</p>	The existing garage doors remain unaltered. The development does not contain a carport.	
	<p>Garage roofs shall be incorporated into the roof design of the house. Separate roofs for garages are discouraged, unless actually separated from the dwelling.</p>	The existing garage doors remain unaltered. The development does not contain a carport.	
	<p>Garages and carports are to be compatible with the building design in terms of height, roof form, detail, materials and colours.</p>	The existing garage doors remain unaltered. The development does not contain a carport.	Unaltered
	<p>Carports may be built in front of the garage only if the carport:</p> <ul style="list-style-type: none"> - Is no larger than 5.5 x 6m. - Is built of a similar colour and materials of the house. - Is setback 2m from the 	The development does not contain a carport.	Not applicable

	<p>front property boundary.</p> <ul style="list-style-type: none"> - Is compatible with the local streetscape. <p>The conversion of garages to living space may only be permitted if:</p> <ul style="list-style-type: none"> - At least one car parking space is provided behind the front setback. - The additional living area does not result in the building exceeding the maximum permitted floor space ratio. 		
Internal Design of Dwellings	<p>All dwellings shall have habitable rooms located to the front of the dwelling for security and surveillance to the street.</p>	<p>The existing dwelling has a ground floor lounge and first floor bedroom, which has the capacity to provide surveillance.</p>	Unaltered
	<p>Living rooms should take advantage of northern aspects.</p>	<p>The lounge room is located to the northern aspect and remains unaltered.</p>	Unaltered
	<p>Access to private open space must be from at least one living room.</p>	<p>The proposed amendments result in a direct link not being made from a living room to the private open space. Previously, the development provided for a direct link from the family room to the POS, however, access to the POS is now through the kitchen.</p>	Does not comply
	<p>The internal layout of the dwelling is encouraged to incorporate cross ventilation.</p>	<p>The internal layout has incorporated cross ventilation with windows and or doors being located appropriately. The additional unauthorised windows and proposed windows further encourage cross ventilation.</p>	Complies
	<p>Bathrooms, ensuites, laundries and walk in wardrobes should be</p>	<p>Bathrooms, ensuites & laundries have been located to the sides of the proposed dwellings.</p>	Unaltered

	<p>located to the side or rear of the dwelling.</p> <p>Each dwelling must provide a minimum storage area of 8m³.</p>	Existing storage area in laundry and wardrobes are maintained with over 8m ³ .	Complies
Landscaping	<p>The front and rear setback areas of development are to be utilised for canopy tree planting. The landscape design for all development must include canopy trees that will achieve a minimum 8m height at maturity within the front and rear setback areas.</p> <p>At least one tree shall be planted in the landscaped areas. The tree must reach a mature height of over 8m.</p> <p>Landscape planting should be principally comprised of native species to maintain the <u>character</u> of Liverpool and provide an integrated streetscape appearance. However, <u>Council</u> will consider the use of deciduous trees in small <u>private open space</u> areas such as courtyards for control of local microclimate and to improve solar access.</p> <p>Any tree with a mature <u>height</u> over 8m should be planted a minimum distance of 3m from the <u>building</u> or utility services.</p>	The existing approved landscape plan in DA-866/2022 is not proposed to be altered.	Unaltered
Fencing	<p>Primary Frontage The maximum height of a front fence is 1.2m.</p> <p>The front fence must be 30% transparent.</p>	<p>No front fencing proposed on the primary frontage.</p> <p>No front fencing proposed on the primary frontage.</p>	<p>N/A</p> <p>N/A</p>

	Front fences shall be constructed in masonry, timber, metal pickets and/or vegetation and must be compatible with the proposed design of the dwelling.	No front fencing proposed on the primary frontage	N/A
	Secondary Frontage For side walls or fences along the secondary frontage, a maximum height of 1.2m is required for the first 9m measured from the front boundary, the remaining fence / wall may then be raised to a maximum of 1.8m	No Secondary frontage	N/A
Car Parking and Access	Two car parking spaces shall be provided for each dwelling. At least one car parking space must be provided behind the front setback. A car parking space is to have a minimum dimension of 2.5 x 5.5m. A single garage is to be a minimum of 3 m wide internally and unobstructed.	Two spaces provided within the double garage. Additional 2 spaces could be provided on the driveway Car parking space is provided in the existing garage which is behind the front setback. The car spaces provided meet the 2.5m x 5.5m requirement. N/A – Single garage is not proposed.	Unaltered
Overshadowing	Adjoining properties must receive a minimum of three hours of sunlight between 9am and 5pm on 21 June to at least: - One living room, rumpus room or the like. - 50% of the private open space.	Shadows do not impact upon overshadowing of adjoining properties. The adjoining properties will receive the solar access required.	Unaltered
Privacy	<u>Habitable room</u> windows facing side boundaries are to be offset by at least <u>1m</u> from any <u>habitable room</u> windows in an adjoining dwelling	Windows proposed are do not directly facing any adjoining dwelling windows. This was confirmed upon site visit.	Complies

	<p><u>Habitable room</u> windows on the first floor that face the <u>side boundary</u> are to avoid unreasonable overlooking by having a minimum <u>sill height</u> of 1.5m, except where they face a street or public open space.</p> <p><u>Building</u> siting, window location, balconies and fencing must consider the importance of the privacy of on site and adjoining buildings and private open spaces.</p> <p>Landscaping should be used where possible to increase visual privacy between dwellings and adjoining properties.</p>	<p>New unauthorised windows on the first floor are proposed with obscure glazing or screening to a sill height of 1.5m</p> <p><u>Building</u> siting, window location and balconies have been appropriately located which shows consideration for the importance of privacy between adjoining dwellings and private open spaces.</p> <p>The landscape plan remains unaltered.</p>	<p>Complies</p> <p>Complies</p> <p>Unaltered</p>
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Ref No.: DA-866/2022
Contact: Paul Rokobauer
Ph: 1300 522 528
Date: 19 September 2022

MR M RAJAN
50 ROSEWOOD AVE
PRESTONS NSW 2170

DEVELOPMENT APPLICATION
Notice of Determination
ENVIRONMENTAL PLANNING AND ASSESSMENT ACT 1979

Being the applicant in respect of Development Application No. DA-866/2022 and pursuant to Sections 4.16, 4.17 & 4.18 of the Act, Notice is hereby given of the determination by Liverpool Council as Consent Authority of the above described Development Application relating to:

APPLICANT: MR M RAJAN

LAND: 50 ROSEWOOD AVENUE, PRESTONS NSW 2170
LOT 102 DP 1007447

PROPOSED DEVELOPMENT: Alterations And Additions To An Existing Dwelling.

DETERMINATION: Approved

CONSENT TO OPERATE FROM: 19 September 2022

CONSENT TO LAPSE ON: 19 September 2027 (Unless physically commenced)

ATTACHMENTS: CONDITIONS OF APPROVAL

Before commencing the development please read the Development Consent carefully and make sure that you understand all the conditions that have been imposed. Please contact Liverpool City Council regarding any enquiry you may have in respect of the following conditions.

CONDITIONS

The following conditions have been imposed to achieve the objectives of the relevant planning instruments and policies.



Customer Service Centre Ground floor, 33 Moore Street, Liverpool NSW 2170 **DX** 5030 Liverpool
All correspondence to Locked Bag 7064 Liverpool BC NSW 1871 **Call Centre** 1300 36 2170
Fax 9821 9333 **Email** lcc@liverpool.nsw.gov.au
Web www.liverpool.nsw.gov.au **NRS** 13 36 77 **ABN** 84 181 182 471

THE DEVELOPMENT

Approved Plans

Development the subject of this determination notice must be carried out strictly in accordance with the following plans/reports marked as follows:

Approved Plans/Documents

1. **Architectural Plans Prepared by Complex Designs – Reference No. 22-075 - Revision B – Dated June 2022:**
 - a. **Site plan – Sheet 1 of 17**
 - b. **Demolition plan – Sheet 2 of 17**
 - c. **Existing ground floor plan – Sheet 3 of 17**
 - d. **Existing first floor plan – Sheet 4 of 17**
 - e. **Ground floor plan – Sheet 5 of 17**
 - f. **First floor plan – Sheet 6 of 17**
 - g. **Elevation and Section plan – Sheet 8 of 17**
 - h. **Elevation plan – Sheet 9 of 17**
 - i. **Stormwater plan – Sheet 14 of 17**
 - j. **Landscape plan – Sheet 13 of 17**
 - k. **Soil and Water Management plan – Sheet 11 of 17**
 - l. **Window Schedule – Sheet 15 of 17**
 - m. **Schedule of colours and finishes – Sheet 17 of 17**
2. **BASIX Certificate No. A455769 – Dated 29 May 2022**
3. **Statement of Environmental Effects prepared by Complex Designs – Dated 18 May 2022**
4. **Waste Management Plan prepared by Complex Designs dated June 2022.**

Except where modified by the undermentioned conditions.

A PRIOR TO ISSUE OF A CONSTRUCTION CERTIFICATE

The following conditions are to be complied with or addressed prior to issue of a Construction Certificate by the Principal Certifier (PC):

Fee Payments

- A.1** Unless otherwise prescribed by this consent, all relevant fees or charges must be paid. Where Council does not collect these payments, copies of receipts must be provided. For the calculation of payments such as Long Service Levy, the payment must be based on the value specified with the Development Application/Construction Certificate.

The following fees are applicable and payable:

- a) **Damage Inspection Fee – relevant where the cost of building work is \$20,000 or more, or a swimming pool is to be excavated by machinery.**

- b) Fee associated with Application for Permit to Carry Out Work Within a Road, Park and Drainage Reserve.
- c) Long Service Levy – based on 0.35% of the cost of building work where the costing of the CC is \$25,000 or more.

These fees are reviewed annually and will be calculated accordingly.

- A.2** All fees associated with a road opening permit required for the connection, extension or amplification of any services within Council's road reserve must be paid to Council and receipts provided to the PC. A separate form must be submitted in conjunction with payment of the fees. The fees include the standard road opening permit fee and any restoration fees that may be required as a result of the works.

Site Development Work

- A.3** Site development work in the form of excavation, underpinning or shoring works must not take place, until such time as a CC has been issued.
- A.4** All aspects of construction shall comply with the applicable Performance Requirements of the BCA. Compliance with the Performance Requirements can only be achieved by:
- a) Complying with the Deemed to Satisfy Provisions; or
 - b) Formulating an Alternative Solution, which complies with the Performance Requirements or is shown to be at least equivalent to the Deemed to Satisfy Provision, or a combination of (a) and (b).

Notification

- A.5** In the event that Council is not the principal certifier, the principal certifier must advise Council, in writing of:
- a) The name and contractor licence number of the licensee who has contracted to do or intends to do the work, or
 - b) The name and permit of the owner-builder who intends to do the work.

If these arrangements are changed, or if a contact is entered into for the work to be done by a different licensee, Council must be immediately informed.

Council Infrastructure

- A.6** The full cost associated with the relocation or rectification of any council infrastructure as a result of the development shall be borne by the applicant.

B PRIOR TO WORKS COMMENCING

The following conditions are to be complied with or addressed prior to works commencing on the subject site/s:

Construction Certificate Required

- B.1** Building work shall not commence prior to the issue of a Construction Certificate by Council or an accredited certifier. Building work means any physical activity involved in the erection of a building and includes but is not limited to, the placement of any site shed/s or builders' facilities, site grading, retaining walls, excavation, cutting trenches, installing formwork and steel reinforcement or, placing of plumbing lines.

Residential Building Work

- B.2** Building work that involves residential building work (within the meaning of the *Home*

Building Act 1989), must not be commenced until such time as a contract of insurance is in force in accordance with Part 6 of that Act.

- B.3** Building work that involves residential building work (within the meaning of the *Home Building Act 1989*) must not be commenced unless the principal certifier for the development to which the work relates (not being the council) has given the council written notice of the following information:
- a) In the case of work for which a principal contractor is required to be appointed:
 - i. The name and licence number of the principal contractor; and
 - i. The name of the insurer by which the work is insured under Part 6 of that Act,
 - b) In the case of work to be done by an owner-builder:
 - i. the name of the owner-builder, and
 - ii. if the owner-builder is required to hold an owner-builder permit under that Act, the number of the owner-builder permit,

Note: A certificate supporting to be issued by an approved insurer under Part 6 of the Home Building Act 1989 that states that a person is the holder of an insurance policy issued for the purposes of that Part is, for the purposes of this condition, sufficient evidence that the person has complied with the requirements of that Part.

- B.4** If arrangements for doing the residential building work are changed while the work is in progress so that the information notified becomes out of date, further work must not be carried out unless the council has been notified.

Survey Requirements

- B.5** Prior to the commencement of building works the proposed building works shall be pegged out by a registered surveyor. For reference during construction, a benchmark shall be identified at the site, preferably on the kerb and gutter where it exists. The peg out report prepared by the registered surveyor shall be forwarded to the Principal Certifier prior to the first inspection.

Note: In the event that a kerb and gutter does not exist, a permanent structure shall be used as a benchmark such as a manhole, power/light pole or the top of an existing retaining wall.

Facilities

- B.6** Toilet facilities must be available or provided at the work site and must be maintained until the works are completed at a ratio of one toilet plus one additional toilet for every 20 persons employed at the site.

Each toilet must:

- a) be a standard flushing toilet connected to a public sewer, or
- b) have an on-site effluent disposal system approved under the *Local Government Act 1993*, or
- c) be a temporary chemical closet approved under the *Local Government Act 1993*.

Construction Requirements

- B.7** The applicant/ builder shall be responsible to report to the Council any damage to Council's footpath and road carriageway as a consequence of demolition or excavation or building activities or delivery/ departure of materials associated with this site. The damage shall be reported to Council as soon as the damage becomes apparent to the builder/ site manager. Arrangements to the satisfaction of Council are to be made for making safe by temporary

repairs to the public way until permanent restoration and repair can be organised with Council.

Site Facilities

- B.8** Adequate refuse disposal methods and builders storage facilities shall be installed on the site. Builders' wastes, materials or sheds are not to be placed on any property other than that which this approval relates to.

Driveway Crossing Application

- B.9** In accordance with S138 *Roads Act* an application/s, including payment of fees shall be lodged with Liverpool City Council, as the Roads Authority for any works required in a public road. These works may include but are not limited to the following:
- Vehicular crossings (including kerb reinstatement of redundant vehicular crossings)
 - Road opening for utilities and stormwater (including stormwater connection to Council infrastructure)
 - Road occupancy or road closures
- B.10** All works shall be carried out in accordance with the Roads Act approval, the development consent including the stamped approved plans, and Liverpool City Council's specifications.

Erosion and Sediment Control

- B.11** Prior to commencement of works sediment and erosion control measures shall be installed in accordance with the approved Construction Certificate and to ensure compliance with the Protection of the *Environment Operations Act 1997* and Landcom's publication "Managing Urban Stormwater – Soils and Construction (2004)" – also known as "The Blue Book".
- B.12** The erosion and sediment control measures shall remain in place and be maintained until all disturbed areas have been rehabilitated and stabilised.

Note: Approvals may also be required from the Roads and Maritime Service (RMS) for classified roads.

Site Notice Board

- B.13** A sign must be erected in a prominent position on the premises on which work is to be carried out. The sign is to be maintained during work, and removed at the completion of work. The sign must state:
- The name, address and telephone number of the principal certifier for the work; and
 - The name of the principal contractor (if any) for any building work and a telephone number on which that person may be contacted outside working hours; and
 - Unauthorised entry to the premises is prohibited.

Notification of Service Providers

- B.14** The approved development must be approved through the 'Sydney Water Tap in' service to determine whether the development will affect any Sydney Water wastewater and water mains, stormwater drains and/or easements, and if any requirements need to be met. A receipt must be provided to Council.

Please refer to the website www.sydneywater.com.au for more information.

C DURING CONSTRUCTION

The following conditions are to be complied with or addressed during construction:

Building Work

- C.1 In the case of a class 1 or 10 building, critical stage inspections must be carried out by the appropriate person in accordance with the EP&A Regulation.

Salinity

- C.2 The development shall be carried out in accordance with Part 1, Section 11 'Salinity Risk' of the Liverpool Development Control Plan 2008.

Hours of Construction Work and Deliveries

- C.3 Construction work/civil work/demolition work, including the delivery of materials, is only permitted on the site between the hours of 7:00am to 6:00pm Monday to Friday and 8:00am to 1:00pm Saturday. No work will be permitted on Sundays or Public Holidays, unless otherwise approved by Council.

General Site Works

- C.4 Alterations to the natural surface contours must not impede or divert natural surface water runoff, so as to cause a nuisance to adjoining property owners.
- C.5 All roofwater is to be connected to an approved stormwater system.
- C.6 Stormwater pipeline connections to the street kerb shall be constructed in the following manner:
- the kerb shall be sawcut on both sides of the proposed pipe outlet.
 - an approved rectangular kerb adaptor shall be installed with the base matching the invert level of the gutter.
 - The kerb shall be reinstated to its original profile using a cement mortar containing an epoxy additive for adherence to the existing kerb.

Building Code of Australia Compliance

- C.7 All building work shall be carried out in accordance with the provisions of the Building Code of Australia.

Waste Management Plan

- C.8 The Waste Management Plan submitted to and approved by Council must be adhered to at all times throughout all stages of the development. Supporting documentation (receipts/dockets) of waste/recycling/disposal methods carried out, is to be kept and must be produced upon the request of Council or any other authorised officer.

Note: Any non-compliance with this requirement will result in penalties being issued.

Air Conditioning

- C.9 The plant associated with any air conditioning system shall not cause any offensive noise as defined under the *Protection of the Environment Operations Act 1997*.

- C.10** The windows of all first floor bathrooms, W.C. and ensuites shall be fitted with translucent obscure glazing to the satisfaction of the Principal Certifier.

Air Quality

- C.11** Where operations involve excavation, filling or grading of land, or removal of vegetation, including ground cover, dust is to be suppressed by regular watering until such time as the soil is stabilised to prevent airborne dust transport. Where wind velocity exceeds five knots the Principal Certifier may direct that such work is not to proceed.
- C.12** All vehicles involved in the delivery, demolition or construction process departing from the property shall have their loads fully covered before entering the public roadway.

Erosion Control

- C.13** Erosion and sediment control measures shall remain in place and be maintained until all disturbed areas have been rehabilitated and stabilised.

Water Quality

- C.14** All topsoil, sand, aggregate, spoil or any other material shall be stored clear of any drainage line, easement, water body, stormwater drain, footpath, kerb or road surface and there shall be measures in place in accordance with the approved erosion and sediment control plan.

Pollution Control

- C.15** Building operations such as brick cutting, mixing mortar and the washing of tools, paint brushes, form-work, concrete trucks and the like shall not be performed on the public footway or any other locations which may lead to the discharge of materials into Council's stormwater drainage system.
- C.16** The developer is to maintain all adjoining public roads to the site in a clean and tidy state, free of excavated "spoil" material.

Contamination

- C.17** The development, including all civil works and demolition, must comply with the requirements of the *Contaminated Land Management Act, 1997*, *State Environmental Planning Policy No. 55 – Remediation of Land*, and *Managing Land Contamination – Planning Guidelines* (Planning NSW/EPA 1998).

D PRIOR TO ISSUE OF OCCUPATION CERTIFICATE (OC)

The following conditions are to be complied with or addressed prior to issue of an Occupation Certificate by the Principal Certifier (PC):

Certificates

- D.1** The premises must not be occupied until an OC is issued by the PC. Copies of all documents relied upon for the issue of the occupation certificate must be attached to the OC and registered with Council.
- D.2** All required documentary evidence for the critical stage inspections carried out prior, during and at the completion of construction, must be submitted to Council together with the required registration fee payment.

D.3 The Guest Room shall not be used or occupied as a separate residence or domicile.

Display of Street Numbers

D.4 Street numbers must be prominently displayed at the front of the development in a contrasting colour to the building materials and at the front of each individual unit to comply with the *Local Government Act 1993*, Section 124(8). The number should be a minimum height of 120mm and be visible at night.

BASIX

D.5 Supporting documentation issued by a suitable qualified person who has installed or carried out the works associated with the BASIX commitments shall be submitted to Council.

E ADVISORY

- a) If you are dissatisfied with this notice of determination or the conditions contained within this notice of determination, Section 8.2 of the *Environmental Planning and Assessment Act 1979* gives you the right to request a review of the determination within 6 months after the date on which the application is taken to have been determined.
- b) If you are dissatisfied with this decision, Sections 8.7, 8.9 & 8.10 of the *Environmental Planning and Assessment Act 1979* gives you the right to appeal to the Land and Environment Court within 6 months after the date on which the application is taken to have been determined.
- c) In accordance with Section 4.53 of the *Environmental Planning and Assessment Act 1979*, unless otherwise stated by a condition of this consent, this consent will lapse unless the development is commenced within five (5) years of the date of this notice.
- d) The Planning Assessment Commission **has not** conducted a review of the application.
- e) These conditions are imposed to control development, having regard to s4.15 of the *Environmental Planning and Assessment Act 1979*.
- f) "DIAL BEFORE YOU DIG" DIAL 1100

Underground assets may exist in the area that is subject to your application. In the interest of health and safety and in order to protect damage to third party assets please contact Dial before you dig at www.1100.com.au or telephone 1100 before excavating or erecting structures (This is the law in NSW). If alterations are required to the configuration, size, form or design of the development upon contact the Dial before You Dig service, an amendment to the development consent (or a new development application) may be necessary. Individuals owe asset owners a duty of care that must be observed when working in the vicinity of plant or assets. It is the individual's responsibility to anticipate and request the nominal location of plant or assets on the relevant property via contacting the Dial before you dig service in advance of any construction or planning activities.

g) TELECOMMUNICATIONS ACT 1997 (COMMONWEALTH)

Telstra (and its authorised contractors) are the only companies that are permitted to conduct works on Telstra's network and assets. Any person interfering with a facility or installation owned by Telstra is committing an offence under the *Criminal Code Act 1995* (Cth) and is liable for prosecution.

Furthermore, damage to Telstra's infrastructure may result in interruption to the provision of essential services and significant costs. If you are aware of any works or proposed works which may affect or impact on Telstra's assets in any way, you are required to contact: Telstra's Network Integrity Team on Phone Number 1800 810 443.

- h) Letter boxes must be provided in accordance with the requirements of Australia Post. In this regard, the developer is required to obtain approval from Australia Post for address

numbering, and letter box positioning and dimensions.

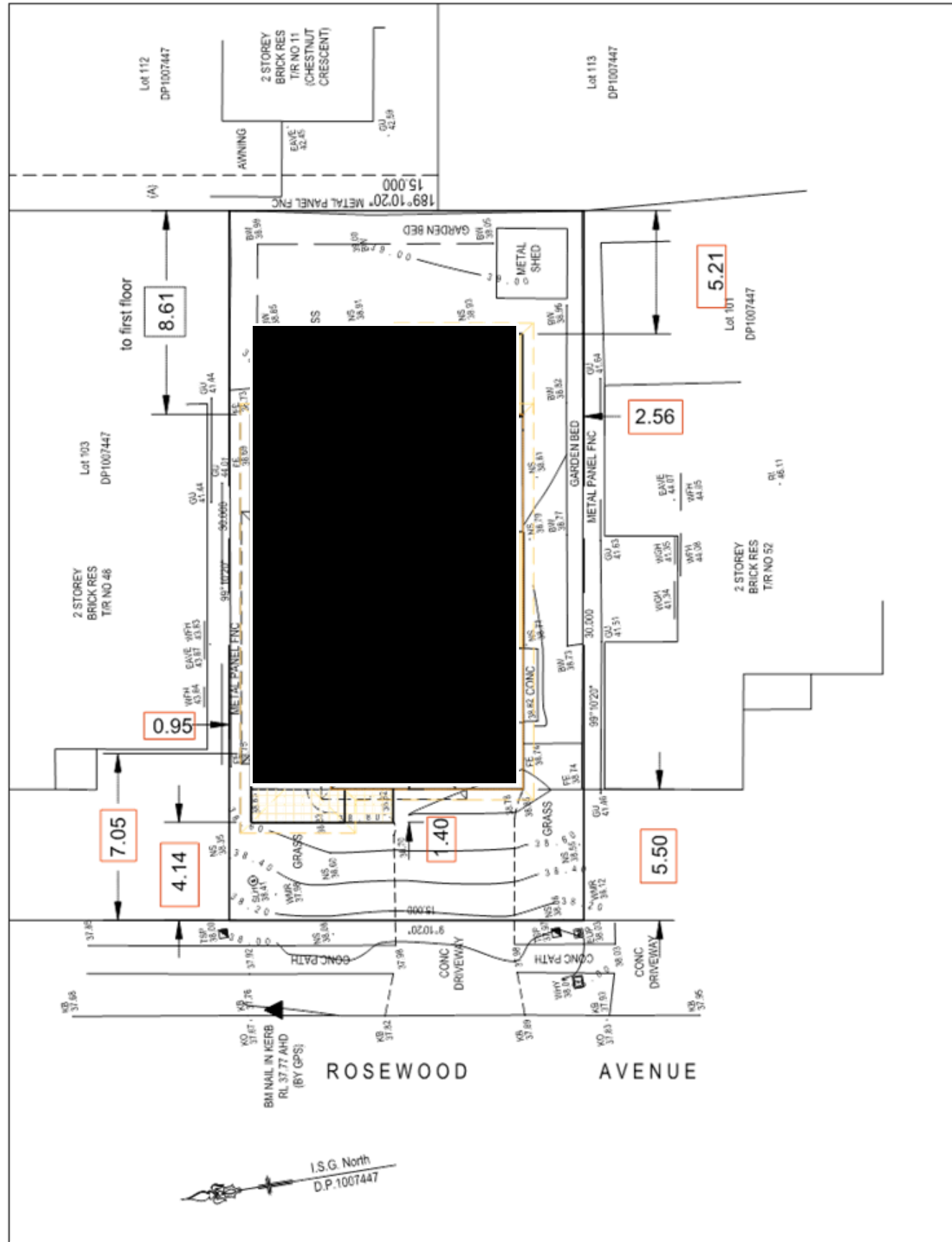
- i) You are advised that the placement of a concrete path around your home may render your home vulnerable to termite attack. To minimise the possibility of any damage, ensure that a minimum of 75mm of exposed slab edge is provided above the level of the path.
- j) The Liverpool City Council Local Government area soils and ground water may be subject to varying levels of Salinity. Whilst Council may require applicants to obtain Salinity reports relating to some developments, no assessment may be made by Council in that regard. Soil and ground water salinity levels can change over time due to varying factors. It is recommended that all applicants make their own independent inquiries as to appropriate protection against the current and future potential effect of Salinity to ensure the ongoing structural integrity of any work undertaken. Liverpool City Council will not accept any liability for damage occurring to any construction of any type affected by soil and or ground water Salinity.
- k) The cost of any necessary adjustments to utility mains and services shall be borne by the applicant.
- l) Care shall be taken by the applicant and the applicant's agents to prevent any damage to adjoining properties. The applicant or the applicant's agents may be liable to pay compensation to any adjoining owner if, due to construction works, damage is caused to such an adjoining property.

Yours faithfully



Paul Rokobauer
Senior Building Surveyor

Robert Bennett
Coordinator Certification Unit



KEY

- EXTENSION - FOOTPRINT PLUS INTERNAL MODIFICATION AS SHOWN
- FIRST FLOOR OVER ALFRESCO
- NEW ROOF
- EXISTING ROOF

LIVERPOOL CITY COUNCIL
Endorsed document in relation to:

In accordance with the Environmental Planning and Assessment Act 1979

GENERAL NOTES:

1. THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL OTHER SPECIFICATIONS AND WITH SUCH OTHER WRITTEN INSTRUCTIONS THAT MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. ANY DISCREPANCIES IN THESE DOCUMENTS SHALL BE REFERRED TO THE OWNERT FOR A DECISION BEFORE PROCEEDING WITH THE WORK.
 2. THE BUILDER SHALL CHECK AND BE RESPONSIBLE FOR THE CORRECTNESS OF ALL DIMENSIONS AND ANY DISCREPANCY SHALL BE REPORTED IMMEDIATELY TO THE OWNER. DIMENSIONS SHALL NOT BE OBTAINED BY SCALING FROM THE DRAWINGS.
- THE CC PLANS, WORKMANSHIP AND MATERIAL SHALL COMPLY WITH BUILDING CODE OF AUSTRALIA, RELEVANT AUSTRALIAN STANDARDS, NSW TIMBER FRAMING MANUAL AND OTHER DETAILS BY PROFESSIONALS
WIND = REGION 'A' 46 m/s

The Proposed works shall comply with the following:

- Glazing, AS 1288 - 2006 and AS 2047 - 2014
- Timber Framing in accordance with AS 1784.2 - 2010
- Footings in accordance with AS 2870 - 2011
- Stormwater in accordance with AS 3500.3 - 2003
- Termite Management in accordance with AS 3660.1 - 2014
- Masonry CC PLANS in accordance with AS 3700 - 2011 & AS 4773.2 - 2010
- Waterproofing in accordance with AS 3740 - 2010
- Smoke Alarms in accordance with AS 3786 - 2014
- Concrete CC PLANS in accordance with AS 3600 - 2009
- Roof Tiling in accordance with Part 3.5.1 of the NCC 2015 Vol.2 and AS 2049 - 2002
- Sound Insulation in accordance with AS/NZS 1276 - 1999
- Balustrade to comply with Part 3.9.2 of the NCC 2015 Vol. 2
- Stair CC PLANS in accordance with Part 3.9.1 of the NCC 2015 Vol.
- Provide Window Protection in accordance with Part 3.9.2.5 of the NCC Vol. 2 Clause



COMPLEX DESIGN

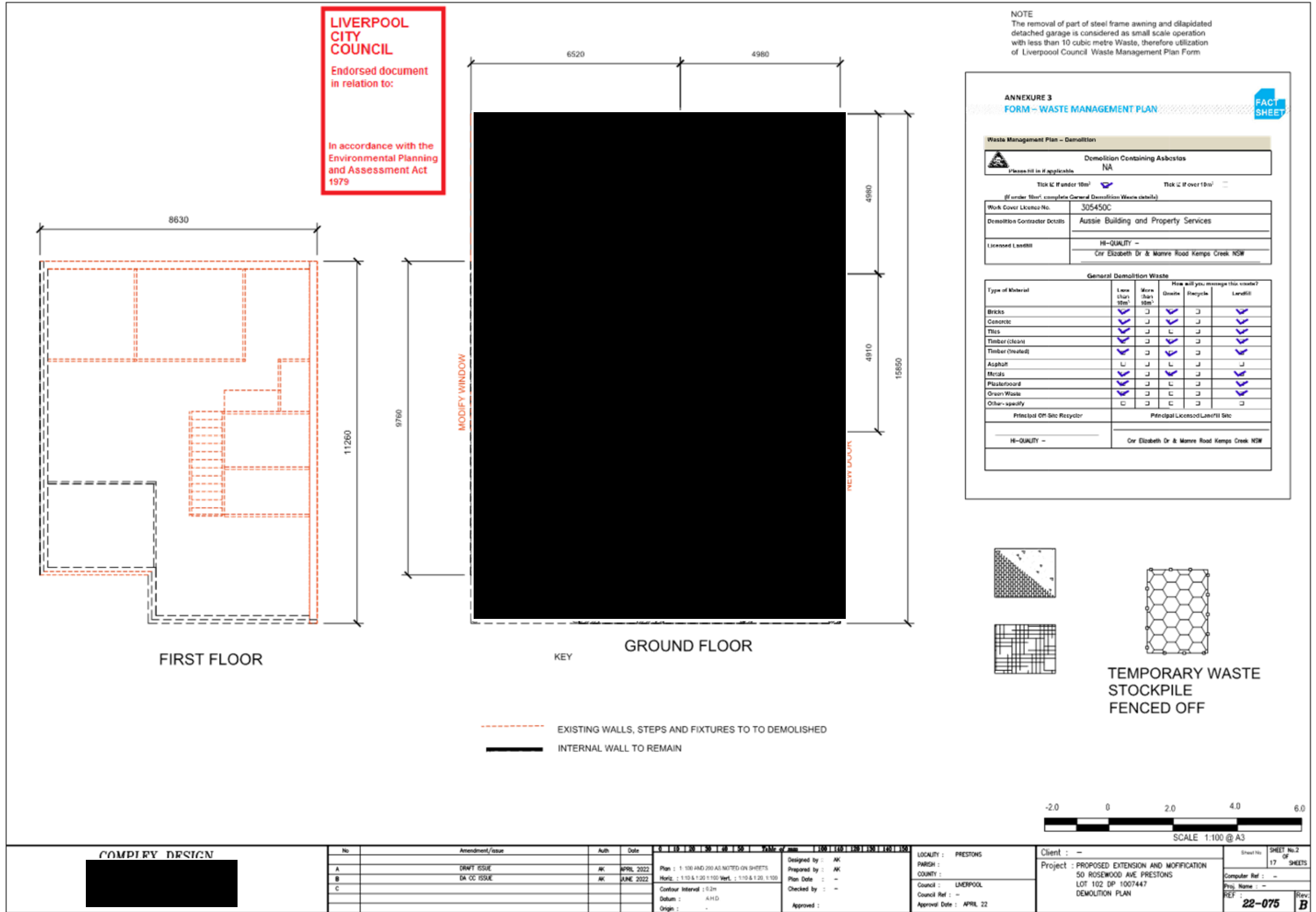


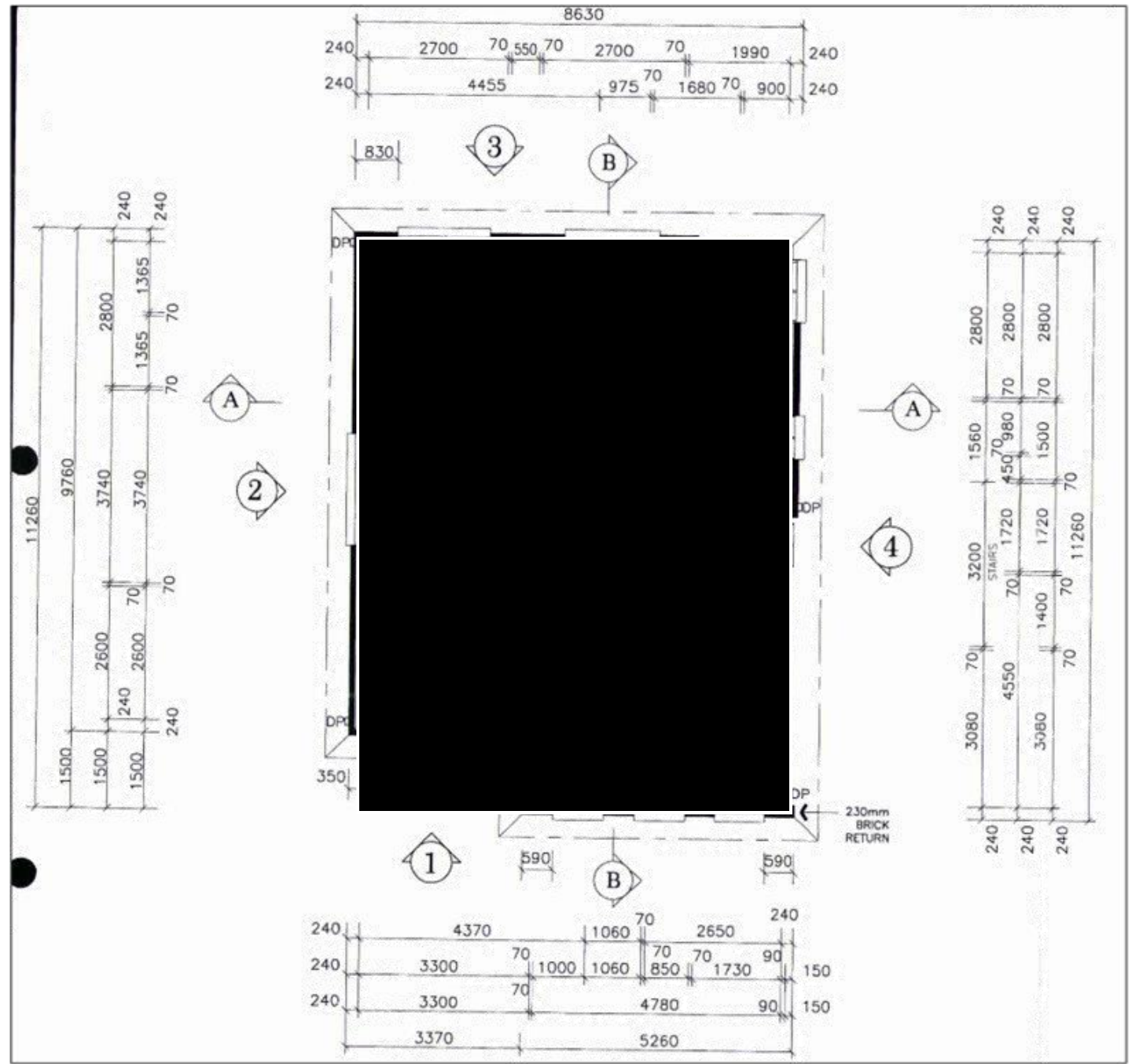
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A	DRAFT ISSUE	AK	APRIL 2022
B	DA CC ISSUE	AK	JUNE 2022
C			

Plan : 1:100 AND 200 AS NOTED ON SHEETS	Designed by : AK
Horiz. : 1:10 & 1:20 1:100 Vert. : 1:10 & 1:20 1:100	Prepared by : AK
Contour Interval : 0.2m	Plan Date : -
Datum : AHD	Checked by : -
Origin : -	Approved : -

LOCALITY : PRESTONS	Client : -
PARISH :	Project : PROPOSED EXTENSION AND MODIFICATION
COUNTY :	50 ROSEWOOD AVE PRESTONS
Council : LIVERPOOL	LOT 102 DP 1007447
Council Ref : -	REF : -
Approval Date : APRIL 22	SITE PLAN

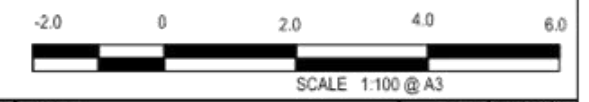
Sheet No. 17 OF 17 SHEETS	Computer Ref : -
Proj. Name : -	REF : 22-075
Rev: B	





LIVERPOOL CITY COUNCIL
Endorsed document in relation to:

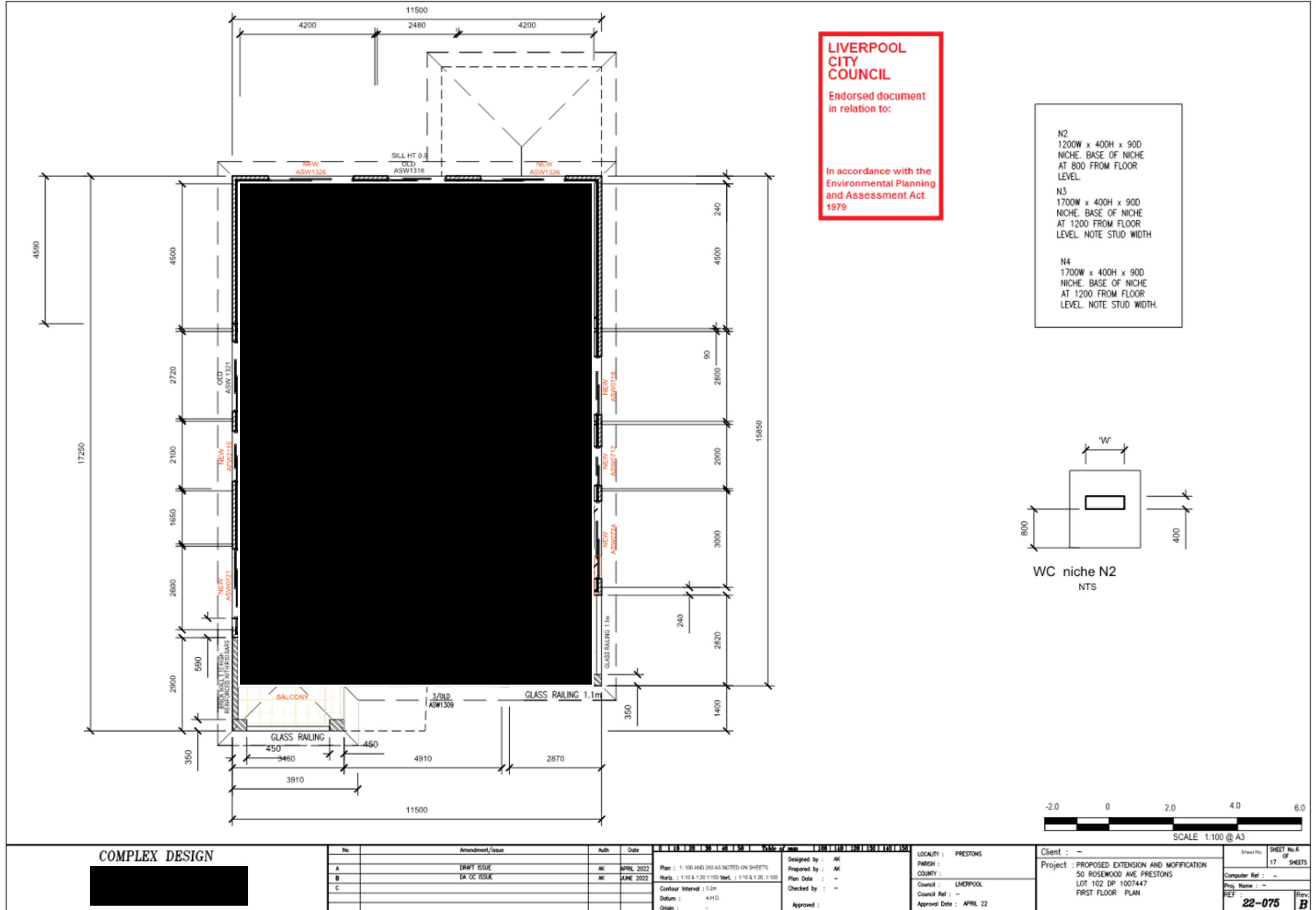
In accordance with the Environmental Planning and Assessment Act 1979

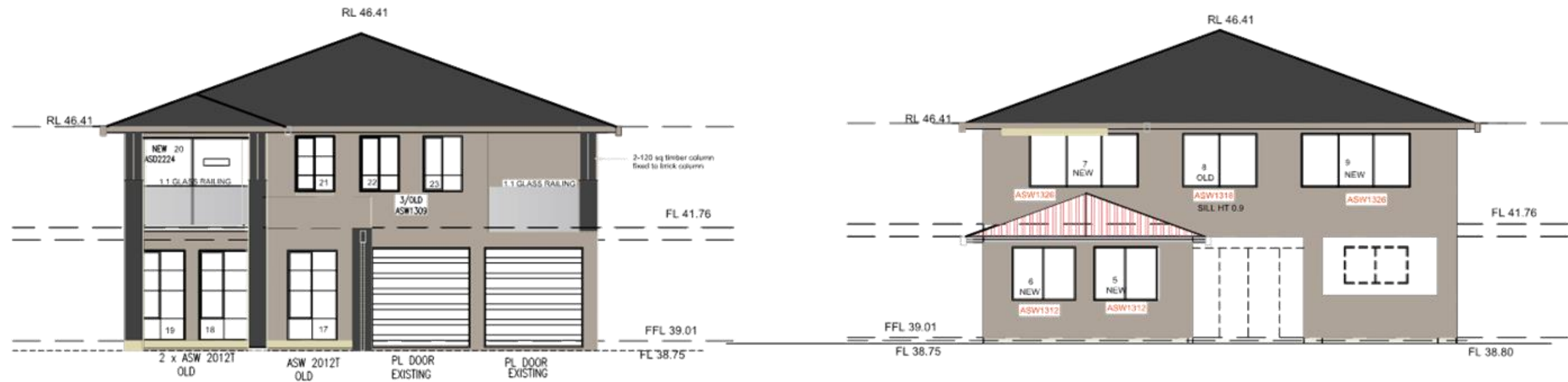


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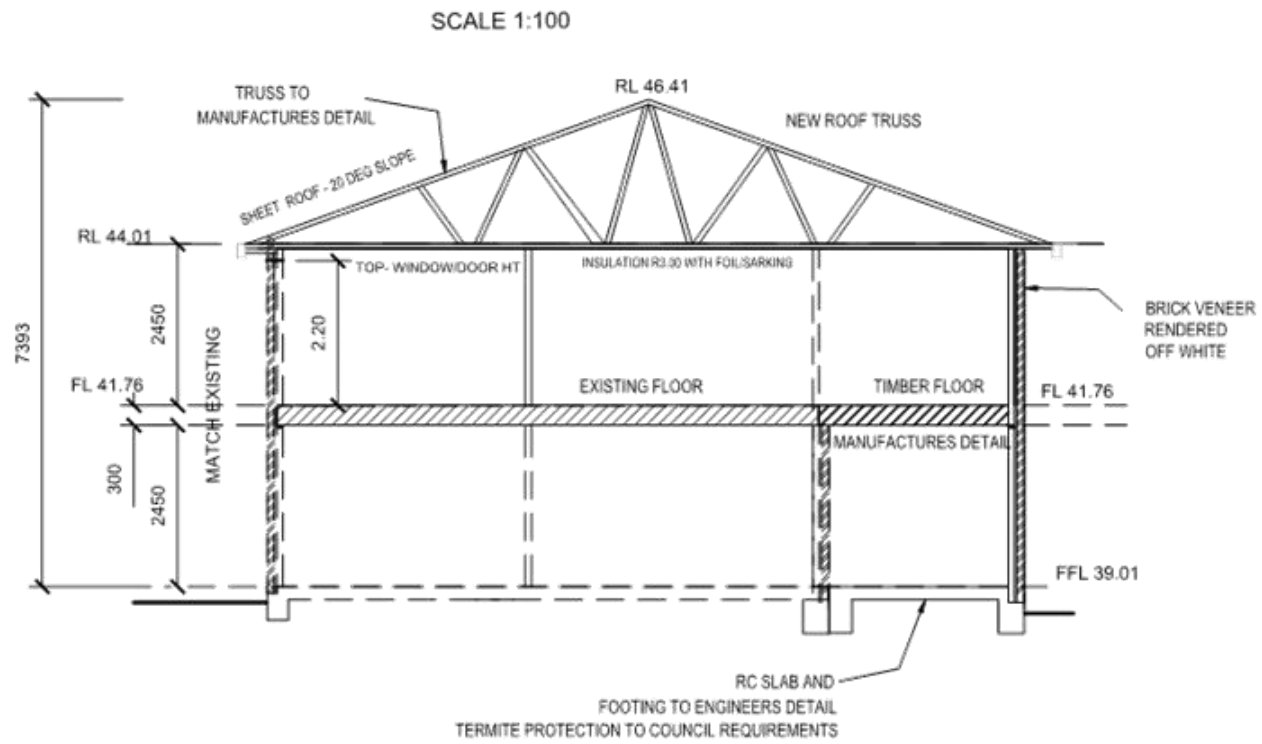
No	Amendment/Issue	Auth	Date	Scale	Units	Design	Project	Sheet
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B	DA CC ISSUE	AK	JUNE 2022	Horiz. : 1:10 & 1:20 1:100 Vert. : 1:10 & 1:20 1:100	mm	Prepared by : AK	Project : PROPOSED EXTENSION AND MODIFICATION 50 ROSEWOOD AVE PRESTONS LOT 102 DP 1007447 EXISTING FIRST FLOOR PLAN	Computer Ref : -
C				Contour Interval : 0.2m		Plan Date : -	Council : LIVERPOOL	Proj. Name : -
				Datum : AHD		Checked by : -	Council Ref : -	REF : 22-075
				Origin : -		Approved : -	Approval Date : APRIL 22	Rev: B





FRONT- WESTERN
SCALE 1:100

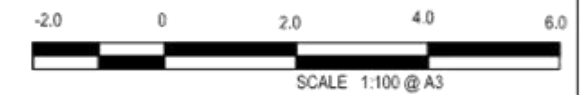
BACK- EASTERN
SCALE 1:100



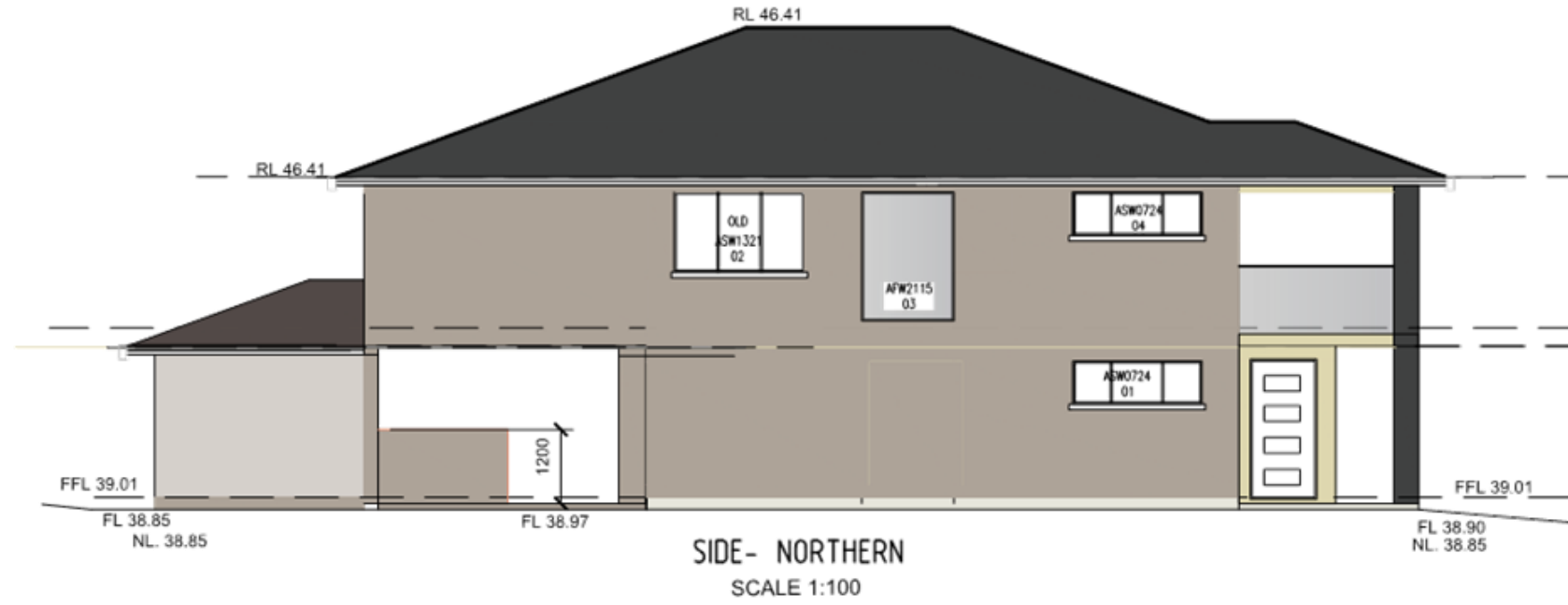
SECTION
SCALE 1:100

LIVERPOOL CITY COUNCIL
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COMPLEX DESIGN	No	Amendment/Issue	Auth	Date	0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150	Scale of mm	100 110 120 130 140 150	Locality : PRESTONS	Client : -	Sheet No. 17 OF SHEETS
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	B	DA CC ISSUE	AK	JUNE 2022	Horiz. : 1:10 & 1:20 1:100 Vert. : 1:10 & 1:20, 1:100	Prepared by : AK	100 110 120 130 140 150	County :	50 ROSEWOOD AVE PRESTONS	Proj. Name : -
	C				Contour Interval : 0.2m	Plan Date : -	100 110 120 130 140 150	Council : LIVERPOOL	LOT 102 DP 1007447	REF : 22-075
					Datum : A.H.D.	Checked by : -	Council Ref : -	PLAN ELEVATION AND SECTION	Rev: B	
					Origin : -	Approved :	Approval Date : APRIL 22			

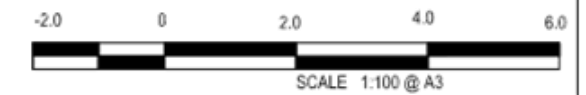


LIVERPOOL CITY COUNCIL
Endorsed document in relation to:

In accordance with the Environmental Planning and Assessment Act 1979



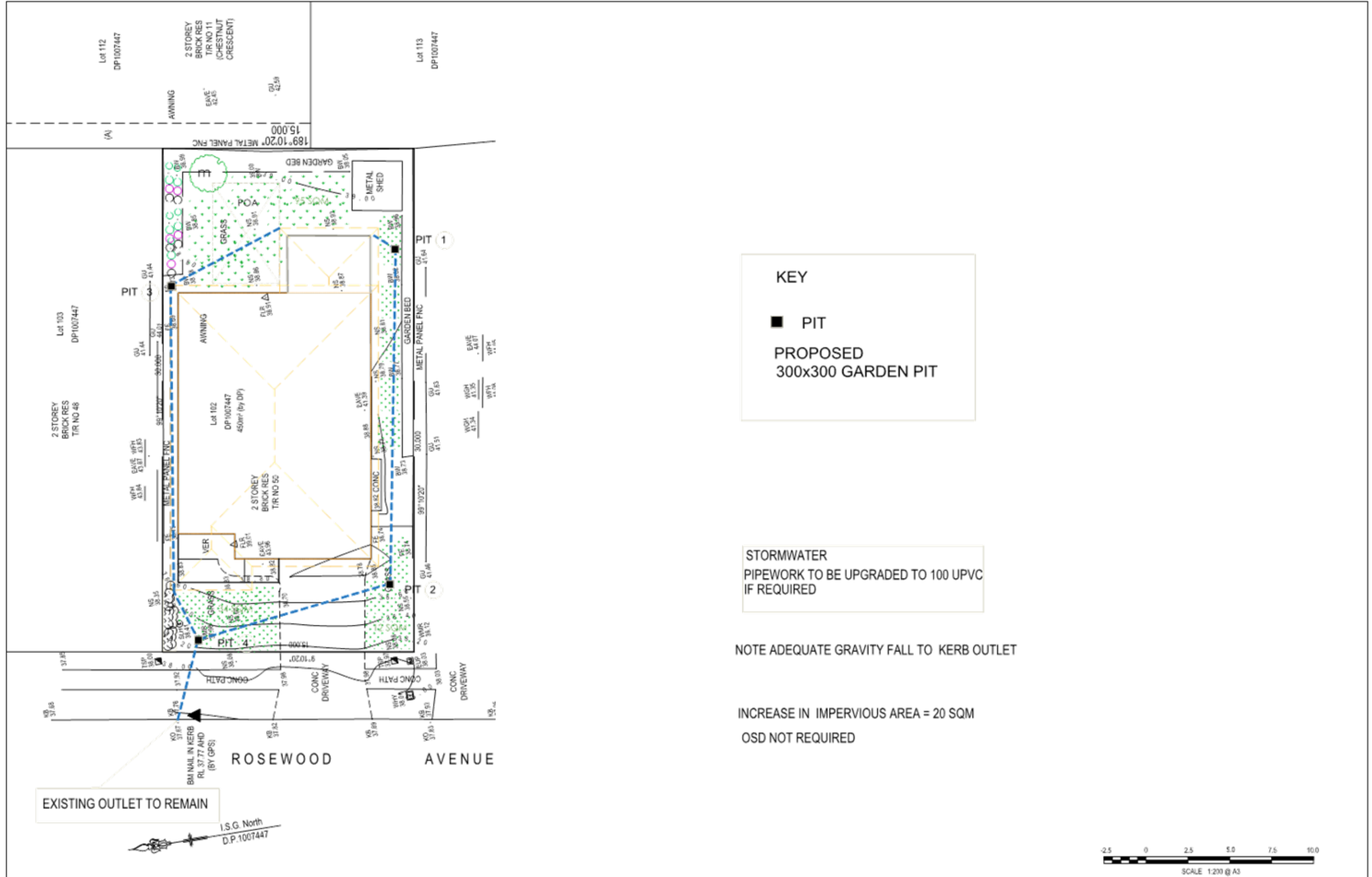
NL= EXISTING GROUND LEVEL



COMPLEX DESIGN



No	Amendment/Issue	Auth	Date	Scale	Author	Checked	Approved	Locality	Client	Sheet No	Rev
A	DRAFT ISSUE	AK	APRIL 2022	Plan : 1:100 AND 200 AS NOTED ON SHEETS	Designed by : AK	Locality : PRESTONS	Client : -	12			
B	DA CC ISSUE	AK	JUNE 2022	Horiz. : 1:10 & 1:20 1:100 Vert. : 1:10 & 1:20 1:100	Prepared by : AK	Parish : -	Project : PROPOSED EXTENSION AND MODIFICATION	9			
C				Contour Interval : 0.2m	Plan Date : -	County : -	50 ROSEWOOD AVE PRESTONS	12			
				Datum : AHD	Checked by : -	Council : LIVERPOOL	LOT 102 DP 1007447				
				Origin : -	Approved : -	Council Ref : -	PLAN ELEVATION				
						Approval Date : APRIL 22					



KEY

■ PIT

--- PROPOSED 300x300 GARDEN PIT

STORMWATER PIPEWORK TO BE UPGRADED TO 100 UPVC IF REQUIRED

NOTE ADEQUATE GRAVITY FALL TO KERB OUTLET

INCREASE IN IMPERVIOUS AREA = 20 SQM
OSD NOT REQUIRED



COMPLEX DESIGN



No	Amendment/Issue	Auth	Date
A	DRAFT ISSUE	AK	APRIL 2022
B	DA CC ISSUE	AK	JUNE 2022
C			

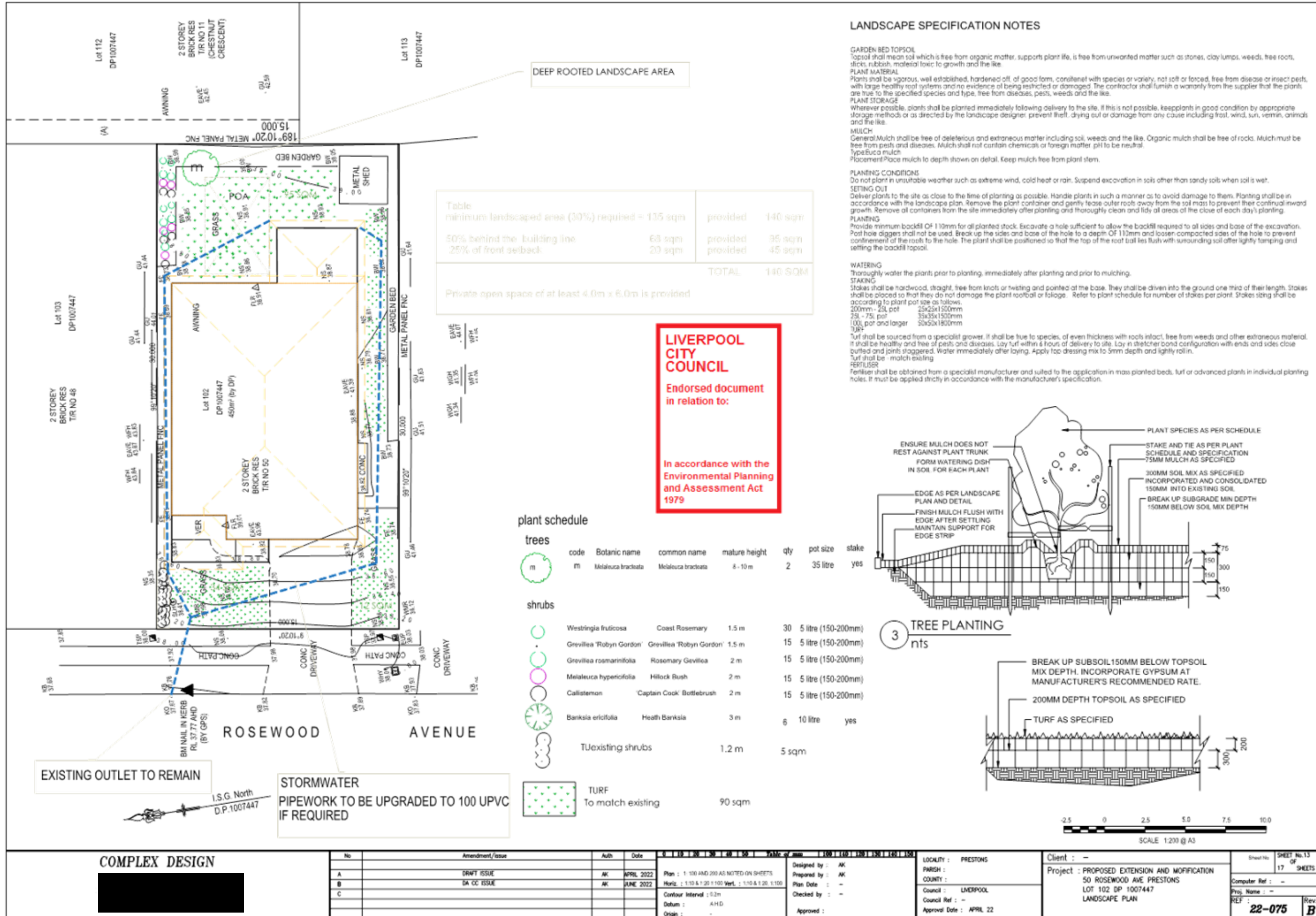
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 Horiz : 1:10 & 1:20 1:100 Vert. : 1:10 & 1:20 1:100
 Contour Interval : 0.2m
 Datum : AHD
 Origin : -

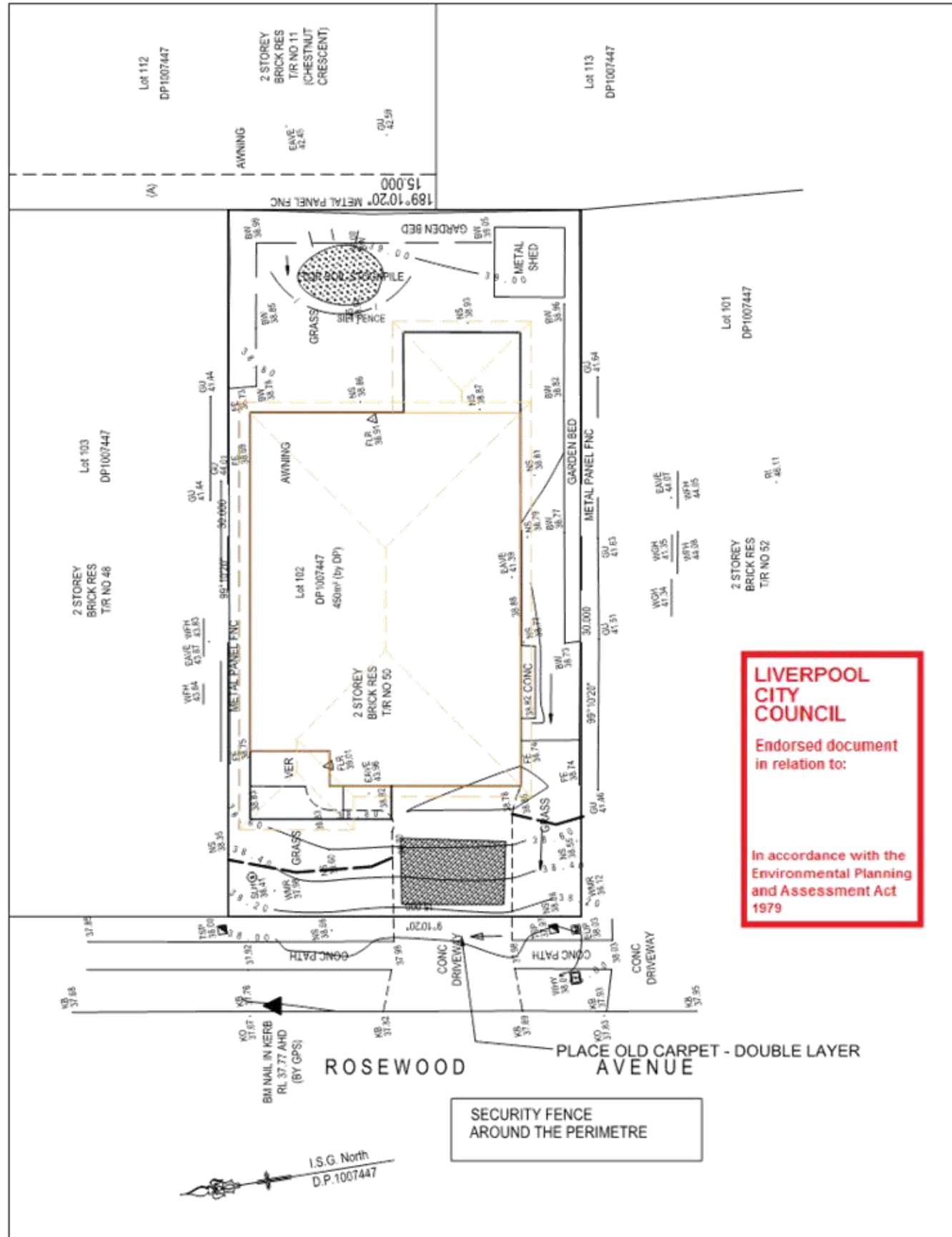
Designed by : AK
 Prepared by : AK
 Plan Date : -
 Checked by : -
 Approved :

LOCALITY : PRESTONS
 PARISH :
 COUNTY :
 Council : LINDRUP
 Council Ref : -
 Approval Date : APRIL 22

Client : -
 Project : PROPOSED EXTENSION AND MODIFICATION
 50 ROSEWOOD AVE PRESTONS
 LOT 102 DP 1007447
 STORMWATER PLAN

Sheet No	SHEET No.14
	OF 17 SHEETS
Computer Ref	-
Proj. Name	-
REF	22-075
Rev	B

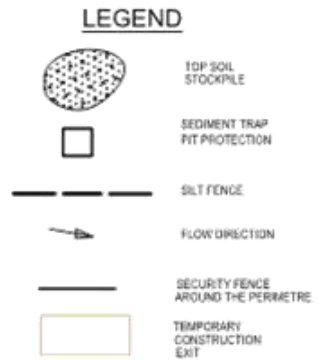




LIVERPOOL CITY COUNCIL
 Endorsed document
 in relation to:

 In accordance with the
 Environmental Planning
 and Assessment Act
 1979

SECURITY FENCE
AROUND THE PERIMETRE



SILT FENCE TO BE PROVIDED AT THE DOWNSTREAM OF THE FILLED/DISTURBED AREAS

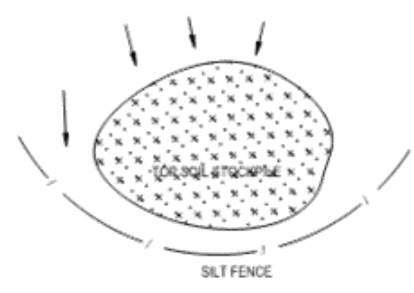
SEDIMENT & EROSION CONTROL

GENERAL NOTES:

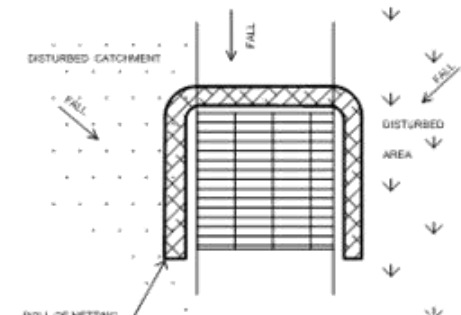
THE CONTRACTOR SHALL IMPLEMENT ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO DISTURBANCE OF THE RELATED CATCHMENT AREA AND TO THE STANDARDS OF THE N.S.W DEPARTMENT OF HOUSING "SOIL AND WATER MANAGEMENT FOR URBAN DEVELOPMENT", JANUARY '98. TOPSOIL SHALL BE STRIPPED AND STOCKPILED OUTSIDE HAZARDOUS AREAS SUCH AS DRAINAGE LINES. THIS TOPSOIL IS TO BE RESPREAD LATER ON AREAS TO BE REVEGETATED AND STABILISED ONLY. (ie: ALL FOOTPATHS, BATTERS, SITE REGRADING AREAS, DRAINAGE RESERVES AND CHANNELS.) TOPSOIL SHALL NOT BE RESPREAD ON ANY OTHER AREAS UNLESS SPECIFICALLY INSTRUCTED BY THE SUPERINTENDENT. IF THEY ARE TO REMAIN FOR LONGER THAN ONE MONTH STOCKPILES SHALL BE PROTECTED FROM EROSION BY COVERING THEM WITH A MULCH AND HYDROSEEDING AND, IF NECESSARY, BY LOCATING BANKS OR DRAINS UPSLOPE TO DIVERT THE RUNOFF AROUND THEM. IN SOME CIRCUMSTANCES IT MAY BE NECESSARY TO LADEN RUNOFF.

THE CONTRACTOR SHALL REGULARLY MAINTAIN ALL SEDIMENT AND EROSION CONTROL DEVICES AND REMOVE ACCUMULATED SILT FROM SUCH DEVICES BEFORE NO MORE THAN 60% OF THEIR CAPACITY IS LOST. ALL THE SILT REMOVED SHALL BE DISPOSED OF AS DIRECTED BY THE SUPERINTENDENT. NO SILT IS TO BE PLACED OUTSIDE THE LIMIT OF WORKS. THE PERIOD FOR MAINTAINING THESE DEVICES SHALL BE AT LEAST UNTIL ALL DISTURBED AREAS ARE REVEGETATED AND FURTHER AS MAY BE DIRECTED BY THE SUPERINTENDENT OR COUNCIL.

VEHICULAR TRAFFIC SHALL BE CONTROLLED DURING CONSTRUCTION CONFINING ACCESS WHERE POSSIBLE TO PROPOSED OR EXISTING ROAD ALIGNMENTS.



TOP SOIL STOCKPILE



PLAN OF SURFACE INLET SEDIMENT TRAP



COMPLEX DESIGN

No	Amendment/Issue	Auth	Date
A	DRAFT ISSUE	AK	APRIL 2022
B	DA CC ISSUE	AK	JUNE 2022
C			

Plan : 1:100 AND 200 AS NOTED ON SHEETS
 Horiz : 1:10 & 1:20 1:100 Vert. : 1:10 & 1:20 1:100
 Contour Interval : 0.2m
 Datum : A.H.D.
 Origin : -

Designed by : AK
 Prepared by : AK
 Plan Date : -
 Checked by : -
 Approved :

LOCALITY : PRESTONS
 PARISH :
 COUNTY :
 Council : LIVERPOOL
 Council Ref : -
 Approval Date : APRIL 22

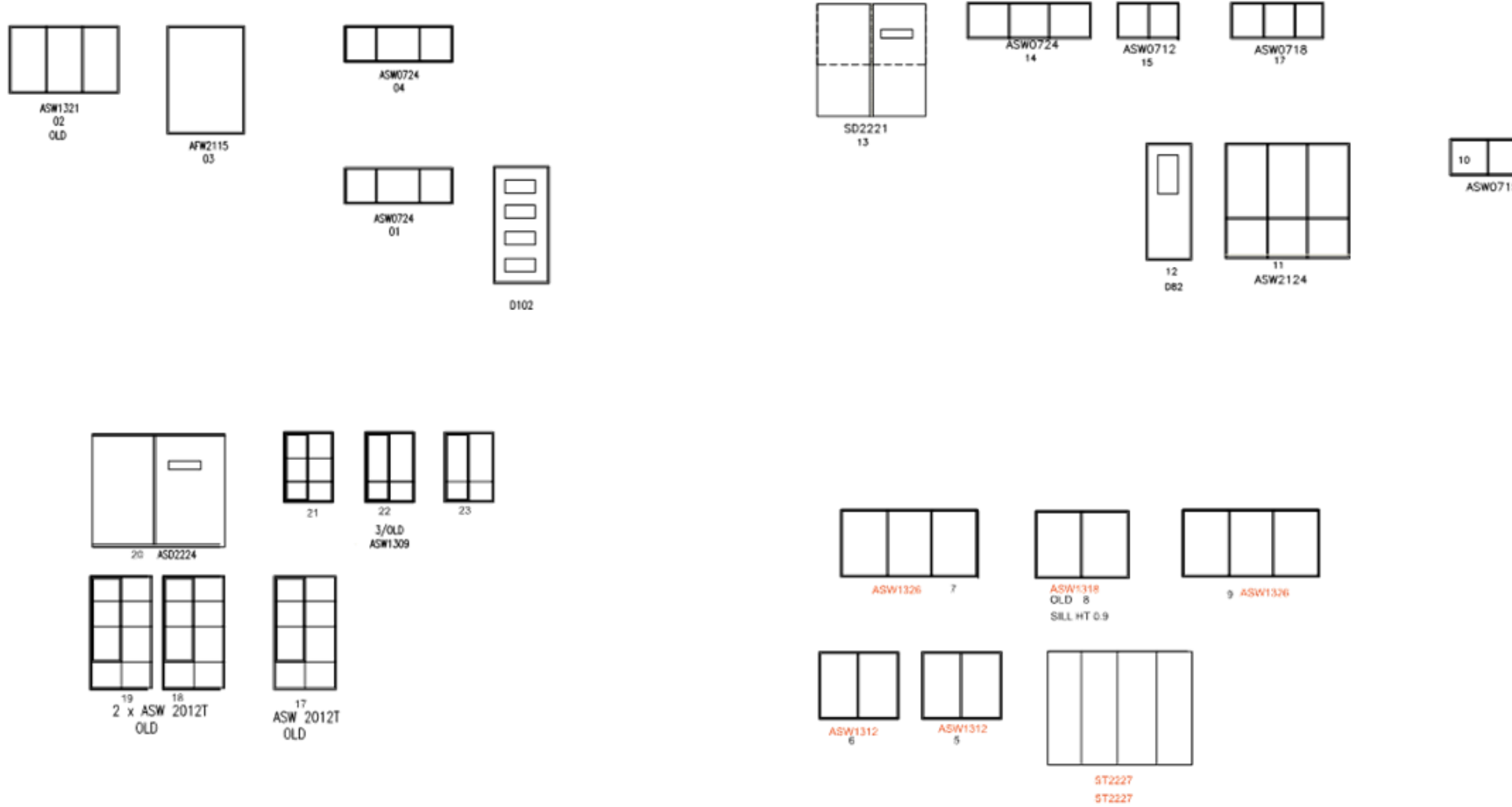
Client : -
 Project : PROPOSED EXTENSION AND MODIFICATION
 50 ROSEWOOD AVE PRESTONS
 LOT 102 DP 1007447
 SOIL AND WATER MANAGEMENT

Sheet No.	SHEET No.11
	OF 17 SHEETS
Computer Ref :	-
Proj. Name :	-
REF :	22-075
Rev:	B

KEY

ASW1321 = WINDOW NOMINAL 1320mm HIGH x2120mm WIDE
D102 = DOOR NOMINAL 2170mmHx1020mm WIDE
OLD = EXISTING/RECYCLED
AFW= FIXED WINDOW

ALSO REFER TO BASIX CERTIFICATE A455769



LIVERPOOL CITY COUNCIL
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In accordance with the Environmental Planning and Assessment Act 1979

COMPLEX DESIGN



No	Amendment/Issue	Auth	Date	Scale	Table of sizes	Locality	Client	Sheet No	SHEET No. 15 OF 17 SHEETS
A	DRAFT ISSUE	AK	APRIL 2022	Plan : 1:100 AND 200 AS NOTED ON SHEETS	Designed by : AK	LOCALITY : PRESTONS	Client : -	15	15
B	DA CC ISSUE	AK	JUNE 2022	Horiz. : 1:10 & 1:20 1:100 Vert. : 1:10 & 1:20 1:100	Prepared by : AK	PARISH :	Project : PROPOSED EXTENSION AND MODIFICATION	17	17
C				Contour Interval : 0.2m	Plan Date : -	COUNTY :	50 ROSEWOOD AVE PRESTONS		
				Datum : A.M.D.	Checked by : -	Council : LIVERPOOL	LOT 102 DP 1007447		
				Origin : -	Approved :	Council Ref : -	WINDOW SCHEDULE		
						Approval Date : APRIL 22			
								22-075	B



ROOF CLADDING
MANUFACTURER DULUX
COLOUR COLORBOND MONUMENT
RGB 64 65 65
LRV Value 8
HEX CODE #404141



FRONT DOOR
MANUFACTURER DULUX
COLOUR POWERED ROCK
RGB 187 182 171
LRV Value 51
COLOUR CODE S15A2

LIVERPOOL CITY COUNCIL
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FASCIAS & DOWNPIPE
MANUFACTURER DULUX
COLOUR COLORBOND DUNE
RGB 173 173 152
LRV Value 42
HEX #ADA398



GARAGE DOOR, ALUMINIUM DOORS & WINDOWS
MANUFACTURER DULUX
COLOUR COLORBOND DUNE
RGB 173 173 152
LRV Value 42
HEX CODE #ADA398



EXTERIOR WALLS RENDERED
MANUFACTURER DULUX
COLOUR DULUX DUNE
RGB 173 173 152
LRV VALUE 42
HEX CODE #ADA398



GUTTERS
MANUFACTURER DULUX
COLOUR COLORBOND MONUMENT
RGB 64 65 65
LRV Value 8
HEX CODE #404141



EAVES CEILING
MANUFACTURER DULUX
COLOUR VIVID WHITE
RGB 247 248 244
LRV Value 94
COLOUR CODE SW1G1



FACADE COLUMN, POSTS & RAILINGS (GLASS INFILL)
MANUFACTURER DULUX
COLOUR DULUX MONUMENT
RGB 64 65 65
LRV Value 8
HEX CODE #404141

COMPLEX DESIGN



No	Amendment/Issue	Auth	Date	Scale	Notes	Locality	Client	Sheet No.	SHEET No. 17 OF 17 SHEETS
A	DRAFT ISSUE	AK	APRIL 2022	Plan : 1:100 AND 200 AS NOTED ON SHEETS	Designed by : AK	LOCALITY : PRESTONS	Client : -		
B	DA CC ISSUE	AK	JUNE 2022	Horiz. : 1:10 & 1:20 1:100 Vert. : 1:10 & 1:20, 1:100	Prepared by : AK	PARRISH : COUNTY :	Project : PROPOSED EXTENSION AND MODIFICATION 50 ROSEWOOD AVE PRESTONS LOT 102 DP 1007447 SCHEDULE OF EXTERNAL COLOURS	Computer Ref : -	
C				Contour Interval : 0.2m Datum : AHD Origin : -	Plan Date : - Checked by : - Approved :	Council : LIVERPOOL Council Ref : - Approval Date : APRIL 22		Proj. Name : -	REF : 22-075

BASIX[®]Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A455769

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

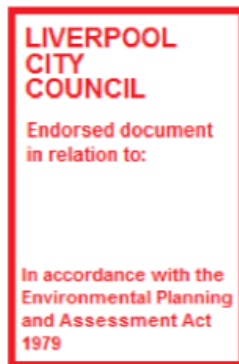
Secretary

Date of issue: Sunday, 29, May 2022

To be valid, this certificate must be lodged within 3 months of the date of issue.



Planning,
Industry &
Environment



Description of project

Project address	
Project name	50 ROSEWOOD
Street address	50 ROSEWOOD Avenue PRESTONS 2170
Local Government Area	Liverpool City Council
Plan type and number	Deposited Plan 1007447
Lot number	102
Section number	
Project type	
Dwelling type	Attached dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)

Name / Company Name: ajay kumar

ABN (if applicable): N/A

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	

Construction			Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements					
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.			✓	✓	✓
Construction	Additional insulation required (R-value)	Other specifications			
concrete slab on ground floor.	nil				
external wall: brick veneer	R1.16 (or R1.70 including construction)				
internal wall shared with garage: plasterboard (R0.36)	nil				
flat ceiling, pitched roof	ceiling: R3.00 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)			

Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors									
<p>The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.</p> <p>The following requirements must also be satisfied in relation to each window and glazed door:</p> <p>Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.</p> <p>For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.</p> <p>Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.</p> <p>Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.</p>							✓	✓	✓
Windows and glazed doors glazing requirements									
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type			
D1	N	0.4	Height (m)	Distance (m)	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)			
W1	N	1.6	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)			
W2	N	2.7	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)			
W3	N	2.7	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)			
W4	N	3.1	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)			

BASIX Certificate number: A455769

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Glazing requirements						Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type		
			Height (m)	Distance (m)				
W5	E	1.9	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		
W6	E	2.2	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		
W7	E	2.2	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		
W8	E	3.3	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		
W9	E	3.3	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		
W10	S	1	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		
W11	S	5	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		
W12	S	0.8	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		
W13	S	1.2	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		
W14	S	1.68	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		
D2	S	0.3	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		
D3	S	0.3	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		
D4	S	4.4	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		

BASIX Certificate number: A455769

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Glazing requirements						Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type		
			Height (m)	Distance (m)				
D5	W	4.4	0	0	eave/verandah/ pergola/balcony >=900 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		
W15	W	2	0	0	eave/verandah/ pergola/balcony >=600 mm	aluminium, double Lo-Tsol/air gap/clear, (U-value: 4.9, SHGC: 0.33)		
W16	W	2.4	0	0	eave/verandah/ pergola/balcony >=900 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		
W17	W	2.4	0	0	eave/verandah/ pergola/balcony >=900 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		
W18	W	2.4	0	0	eave/verandah/ pergola/balcony >=900 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		
W19	W	2	0	0	eave/verandah/ pergola/balcony >=600 mm	aluminium, double Lo-Tsol/air gap/clear, (U-value: 4.9, SHGC: 0.33)		

Legend

In these commitments, "applicant" means the person carrying out the development.

Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).

Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.

Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

Statement of Environmental Effects



Source: Streetview of the subject property. Google Maps. 2022. <https://www.google.com/maps/place>

ALTERATIONS AND ADDITIONS TO THE EXISTING DWELLING

50 ROSEWOOD AVENUE, PRESTONS NSW 2170

LOT 102 DP 1007447

Date Prepared: 18 May 2022

**LIVERPOOL
CITY
COUNCIL**

Endorsed document
in relation to:

In accordance with the
Environmental Planning
and Assessment Act
1979

Complex Design

[REDACTED]

[REDACTED]

Introduction

This Statement of Environmental Effects (SEE) is submitted to Liverpool City Council in accordance with the Environmental Planning and Assessment Act 1979 for alterations and additions to the existing dwelling house at 50 Rosewood Avenue, Prestons.

This report is based on the proposed plans prepared Complex Design, Drawing Ref 22-075, Sheets 1 to 16, Rev A.

Subject Site

The subject site is legally described as Lot 102 in DP 1007447 and is known as 50 Rosewood Avenue, Prestons. The site is rectangular in shape with an overall site area of 450sqm. The site has a frontage to Rosewood Avenue of 15m and depth of 30m. The site is located on the eastern side of Rosewood Avenue and in proximity to Chestnut Crescent and Rosewood Avenue intersection.



Source: Aerial of the subject property. Google Maps. 2022. <https://www.google.com/maps/place>

The subject site currently consists of a two-storey brick dwelling. There is no significant vegetation on site nor is there any environmental or site constraints that would inhibit the proposed development. All necessary services are already available on site. The site has a slight fall to the street and will drain to the street gutter in accordance with the submitted stormwater plans.

Complex Design



The planning certificate under S10.7 of the EP&A Act identifies the subject site as being potentially contaminated.

Situated on the subject site is a lawfully constructed two storey dwelling house. The site is situated within a broader established residential estate.

Any contamination (or remediation) would have been considered as part of the original development application. Therefore, further investigation for the proposed alterations and additions is not considered necessary.

State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004

A Basix Certificate is required to accompany a development application when building a new home, undertaking renovations of \$50,000 or more, or installing a pool or spa of more than 40,000 litres.

The proposed development seeks to undertake renovations in excess of \$50,000 and as such required a BASIX Certificate.

The proposed development has been designed with a high degree of consideration towards energy efficiency and sustainability. A BASIX Certificate has been prepared with the requirements to be implemented during construction and prior to occupation. The development is considered to achieve the aims and objectives of the policy.

Liverpool Local Environmental Plan 2008 (LLEP 2008)

Permissibility

The subject site is location with an R2 -Low Density Residential zone. A dwelling house is permissible with the zone with consent. The proposal for alteration and additions to the existing dwelling is therefore permitted with consent.



Source: Zoning of the subject property. Planning Portal. 2020. [ePlanning Spatial Viewer \(nsw.gov.au\)](https://www.planning.nsw.gov.au/ePlanning/SpatialViewer)

Development Standards

The proposed development has been designed with the following provision under the LLEP 2008:

Liverpool Local Environmental Plan 2008			
Standards	LEP Standards	Proposed Standards	Compliance
Floor Space Ratio (FSR)	Max. 0.6:1 (270sqm)	0.598:1 (269.3sqm)	Yes Calculation Attached
Building Height	Max. 8.5m	7.393m	Yes

Liverpool Development Control Plan 2008 (LDCP 2008)

The proposed development has considered in its design the development controls requirements as specified in Part 8 - Dwelling houses & class 10 structures on lots greater than 300m² but less than 900sqm in the R1, R2, R3 zones of LDCP 2008 and is tabulated below:

Liverpool Development Control Plan 2008			
Controls	DCP Requirements	Proposed requirements	Compliance
Landscaping and Trees			
1.1 Landscaped area	Min. 25% (112.5sqm)	125sqm	Yes
1.2 Landscaped area to be located behind the building line	Min. 50% 56.5sqm	85sqm of the landscaped area is located behind the building line.	Yes
1.3 Landscape area within front setback	Min. 25% 128.5 sqm	40 sqm	Yes
1.4 Private open space (POS) to the rear of at least	Min. 4.0m x 6.0m	POS of at least 5.21mX15m has been provided to the rear	Yes
1.5 POS	Must be readily accessible from at least one living area	POS is accessible from the living area	Yes
Driveways, Drainage and Infrastructure			
1.7 Driveway crossover	Min. 6m from the corner (tangent point) of all street corners, roundabouts	No change is proposed to the location of the existing driveway. The driveway crossover is located 6m from the corner (tangent point) of all street corners.	Yes
1.8 Driveway	Driveway is to be clear of all street infrastructure and	Driveway is clear of all street infrastructure and	Yes

Complex Design

	street trees, including power poles, gully pits and drains.	street trees, including power poles, gully pits and drains.	
1.9 Registered easements	All structures must be clear of any registered easement.	There are no registered easements on site.	NA
1.10 Water and sewer infrastructure.	Subject property must be connected to reticulated water and sewer infrastructure.	Subject property is be connected to reticulated water and sewer infrastructure.	Yes
1.11 Drainage	Proposed development should lawfully drain to a street or via a registered drainage easement by gravity.	The proposed development will drain to the street and shown on the amended drainage plan.	Yes
Cut and Fill			
Cut or fill	Max. 1m	Minor cut and fill are proposed for footing as part of this development	N/A
2.1 Setbacks			
Front Setback			
Ground Floor	Min. 4.5m	5.54m	Yes
First Floor	Min. 4.5m	5.54m	Yes
Garage setback	Min. 5.5m	5.54m	Yes
Balcony setback	Min. 4.5m	4.15m however 1m encroachment within the front setback is permitted (see below requirement).	Yes
Fronts articulation component and balcony encroachment	Max. 1m encroachment allowed	Front porch, balcony and articulation columns encroach the front setback area by 0.36m.	Yes
Side Setback			
Ground floor	Min. 0.9m	0.95 (North) 2.56 (South)	Yes Yes
First floor (≤450sqm)	Min. 0.9m	0.95 (North) 2.56 (South)	Yes Yes
Rear Setback			
Ground Floor	Min. 4m	5.21m	Yes
First Floor	Min. 6m	8.6m	Yes
Privacy			
Window sills on first floor	Min 1.5m above FFL	All window sills to habitable rooms are 1.5m from the FFL.	Yes
Carparking and Attached Garages			
2.2 carparking	Min. 2 spaces	2 carparking spaces has been provided.	Yes

2.3 Garage door	Must not form more than 50% of the front façade of a dwelling house	No change to the garage opening/door is proposed as part of this development.	N/A
Streetscape and Amenity			
2.6 Street Address	Dwelling must address all street frontages by incorporating a mixture of verandas, balconies, windows, wall indents, changes in finishes, entries and front porches.	The inclusion of first floor balconies, windows, wall indentations and front porch adds interest and articulation to the dwelling facade addressing the street.	Yes
2.7 Front door and window	A front door and a window to a habitable room in the building wall must face the primary road	It must be noted that the orientation of the entry door remains unchanged. The inclusion of street facing balconies, porch and the portico style architectural feature to the front not only provides a focal point but also a distinct entry point.	Yes
2.8 Windows	Windows facing a street frontage must not be frosted glass.	None of the windows facing the street are frosted.	Yes
2.11 Finish Ground Floor Level	Max. 1m	No change to the existing finished ground floor level has been proposed	N/A

Environmental Impacts

The proposed development is for minor alterations and additions to the existing dwelling house. The existing dwelling already has an approved second storey component. The subject proposal seeks slight extensions to the ground and first floor levels to provide improved amenity to the residents of the dwelling.

As can be seen from the architectural plans provided, the proposed changes will not result in any detrimental impacts on the adjoining properties in terms of overshadowing or privacy. Any potential for additional shadowing on the adjoining property to the south has been compensated by the larger setback of 2.56m provided along the southern boundary.

The extension of the upper floor southern wall consists of windows that are well positioned to avoid any overlooking. In addition, windows are adequately offset or are highlight in nature to minimise any potential privacy impacts upon the adjoining property.

The proposed development is a fully compliant development which satisfies all requirements under the LEP as well as Part 8 of DCP.

Site suitability

The proposed development has been thoughtfully designed to ensure the built form of the proposed development compliments the character of the dwelling on the site and is compatible with the character of the residential developments in the immediate vicinity. The proposed development conforms the existing character and future desired character of the local area.

There are no constraints on site or environmental impacts resulting from the proposed development that would render this development unsuitable for the site.

Public Interest

As the proposed development satisfies all relevant planning instruments and development controls and their aims and objectives, the proposed alterations and additions is considered to be in the public interest.

Conclusion

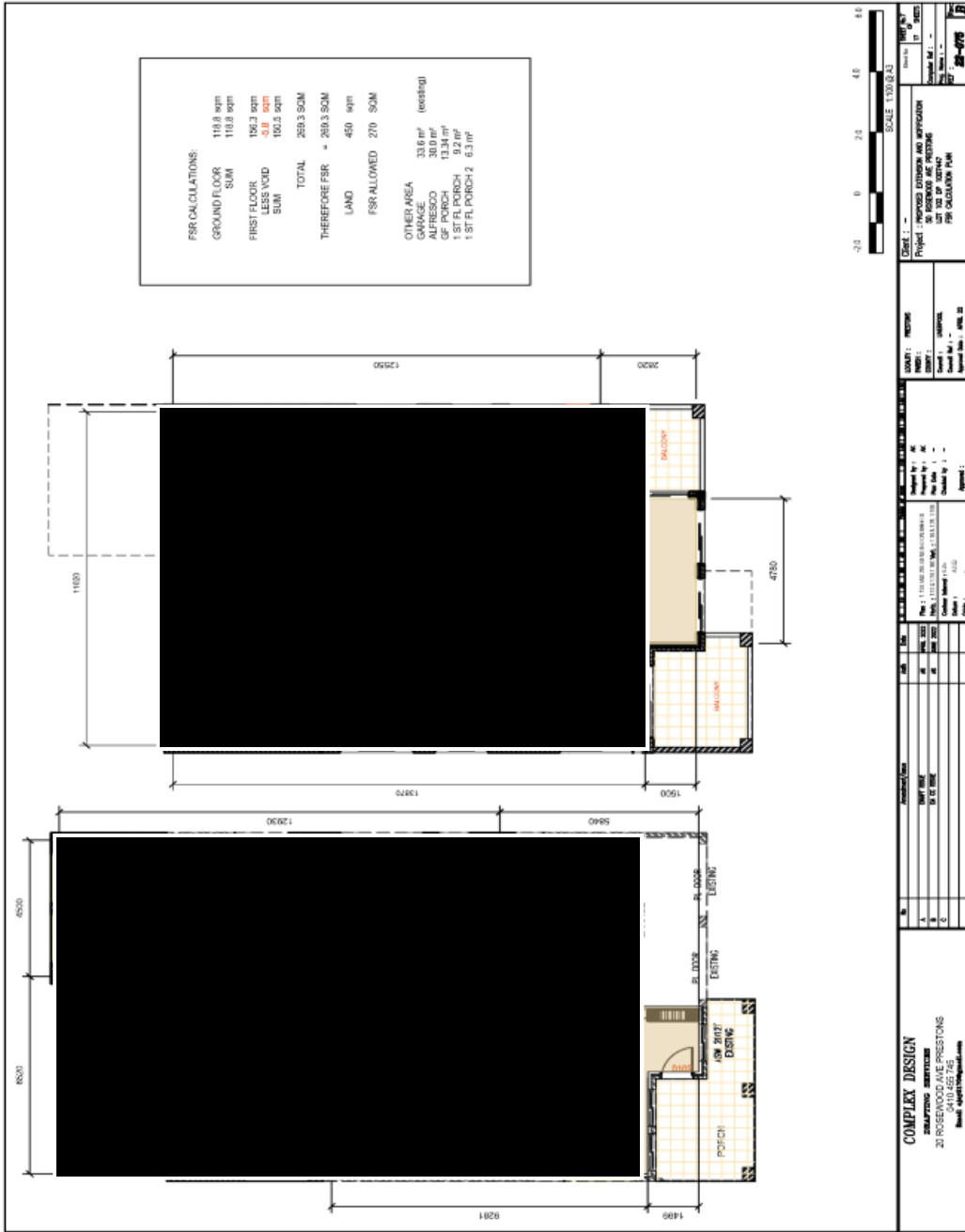
The proposed development has been designed based on the provisions outlined in the Liverpool Local Environmental Plan 2008 and Part 8 of the Liverpool Development Control Plan 2008. The proposal meets all relevant provisions of the LLEP and LDCP thus satisfying their aims and objectives.

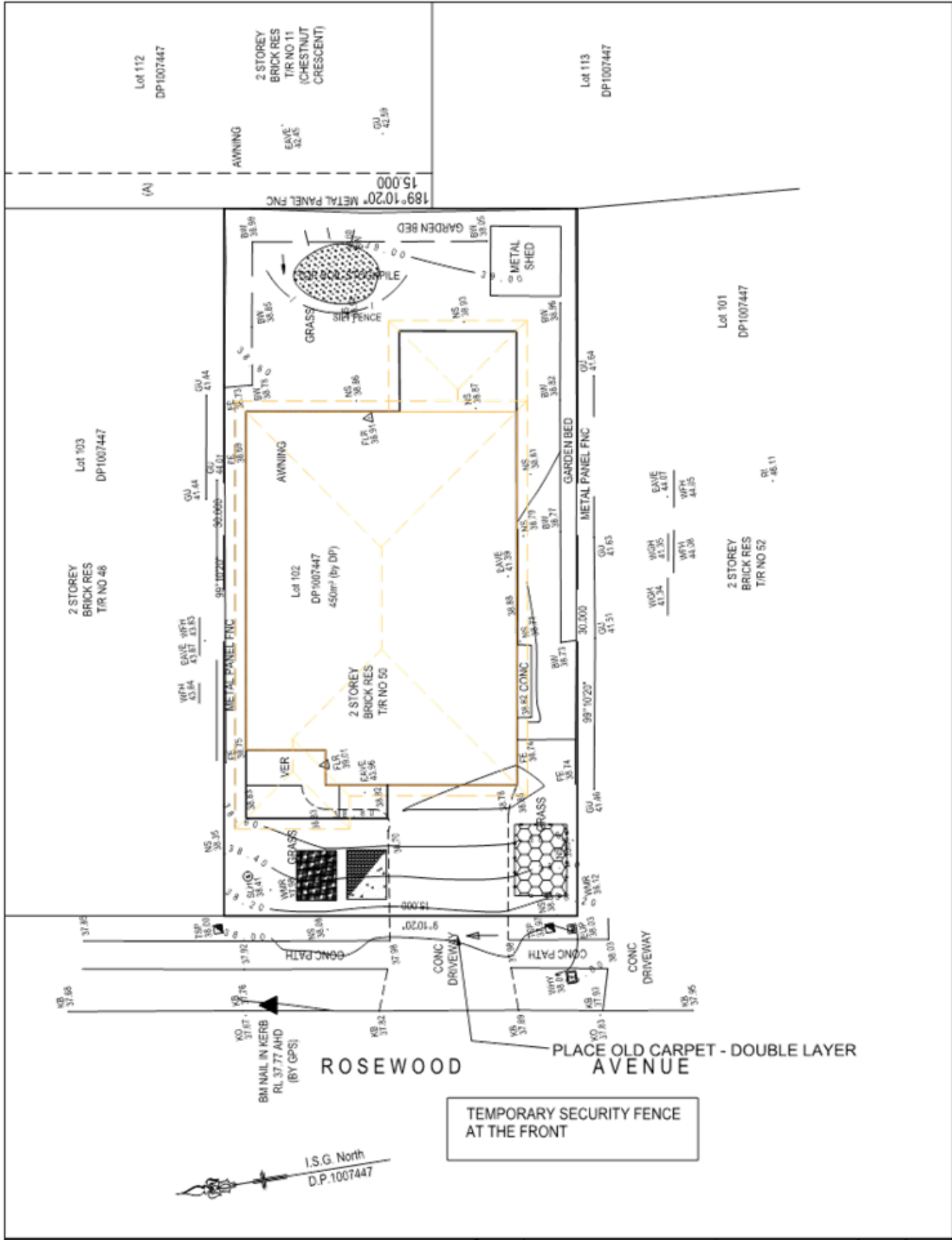
In its current form the proposed development will enhance the amenity of the residents without compromising the amenity of the adjoining dwellings or the local character of the local area.

On this basis, it can be concluded that the proposed development is suitable for Council's support.

c/- Attachment A

Complex Design
[REDACTED]





LIVERPOOL CITY COUNCIL
Endorsed document in relation to:

In accordance with the Environmental Planning and Assessment Act 1979

ANNEXURE 3
FORM - WASTE MANAGEMENT PLAN **FACT SHEET**

Waste Management Plan - Construction

Will you use Site Cleaners? Yes, for some work or Yes, for all work or No Estimated total volume or weight _____

Please supply details of site cleaners used: N/A
 ABN Number _____
 Name _____
 Phone _____ Mobile _____

If using site cleaners for all work, please STOP here, DO NOT continue to complete form.

All Excavation Material including ~~Swimming Pools~~ Less than 10m³ More than 10m³ Reuse onsite Reuse offsite Landfill Disposal

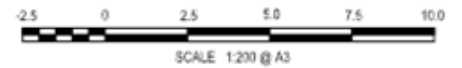
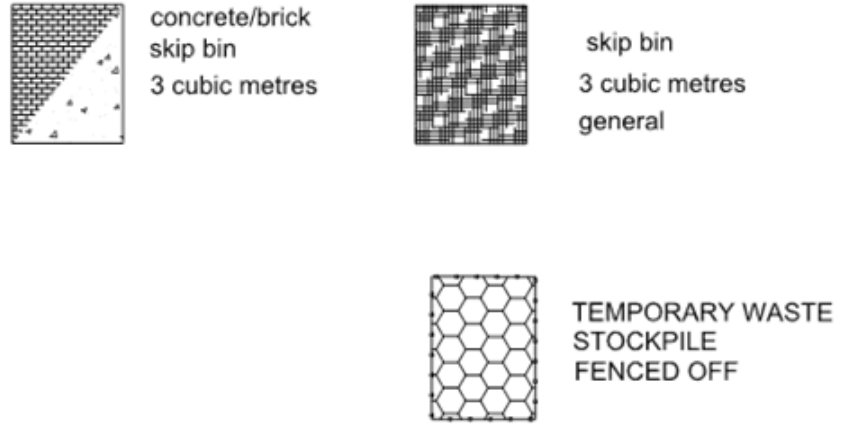
Address if reused off site: _____

Name and Address of licensed landfill: HI-QUALITY - Cnr Elizabeth Dr & Mamre Road Kempers Creek NSW

Type of Material	Less than 10m ³	More than 10m ³	How will you manage this waste?		
			Onsite	Recycle	Landfill
Bricks	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Concrete	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Tiles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Timber (clean or treated)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Plasterboard	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Green Waste	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Other	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Principal Off-Site Recycler: HI-QUALITY - Cnr Elizabeth Dr & Mamre Road Kempers Creek NSW

Principal Licensed Landfill Site: HI-QUALITY - Cnr Elizabeth Dr & Mamre Road Kempers Creek NSW



COMPLEX DESIGN

No	Amendment/Issue	Auth	Date
A	DRAFT ISSUE	AK	APRIL 2022
B	DA CC ISSUE	AK	JUNE 2022
C			

Plan : 1:100 AND 200 AS NOTED ON SHEETS
 Horiz : 1:10 & 1:20 1:100 Vert. : 1:10 & 1:20 1:100
 Contour Interval : 0.2m
 Datum : AHD
 Origin : -

Designed by : AK
 Prepared by : AK
 Plan Date : -
 Checked by : -
 Approved :

LOCALITY : PRESTONS
 PARISH :
 COUNTY :
 Council : LIVERPOOL
 Council Ref : -
 Approval Date : APRIL 22

Client : -
 Project : PROPOSED EXTENSION AND MODIFICATION
 50 ROSEWOOD AVE PRESTONS
 LOT 102 DP 1007447
 WASTE MANAGEMENT PLAN

Sheet No. 12 OF 17 SHEETS
 Computer Ref : -
 Proj. Name : -
 REF : **22-075**
 Rev: **B**

REASONS FOR REFUSAL

1. Insufficient information has been submitted with the proposed development to satisfy the following provisions of State Environmental Planning Policy (Resilience and Hazards) 2021
 - a. Chapter 2, Clauses 2.10 and 2.11
 - b. Chapter 4, Clause 4.6

pursuant to Section 4.15(1)(a) of the Environmental Planning and Assessment Act 1979.
2. General terms of approval have not been received from the Department of Planning and Environment – Water to support a controlled activity approval required for the development. Accordingly, the proposal is inconsistent with:
 - a. Section 4.47(2) of the Environmental Planning and Assessment Act
 - b. State Environmental Planning Policy (Biodiversity and Conservation) 2021, Chapter 6, Part 6.2, pursuant to Section 4.15(1)(a) of the Environmental Planning and Assessment Act 1979
3. Insufficient information has been provided to address the following provisions of the Liverpool Local Environmental Plan 2008:
 - a. Clause 5.23, as the impacts of the proposal on trees and other vegetation are not accurately or comprehensively identified,
 - b. Clause 7.6, as the impacts of the proposal on trees and other vegetation are not accurately or comprehensively identified,

pursuant to Sections 4.15(1)(a) of the Environmental Planning and Assessment Act 1979
4. The proposed development in its current form is inconsistent with, or has not provided enough information to confirm consistency with, the following provisions of the Liverpool Development Control Plan 2008:
 - a. Part 1, Chapter 2 Tree Preservation
 - b. Part 1, Chapter 3 Landscaping and Incorporation of Existing Trees
 - c. Part 1, Chapter 4 Bushland and Fauna Habitat Preservation
 - d. Part 1, Chapter 7 Development near a Watercourse
 - e. Part 1, Chapter 10 Contaminated Land Risk
 - f. Part 1, Chapter 16 Aboriginal Archaeology
 - g. Part 2.15, Chapter 2.6 Aboriginal Archaeology
 - h. Part 2.15, Chapter 4.3 Safety (Golf Holes near Public / Private Areas).

pursuant to Section 4.15(1)(a)(iii) of the Environmental Planning and Assessment Act 1979.

5. The proposed development is inconsistent with the planning agreement that currently applies to the land (Voluntary Planning Agreement – New Brighton Golf Course) as executed through a Deed of Variation on 14 November 2013, pursuant to Section 4.15(1)(a)(iii) of the Environmental Planning and Assessment Act 1979.
6. Insufficient information has been provided to demonstrate that the proposed development would not have adverse impacts on the built and natural environments and would not have adverse social impacts pursuant to Section 4.15(1)(b) of the Environmental Planning and Assessment Act 1979.
7. For the reasons identified in points 1 to 6 above, the development application has not demonstrated that the site is suitable for the proposed development pursuant to Section 4.15(c) of the Environmental Planning and Assessment Act 1979.
8. For the reasons identified in 1-7 above, it is not considered in the public interest to grant development consent to the application in its current form pursuant to Section 4.15(1)(e) of the Environmental Planning and Assessment Act 1979.

Report Attachment 2 – Liverpool Development Control Plan Tables

LDCP 2008 Part 1 – General Controls for All Development		
Item	Requirement	Comment
2 Tree Preservation	<p>An application to remove a tree may be refused by Council depending on its significance.</p> <p>All existing indigenous trees shall be retained or replaced. Where approval is given to remove trees, appropriate replacement planting will be required.</p> <p>Significant trees that are identified as having habitat value shall not be relocated or removed.</p>	<p>Does not comply.</p> <p>The application has provided insufficient information to fully determine the impact on trees and vegetation as it is not supported by an Arboricultural Impact Assessment outlining the condition, dimensions, and species of existing trees to be impacted by the development.</p> <p>The Biodiversity Development Assessment Report (BDAR) submitted with the application (Attachment 6) does indicate the potential for the development to impact approximately 507sqm of native vegetation through removal and trimming, including mainly <i>Melaleuca decora</i>, <i>Melaleuca nodosa</i>, <i>Eucalyptus fibrosa</i>, <i>Calochlaena dubia</i> and <i>Typha orientalis</i>. In addition, the preliminary engineering drawings indicate the removal of trees in at least one and possibly up to three locations, although this is not clearly identified (refer to section Error! Reference source not found. of this report).</p> <p>The Applicant has been requested to provide more detail regarding the impacts on vegetation including an arborists report clearly indicating the type and location of trees being removed.</p>
3 Landscaping and Incorporation of Existing Trees	<p>Retain, protect and incorporate existing trees and native vegetation into the development proposal.</p> <p>Identify existing trees and consider options to retain existing trees.</p> <p>A report outlining the condition, dimensions and species of existing trees within the development site to be included with any development application documentation.</p>	<p>The Applicant has been requested to provide more detail regarding the impacts on vegetation including an arborists report clearly indicating the type and location of trees being removed.</p>
4 Bushland and Fauna Habitat Preservation	<p>Bushland shall be substantially retained and incorporated within a development.</p> <p>Clearing of bushland shall be limited to the extent necessary to facilitate safe and orderly use of land.</p>	<p>Does not comply.</p> <p>Refer to response above.</p>
5 Bush Fire Risk	<p>Management of bush fire risk to be considered within development applications.</p>	<p>Complies.</p> <p>The site of the proposed works is identified as bushfire prone. Notwithstanding, the proposal does not intensify the use of the land for any purpose other than recreational purposes.</p>

6 Water Cycle Management	Management of stormwater runoff to be considered in development applications.	<p>Complies.</p> <p>Council's Land Development Engineer has not raised any concerns regarding stormwater management relating to the proposal.</p>
7 Development near a Watercourse	Controlled Activity Approval may be required under the <i>Water Management Act 2000</i> where development is proposed near a water course.	<p>Does not comply.</p> <p>The proposal was referred to the Department of Planning and Environment – Water (DPE Water) who requested additional information prior to issuing any General Terms of Approval (Attachment 7).</p> <p>This information has not yet been provided by the Applicant.</p>
8 Erosion and Sediment Control	Application to be supported by information related to erosion and sediment control.	<p>Complies.</p> <p>The preliminary engineering drawings contain information regarding sediment fences to be installed during works.</p>
9 Flooding Risk	Risk of flooding to be appropriately considered and assessed in development applications.	<p>Complies.</p> <p>The site is affected by flooding during the 1% Annual Exceedance Probability (AEP) and categorised as high flood risk area.</p> <p>Council's Development Control Plan (DCP) allows for recreational use in high flood risk areas. To mitigate flood impacts, the project will enhance existing fire trails into footpaths and construct boardwalks on piers, thereby avoiding any filling in floodprone zones. Additionally, flood warning signs will be installed to alert and prevent people from entering the flood affected areas during flood events.</p> <p>Therefore, the proposal is supported by Council's Flood Engineering officer, subject to the fulfillment of flood management conditions.</p>
10 Contaminated Land Risk	Development Applications to be supported by Preliminary Contamination Investigation, Detailed Contamination Investigation, and Remedial Action Plans where relevant.	<p>Does not comply.</p> <p>Although the DA was supported by site investigations, these are insufficient to support approval of the development as the investigations do not relate to the entire site.</p> <p>Refer to section Error! Reference source not found. of this report for further discussion regarding the</p>

		application's compliance with <i>State Environmental Planning Policy (Resilience and Hazards) 2021</i> .
11 Salinity Risk	Appropriate salinity investigations to be provided for within development applications.	Complies. The site is identified as having moderate salinity potential. However, it is the works are not considered to be a represent salinity risk activity and therefore no further investigations are required.
12 Acid Sulfate Soils Risk	Appropriate acid sulfate soil investigations to be provided for within development applications.	Complies. Given the minor nature of the works proposed, it is considered unlikely that acid sulfate soils would be disturbed.
16 Aboriginal Archaeology	Initial investigations to be carried out to determine if proposed development is occurring on land potentially containing an item of Aboriginal archaeology.	Does not comply. No information regarding Aboriginal archaeological investigations undertaken to support the DA.
17 Heritage and Archaeological Sites	Statement of Heritage Impact to accompany development applications involving a heritage item.	Not Applicable.
25 Waste Disposal and Re-use Facilities	Waste Management Plans to be submitted alongside any development application generating waste at the demolition, construction stages or during ongoing operations.	Complies. A Waste Management Plan has been submitted alongside the DA.

DA-344/2024 - LOT 304 NEWBRIDGE ROAD, MOOREBANK
85 BRICKMAKERS DRIVE, MOOREBANK
NEW BRIGHTON GOLF COURSE AND CLUB, MOOREBANK
WURRUNGWURI RESERVE AND 85 BRICKMAKERS DRIVE, MOOREBANK
Preliminary Engineering Plans of the Proposal

Attachment 3

BRIGHTON LAKES RECREATION & GOLF CLUB PROPOSED FORESHORE SHARED PATH LINK FOR DA APPLICATION

LOTS 2 & 4 in DP 1193300, LOT 3 in DP 1278607,
LOT 21 in DP 1207736, LOT 304 DP118048

GENERAL NOTES

- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH LIVERPOOL COUNCIL'S STANDARD SPECIFICATIONS AND TO THE REQUIREMENTS OF COUNCIL'S ENGINEER.
- NO TREES ARE TO BE REMOVED OTHER THAN THOSE AFFECTED BY PATH AND DRAINAGE WORKS IN ACCORDANCE WITH COUNCIL'S TREE PRESERVATION ORDER.
- EARTHWORKS ARE TO BE CARRIED OUT TO THE SATISFACTION OF COUNCIL'S ENGINEER. UNSOUND MATERIALS ARE TO BE REMOVED FROM ROADS AND LOTS PRIOR TO FILLING. THE CONTRACTOR IS TO ARRANGE AND MAKE AVAILABLE COMPACTION CERTIFICATES WHERE REQUIRED.
- PROVIDE MINIMUM 100mm TOPSOIL WITH GRASS SEEDING IN FOOTPATHS, FILLED AREAS AND ALL OTHER AREAS DISTURBED DURING CONSTRUCTION.
- WHERE THE SLOPE OF NATURAL SURFACE IN FILL AREAS EXCEEDS ONE IN FOUR (1:4), BENCHES ARE TO BE CUT TO PREVENT SLIPPING OF THE PLACED FILL MATERIAL AS REQUIRED BY COUNCIL'S ENGINEER.
- ALL BATTERS ARE TO BE SCARIFIED TO ASSIST WITH ADHESION OF TOPSOIL TO BATTER FACE.
- SERVICES SHOWN ON THIS PLAN HAVE BEEN LOCATED FROM INFORMATION SUPPLIED BY THE RELEVANT AUTHORITIES AND FIELD INVESTIGATIONS AND ARE NOT GUARANTEED COMPLETE OR CORRECT AND ARE TO BE VERIFIED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORKS.
- PUBLIC UTILITY SERVICES ARE TO BE ADJUSTED AS NECESSARY.
- SUBSOIL DRAINS TO BE PROVIDED AS SHOWN ON PLANS AND IN ACCORDANCE WITH COUNCIL'S REQUIREMENTS.
- ALL LONGITUDINAL PIPELINES UNDER PATHS TO BE BACKFILLED WITH WASHED RIVER SAND UNLESS OTHERWISE NOTED ON PLANS.
- A 3m LENGTH OF AGLINE WRAPPED IN A SUITABLE FILTER SOCK(S) TO BE PROVIDED ON THE UPSTREAM SIDE OF ALL INLET PITS WITH A PIPE INLET. THE AGLINE IS TO BE LOCATED AT THE LEVEL OF THE PIT INVERT.
- ALL DRAINAGE PIPES TO BE SPIGOT AND SOCKET, RUBBER RING JOINTED.
- ALL PITS TO BE BENCHED AND STREAMLINED. PROVIDE STEP IRONS IN ALL PITS OVER 1m DEEP WITH REINFORCEMENT.
- ALL DRAINAGE LINES TO HAVE A MINIMUM COVER OF 450mm TO THE TOP OF PIPE. CLEANING EYES TO BE PROVIDED IMMEDIATELY DOWNSTREAM OF ALL SLOPE JUNCTIONS.
- ALL PITS TO BE BENCHED AND STREAMLINED. PROVIDE STEP IRONS IN ALL PITS OVER 1m DEEP WITH REINFORCEMENT.
- ALL DRAINAGE LINES TO HAVE A MINIMUM COVER OF 450mm TO THE TOP OF PIPE. CLEANING EYES TO BE PROVIDED IMMEDIATELY DOWNSTREAM OF ALL SLOPE JUNCTIONS.
- SUITABLE EASEMENTS TO DRAIN WATER TO BE PROVIDED OVER ALL DRAINAGE LINES THROUGH ALLOTMENTS. ALL PIPES TO BE LAID CENTRALLY WITHIN EASEMENTS. ADEQUATE PROVISION TO BE MADE FOR SCOURING AND SEDIMENTATION TO ALL DRAINAGE WORKS IN ACCORDANCE WITH COUNCIL'S REQUIREMENTS.
- LENGTH OF LINTEL SHOWN INDICATES LENGTH OF CLEAR OPENING.
- SWALES TO BE CONSTRUCTED OVER COMMON DRAINAGE LINES AND AS REQUIRED BY COUNCIL'S ENGINEER.
- MAKE SMOOTH JUNCTION WITH ALL EXISTING WORKS.
- NO WORKS TO BE CARRIED OUT ON ADJOINING PROPERTIES WITHOUT THE WRITTEN CONSENT OF THE ADJOINING OWNERS.
- VEHICULAR ACCESS AND SERVICES TO BE MAINTAINED TO ADJOINING PROPERTIES AT ALL TIMES.
- ALL RUBBISH, SHEDS, BUILDINGS AND FENCING TO BE REMOVED FROM THE SITE.
- PIRAMULATOR CROSSINGS TO BE PROVIDED IN THE KERB RETURN WHERE SHOWN ON THE PLANS.
- SERVICE CONDUITS TO BE PLACED AS DIRECTED BY ENDEAVOUR ENERGY, TELSTRA, NBN, JEMENA AND SYDNEY WATER.
- CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 32MPa AT 28 DAYS AND A WATER CEMENT RATIO OF 0.5 UNLESS SPECIFIED OTHERWISE.
- ROAD SUBGRADE AND PAVEMENT MATERIALS TO BE COMPACTED IN ACCORDANCE WITH LIVERPOOL CITY COUNCIL SPECIFICATION.
- THE CONTRACTOR SHALL ENSURE THAT EFFECTIVE SEDIMENT AND EROSION PROTECTION MEASURES ARE IN PLACE ON SITE AT ALL TIMES. SUCH MEASURES SHALL BE IN ACCORDANCE WITH THE PLANS AND THE REQUIREMENTS OF THE LANDSCAPE MANUAL "MANAGING URBAN STORMWATER SOILS AND CONSTRUCTION".
- THE CONTRACTOR SHALL OBTAIN LEVELS FROM ESTABLISHED BENCHMARKS ONLY.
- THE CONTROL TESTING OF EARTHWORKS SHALL BE IN ACCORDANCE WITH THE GUIDELINES IN AUSTRALIAN STANDARD AS3798-1998. WHERE IT IS PROPOSED TO USE TEST METHOD A5-2886R.1 OR EA.2 TO DETERMINE FIELD DENSITY AND WHERE REQUIRED BY COUNCIL, A SAND REPLACEMENT METHOD SHALL BE USED TO CONFIRM THE RESULTS.
- THE GEOTECHNICAL TESTING AUTHORITY SHALL HAVE A LEVEL 1 RESPONSIBILITY AS DEFINED IN APPENDIX B OF AS3798-1998 AND SHALL CONFIRM THAT FINAL EARTHWORKS COMPLY WITH THE REQUIREMENTS OF THE SPECIFICATION AND THE DRAWINGS.
- A 1m WIDE CONTINUOUS STRIP OF TURF SHALL BE PROVIDED ON THE FOOTPATH AREAS BEHIND THE KERB IMMEDIATELY AFTER FORMATION OF THE FOOTPATHS TO FINISHED LEVEL. THE TURF IS TO BE MAINTAINED FOR THE DURATION OF THE MAINTENANCE PERIOD.
- ROOT GUARDS ARE TO BE PROVIDED TO ALL TREES THAT ARE PLANTED WITHIN 1.5m OF ANY PTV. SUB-SOIL DRAINAGE FOOTPATH OR HDRB.
- TRAFFIC MANAGEMENT PROCEDURES & SYSTEMS SHALL BE INTRODUCED DURING THE CONSTRUCTION WORKS TO ENSURE SAFETY OF PUBLIC AND WORKERS AND MUST BE IN ACCORDANCE WITH AS1742.3 & COUNCIL POLICIES. CONTRACTOR IS REQUIRED TO OBTAIN A TRF PERMIT FROM COUNCIL PRIOR TO COMPLETING ANY WORKS WITHIN THE PUBLIC ROAD.
- ALL WORKS AND PROCEDURES CARRIED OUT IN ASSOCIATION WITH THIS DEVELOPMENT SHALL BE COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE WORKCOVER AUTHORITY AND OCCUPATIONAL HEALTH AND SAFETY LEGISLATION AND REGULATIONS.

DRAWING INDEX

SHEET No.	DRAWING No.	TITLE	REVISION
01	2200575-301-001	COVER SHEET	A
02	2200575-301-002	TYPICAL CROSS SECTIONS AND GENERAL DETAILS	A
03	2200575-301-010	OVERALL LAYOUT PLAN (SHEET 1 OF 2)	A
04	2200575-301-011	OVERALL LAYOUT PLAN (SHEET 2 OF 2)	A
05	2200575-301-012	LAYOUT PLAN (SHEET 1 OF 4)	A
06	2200575-301-013	LAYOUT PLAN (SHEET 2 OF 4)	A
07	2200575-301-014	LAYOUT PLAN (SHEET 3 OF 4)	A
08	2200575-301-015	LAYOUT PLAN (SHEET 4 OF 4)	A
09	2200575-301-101	PATH LONGITUDINAL SECTIONS (SHEET 1 OF 3)	A
10	2200575-301-102	PATH LONGITUDINAL SECTIONS (SHEET 2 OF 3)	A
11	2200575-301-103	PATH LONGITUDINAL SECTIONS (SHEET 3 OF 3)	A
12	2200575-301-200	PATH CROSS SECTIONS (SHEET 1 OF 17)	A
13	2200575-301-201	PATH CROSS SECTIONS (SHEET 2 OF 17)	A
14	2200575-301-202	PATH CROSS SECTIONS (SHEET 3 OF 17)	A
15	2200575-301-203	PATH CROSS SECTIONS (SHEET 4 OF 17)	A
16	2200575-301-204	PATH CROSS SECTIONS (SHEET 5 OF 17)	A
17	2200575-301-205	PATH CROSS SECTIONS (SHEET 6 OF 17)	A
18	2200575-301-206	PATH CROSS SECTIONS (SHEET 7 OF 17)	A
19	2200575-301-207	PATH CROSS SECTIONS (SHEET 8 OF 17)	A
20	2200575-301-208	PATH CROSS SECTIONS (SHEET 9 OF 17)	A
21	2200575-301-209	PATH CROSS SECTIONS (SHEET 10 OF 17)	A
22	2200575-301-210	PATH CROSS SECTIONS (SHEET 11 OF 17)	A
23	2200575-301-211	PATH CROSS SECTIONS (SHEET 12 OF 17)	A
24	2200575-301-212	PATH CROSS SECTIONS (SHEET 13 OF 17)	A
25	2200575-301-213	PATH CROSS SECTIONS (SHEET 14 OF 17)	A
26	2200575-301-214	PATH CROSS SECTIONS (SHEET 15 OF 17)	A
27	2200575-301-215	PATH CROSS SECTIONS (SHEET 16 OF 17)	A
28	2200575-301-216	PATH CROSS SECTIONS (SHEET 17 OF 17)	A
29	2200575-301-000	DETAILS	A

- ALL WASTE SHALL BE DISPOSED OF AT AN APPROVED WASTE DISPOSAL DEPOT AND COPIES OF ALL DOCUMENTATION ASSOCIATED WITH SUCH DISPOSAL SHALL BE PROVIDED TO THE PRINCIPAL. A WASTE CONTROL CONTAINER SHALL BE LOCATED ON SITE AND NO WASTE MATERIAL SHALL BE STORED ON SITE OTHER THAN IN SUCH CONTAINERS.
- CONTRACTOR SHALL ERECT A SIGN (MINIMUM SIZE OF 300mm x 400mm) AT THE ENTRANCE TO THE SITE PRIOR TO THE COMMENCEMENT OF ANY WORKS ADVERTISING THE FOLLOWING:
 - FULL DETAILS OF THE PCA
 - FULL DETAILS OF THE CONSTRUCTION CERTIFICATE
 - FULL DETAILS OF DEVELOPMENT CONSENT NOTED ABOVE
 - FULL DETAILS OF THE SUBLETTOR CONTRACTOR
- INSPECTIONS BY THE SUPERINTENDENT SHALL BE CARRIED OUT AT THE FOLLOWING STAGES:
 - PRIOR TO INSTALLATION OF EROSION AND SEDIMENT CONTROL STRUCTURES
 - PRIOR TO BACKFILLING PIPELINES, SUBSOIL DRAINS AND DAMS
 - PRIOR TO CASTING OF PITS AND OTHER CONCRETE STRUCTURES, INCLUDING KERB AND GUTTER
 - PROOF ROLLER TEST OF SUBGRADE, SUB-BASE & BASE COURSE
 - ROLLER TEST OF COMPLETED PAVEMENT PRIOR TO PLACEMENT OF WEARING COURSE
 - FINISHWORKS PRIOR TO POURING CONCRETE IN DRIVEWAY AND SHARED PATH AND OTHER ASSOCIATED WORK
 - PRIOR TO BACKFILLING PUBLIC UTILITY CROSSINGS IN ROAD RESERVES
 - PRIOR TO PLACEMENT OF ASPHALTIC CONCRETE
 - FINAL INSPECTION AFTER ALL WORKS ARE COMPLETED AND WORKS AS EXECUTED PLANS HAVE BEEN SUBMITTED TO COUNCIL.
- IF, DURING ACTIVITIES INVOLVING EARTHWORKS AND SOIL DISTURBANCE, ANY EVIDENCE OF AN ABORIGINAL ARCHAELOGICAL SITE OR RELIC IS FOUND, ALL WORKS ON THE SITE ARE TO CEASE AND THE OFFICE OF ENVIRONMENT AND HERITAGE MUST BE NOTIFIED IMMEDIATELY.
- SHOULD ANY ARTEFACTS BE UNCOVERED IN THE COURSE OF ANY WORKS, ALL WORKS SHOULD CEASE AND COMPLY WITH PART 8 OF THE NATIONAL PARKS AND WILDLIFE ACT 1974, IN PARTICULAR SECTION 50 REGARDING PERMITS TO DESTROY.
- IF, DURING THE EARTHWORKS, ANY EVIDENCE OF A EUROPEAN ARCHAELOGICAL SITE OR RELIC IS FOUND, ALL WORKS ON THE SITE ARE TO CEASE AND THE OFFICE OF ENVIRONMENT AND HERITAGE MUST BE CONTACTED IMMEDIATELY. ALL RELICS ARE TO BE RETAINED IN SITU UNLESS OTHERWISE DIRECTED BY THE OFFICE OF ENVIRONMENT AND HERITAGE.
- ALL WORK MUST BE RESTRICTED TO BETWEEN THE HOURS DETAILED IN THE DA.



SITE PLAN
NOT TO SCALE

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REV	DESCRIPTION	DATE	DRN	APP	REV	DESCRIPTION	DATE	DRN	APP
1	ISSUED FOR DEVELOPMENT APPLICATION	07/03/24	GC	SD					

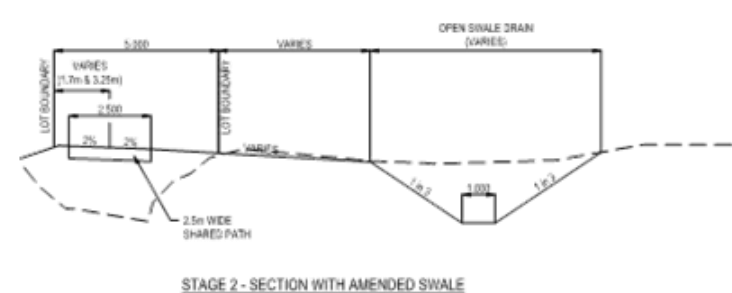
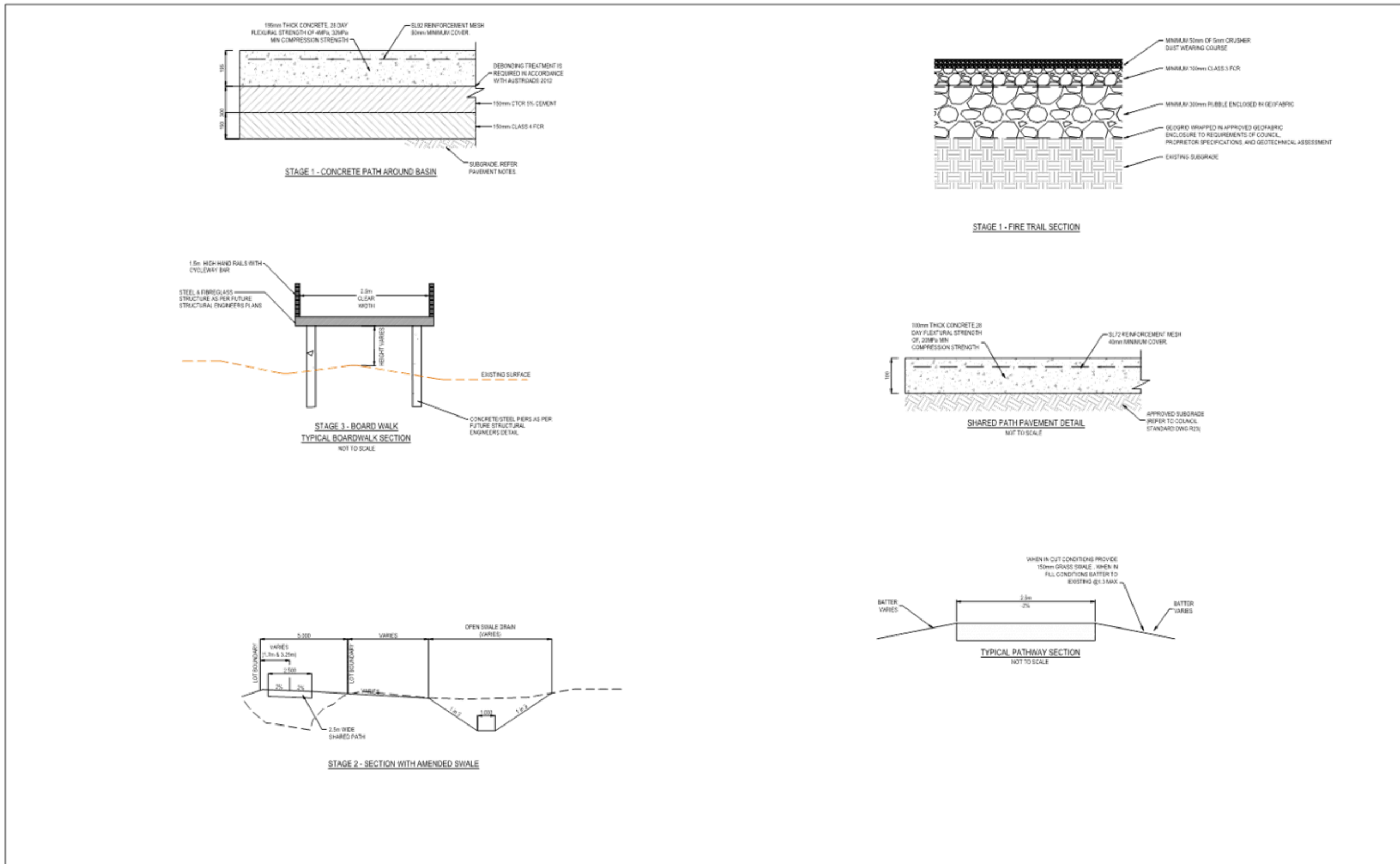


Designed: DAMEN DAVIN
Date: 25/11/24
Drawn: GARY CHILDRIS
Approved: SHANE GRAY
Date: 14/12/24
DA Number: 24/02/2024-1047
GARDENS DRIVE

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Project Name: BRIGHTON LAKES RECREATION & GOLF CLUB
FORESHORE PATHWAY
LIVERPOOL CITY COUNCIL
Drawing Title: COVER SHEET

Sheet	01 of 29
Scale	
Project Number	2200575 301
Reference	001
Drawing No.	001
Revision	A



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REV	DESCRIPTION	DATE	DRN	APP	REV	DESCRIPTION	DATE	DRN	APP
1	ISSUED FOR DEVELOPMENT APPLICATION	01/03/24	GC	DD					



Designer: DAMEN DAVIN
 Date: 25/11/24
 Drawn: GARY CHILBURD
 Approved: SHANE GRAY
 Date: 14/12/24
 DA Number: 24-020-0481-004Y
 DRAWN: NSM

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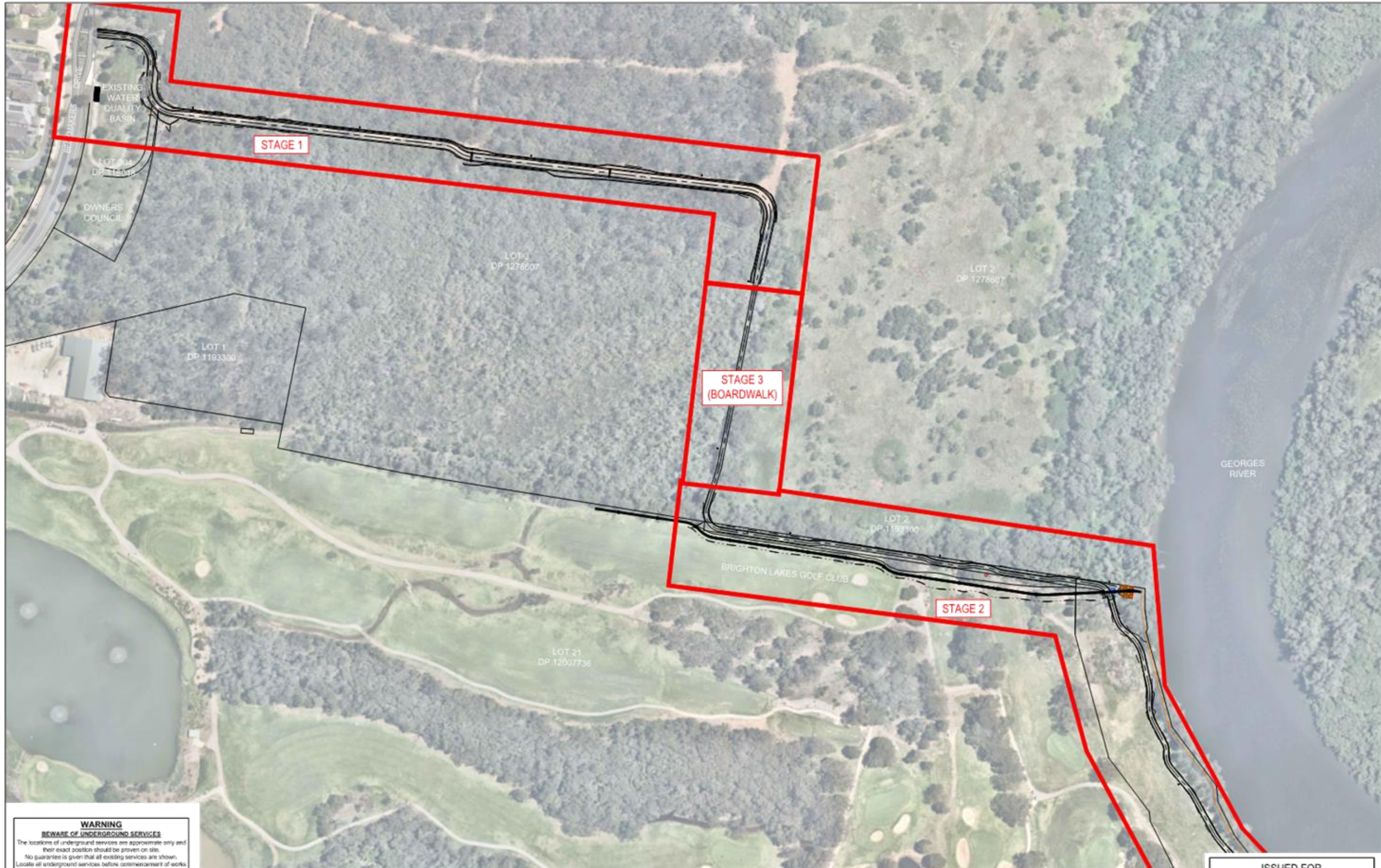
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 FORESHORE PATHWAY
 LIVERPOOL CITY COUNCIL
 Drawing Title: TYPICAL CROSS SECTIONS AND GENERAL DETAILS

Sheet	02 of 29		
Scale	NOT TO SCALE		
Project Number	Reference	Drawing No.	Revision
2200575	301	002	A

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DA-344/2024 - LOT 304 NEWBRIDGE ROAD, MOOREBANK
 85 BRICKMAKERS DRIVE, MOOREBANK
 NEW BRIGHTON GOLF COURSE AND CLUB, MOOREBANK
 WURRUNGWURI RESERVE AND 85 BRICKMAKERS DRIVE, MOOREBANK
 Preliminary Engineering Plans of the Proposal

Attachment 3



WARNING
BEWARE OF UNDERGROUND SERVICES
 The locations of underground services are approximate only and their exact position should be proven on site. No guarantee is given that all existing services are shown. Locate all underground services before commencement of works.
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REV	DESCRIPTION	DATE	DRN	APP	REV	DESCRIPTION	DATE	DRN	APP
1	ISSUED FOR DEVELOPMENT APPLICATION	07.05.24	GC	SD					



Designed: DAMEN DAVEN
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 Drawn: GARY CHILDRURE
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 GRAN PARK NSW

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Project Name: BRIGHTON LAKES RECREATION & GOLF CLUB
 FORESHORE PATHWAY
 LIVERPOOL CITY COUNCIL

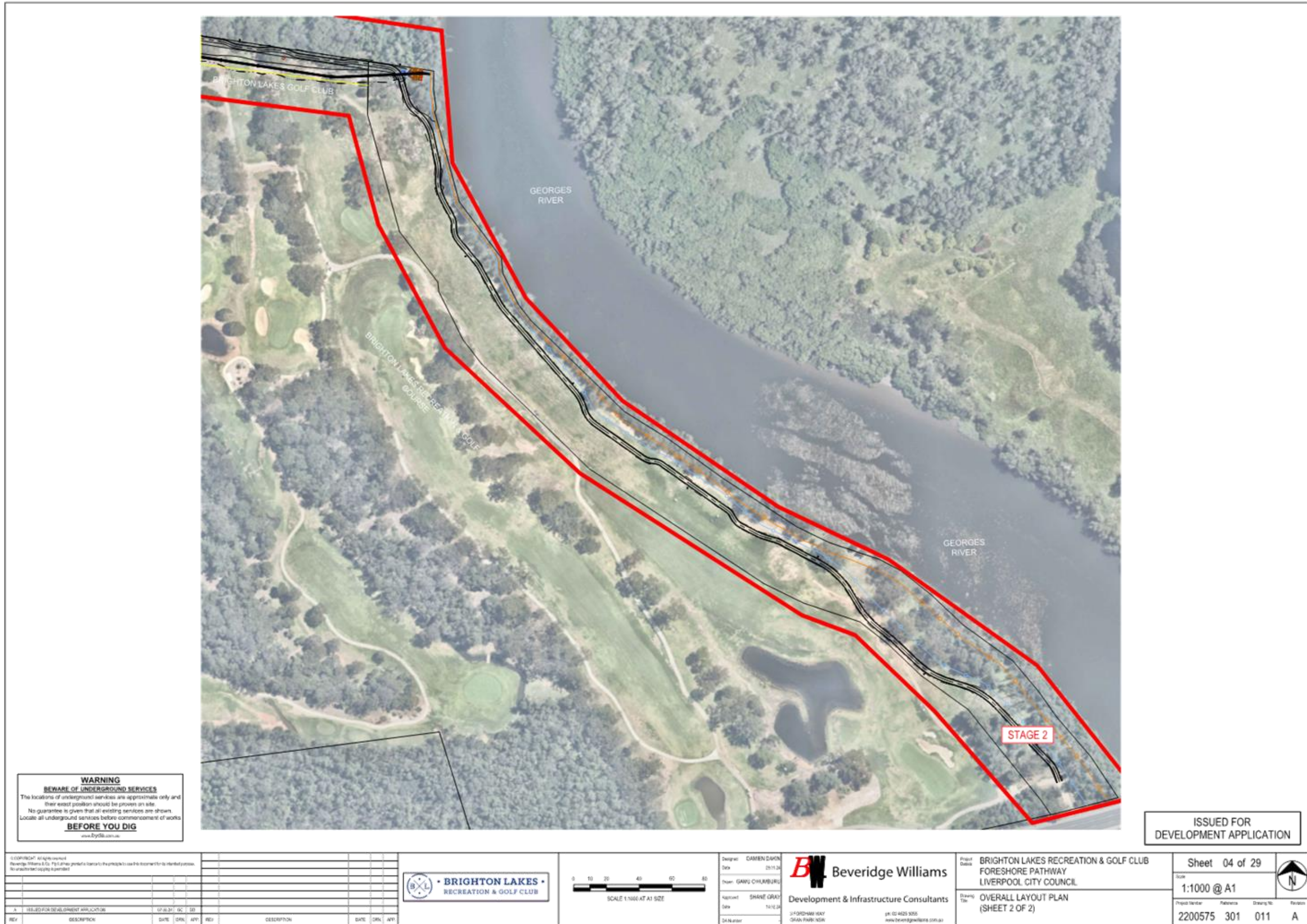
Drawing Title: OVERALL LAYOUT PLAN
 (SHEET 1 OF 2)

Sheet 03 of 29
 Scale: 1:1000 @ A1
 Project Number: 2200575
 Reference: 301
 Drawing No: 010
 Revision: A

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DA-344/2024 - LOT 304 NEWBRIDGE ROAD, MOOREBANK
 85 BRICKMAKERS DRIVE, MOOREBANK
 NEW BRIGHTON GOLF COURSE AND CLUB, MOOREBANK
 WURRUNGWURI RESERVE AND 85 BRICKMAKERS DRIVE, MOOREBANK
 Preliminary Engineering Plans of the Proposal

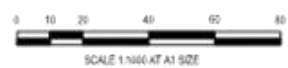
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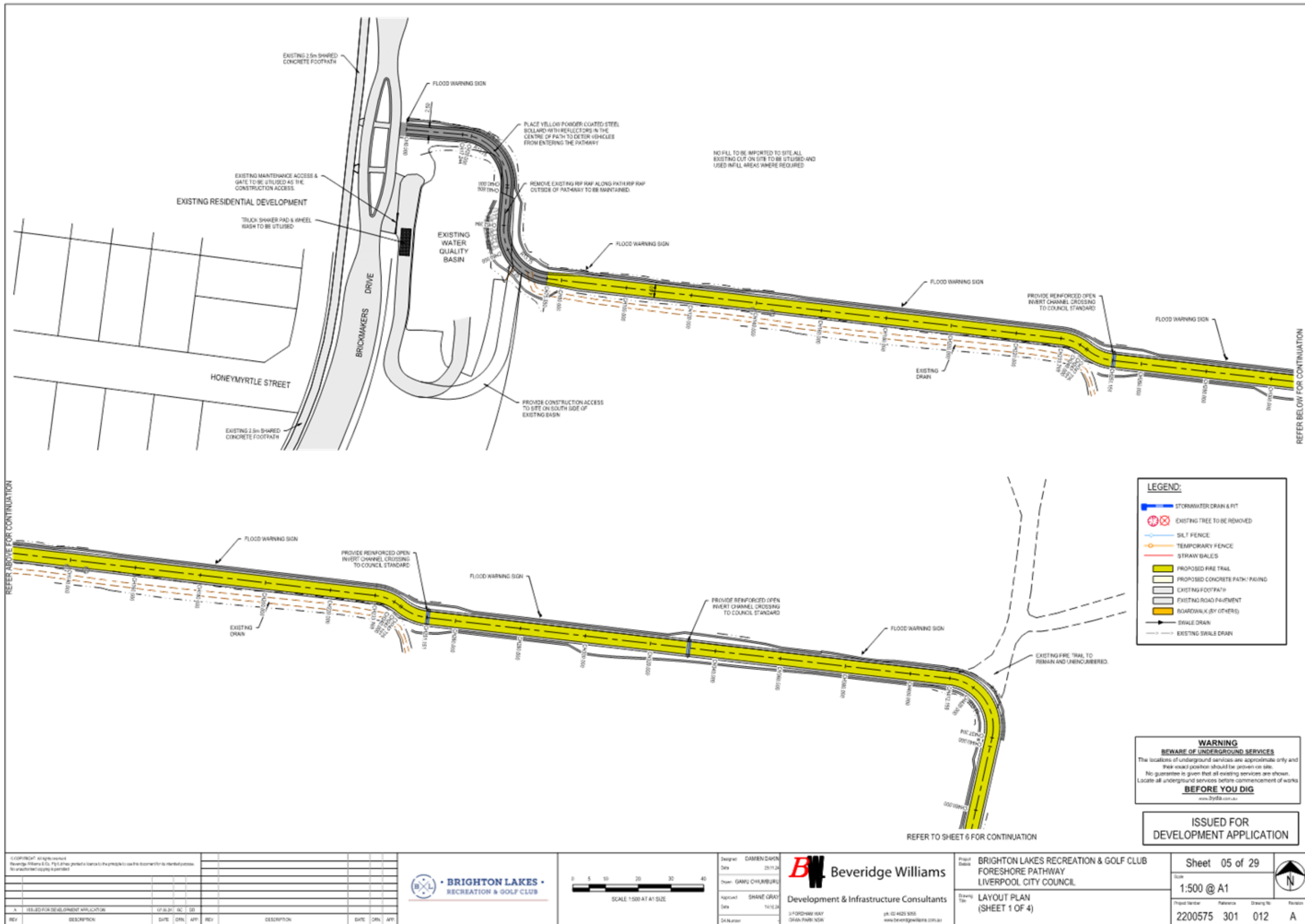
Designer: DAMEN DAVEN
 Date: 25/11/24
 Drawn: GARY CHILDRIS
 Checked: SHANE GRAY
 Date: 14/12/24
 DA Number: 24-0020488-1047 GRAN PARK NSW
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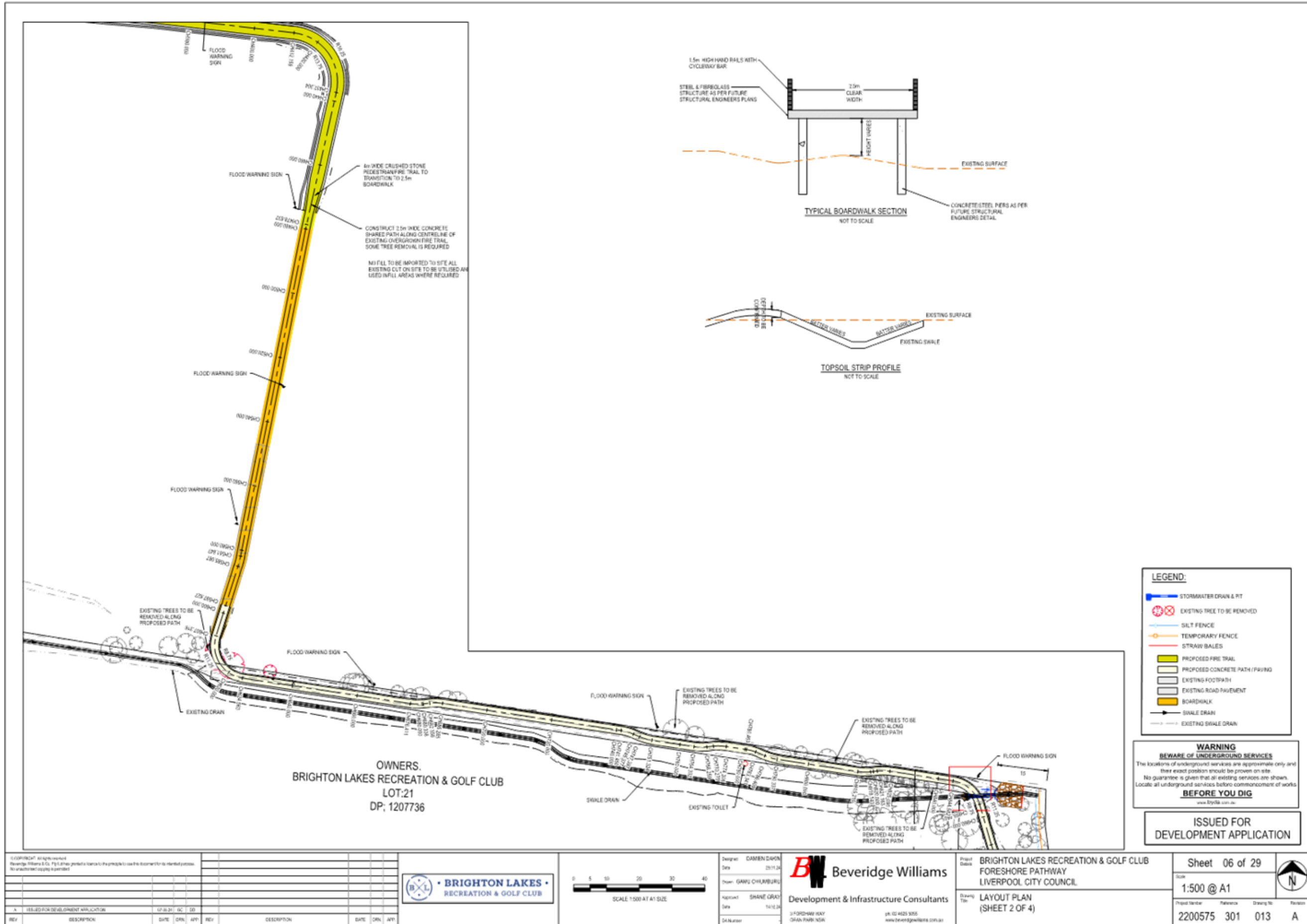
Project Name: BRIGHTON LAKES RECREATION & GOLF CLUB
 FORESHORE PATHWAY
 LIVERPOOL CITY COUNCIL
 Drawing Title: OVERALL LAYOUT PLAN
 (SHEET 2 OF 2)

Sheet 04 of 29
 Scale: 1:1000 @ A1
 Project Number: 2200575
 Reference: 301
 Drawing No: 011
 Revision: A

DA-344/2024 - LOT 304 NEWBRIDGE ROAD, MOOREBANK
 85 BRICKMAKERS DRIVE, MOOREBANK
 NEW BRIGHTON GOLF COURSE AND CLUB, MOOREBANK
 WURRUNGWURI RESERVE AND 85 BRICKMAKERS DRIVE, MOOREBANK
 Preliminary Engineering Plans of the Proposal

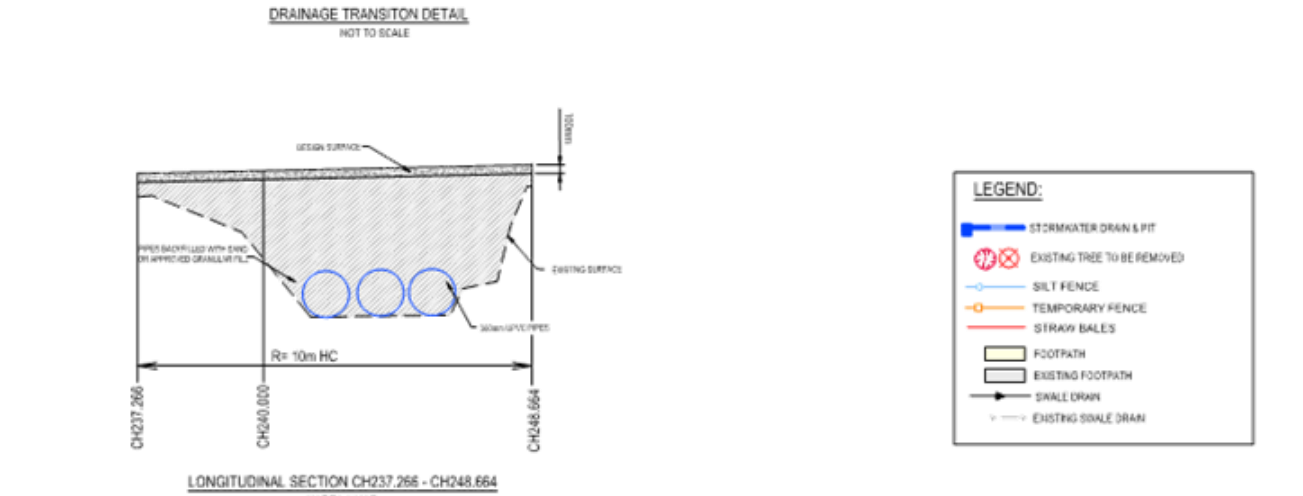
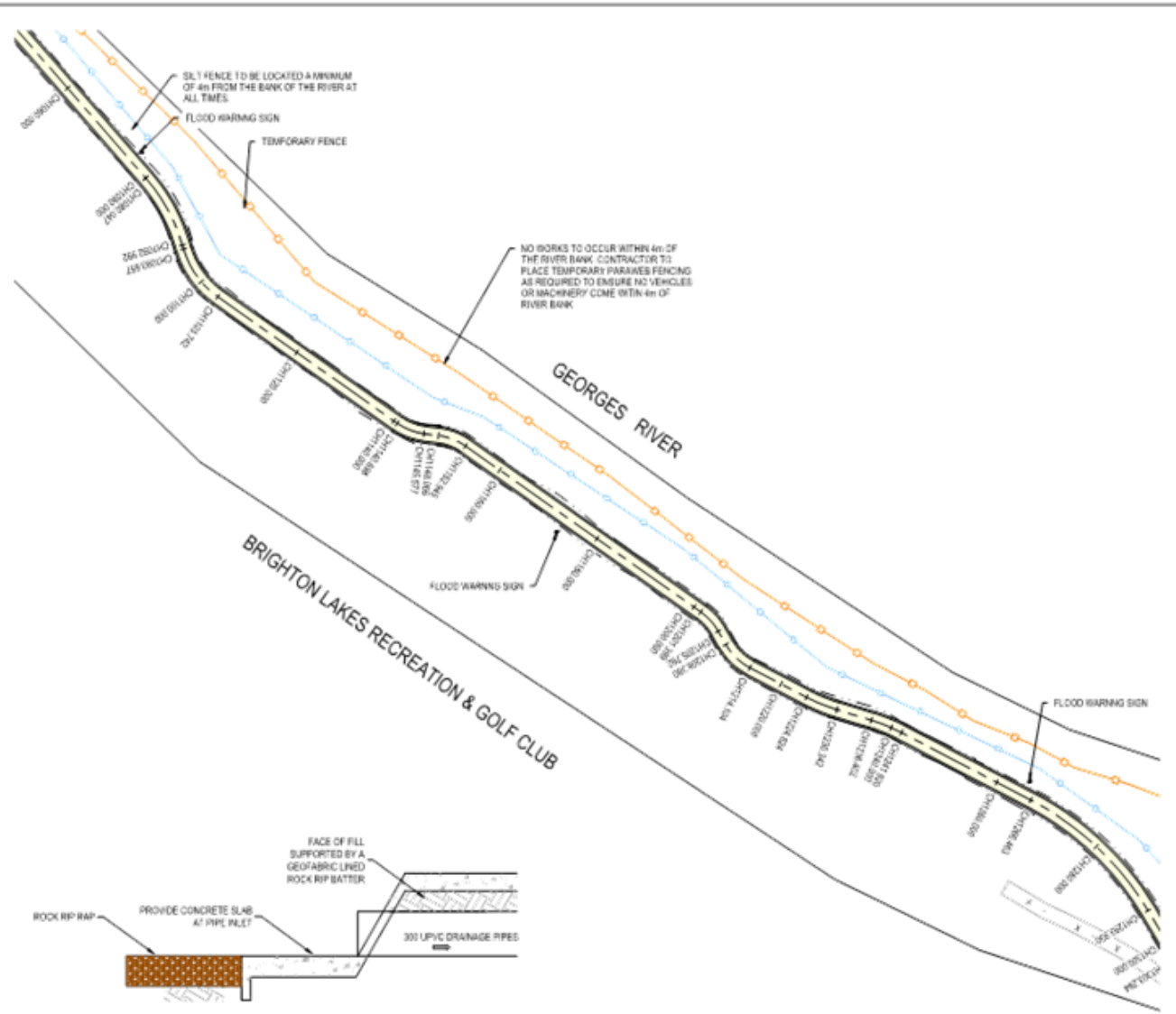
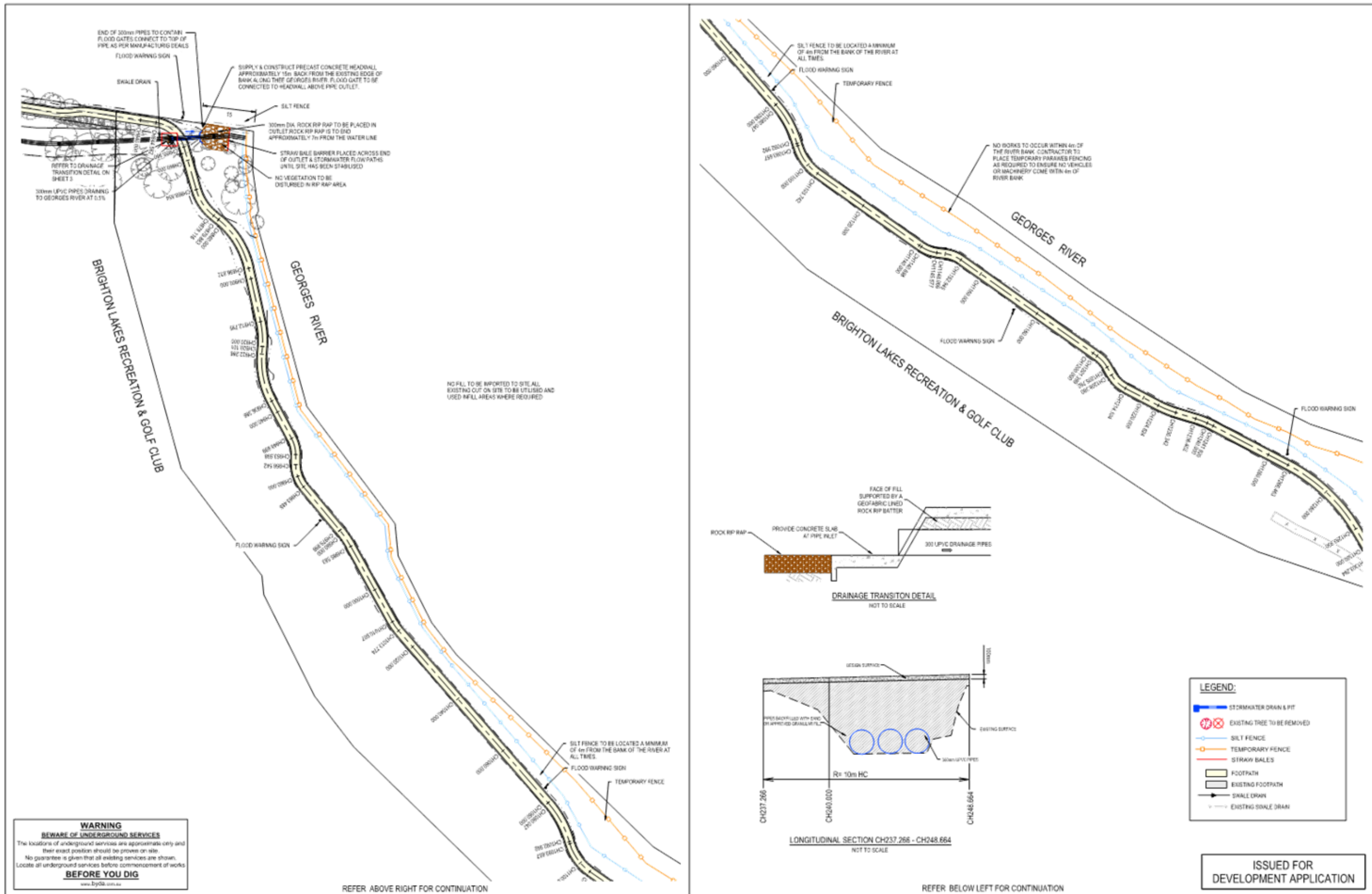
Attachment 3





DA-344/2024 - LOT 304 NEWBRIDGE ROAD, MOOREBANK
 85 BRICKMAKERS DRIVE, MOOREBANK
 NEW BRIGHTON GOLF COURSE AND CLUB, MOOREBANK
 WURRUNGWURI RESERVE AND 85 BRICKMAKERS DRIVE, MOOREBANK
 Preliminary Engineering Plans of the Proposal

Attachment 3



LEGEND:

- STORMWATER DRAIN & PIT
- EXISTING TREE TO BE REMOVED
- SILT FENCE
- TEMPORARY FENCE
- STRAW BALES
- FOOTPATH
- EXISTING FOOTPATH
- SNAKE DRAIN
- EXISTING SNAKE DRAIN

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 The locations of underground services are approximate only and their exact position should be proven on site. No guarantee is given that all existing services are shown. Locate all underground services before commencement of works.
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REV	DESCRIPTION	DATE	DRN	APP	REV	DESCRIPTION	DATE	DRN	APP
1	ISSUED FOR DEVELOPMENT APPLICATION	07.03.24	GC	SD					



Designed: DAMEN DAVEN
 Date: 25/11/24
 Drawn: GARY CHILBURD
 Approved: SHANE GRAY
 Date: 14/12/24
 DA Number: 24-0202488-0001
 DRAWN: PAVN NGAI

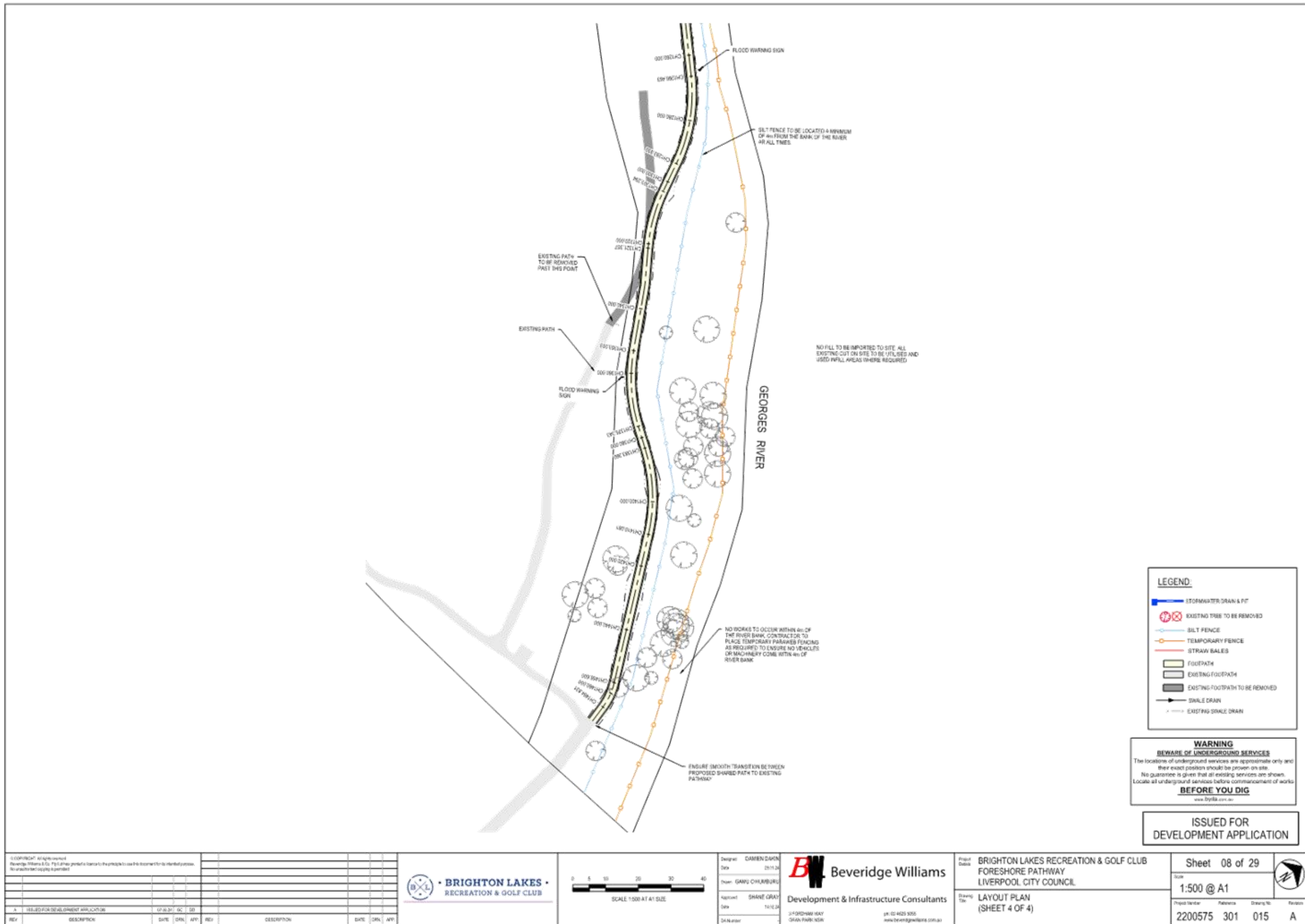
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 24-0202488-0001
 85 BRICKMAKERS DRIVE, MOOREBANK NSW
 ph: 02 4025 5200
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Project Name: BRIGHTON LAKES RECREATION & GOLF CLUB
 FORESHORE PATHWAY
 LIVERPOOL CITY COUNCIL

Project Number: 2200575
 Reference: 301
 Drawing No: 014
 Revision: A

Sheet 07 of 29
 Scale: 1:500 @ A1
 Project Number: 2200575
 Reference: 301
 Drawing No: 014
 Revision: A

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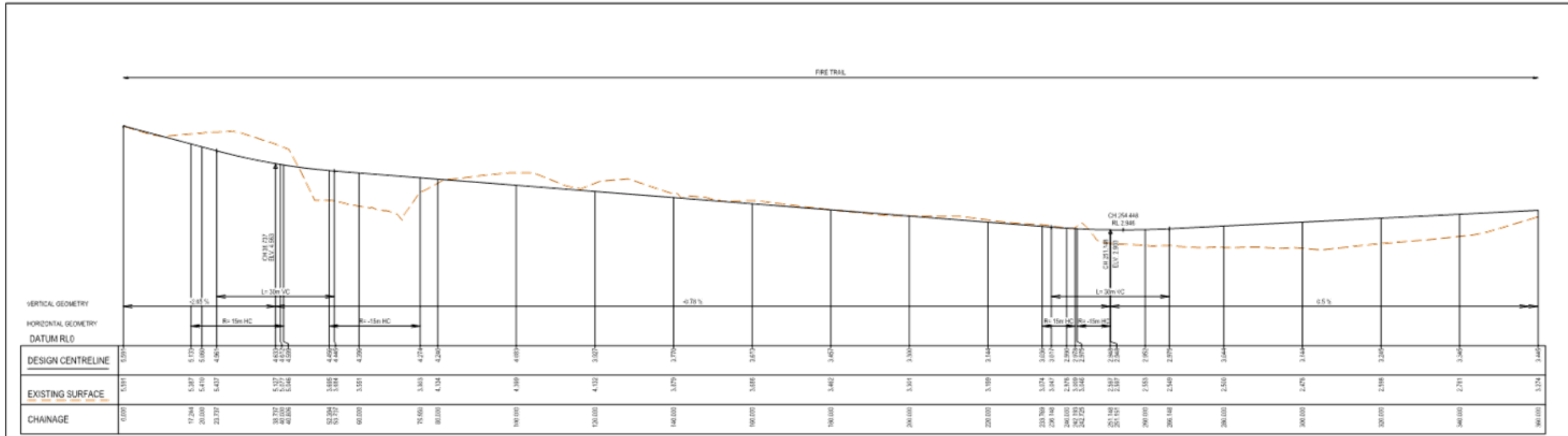
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1	ISSUED FOR DEVELOPMENT APPLICATION	07.05.24	GC	SD					



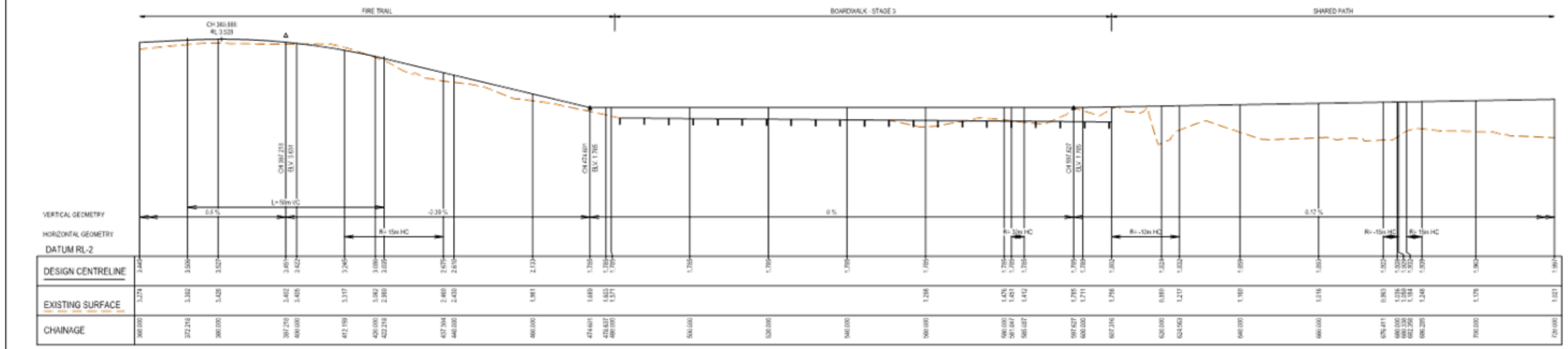
Designed: DAMEN DAVEN
Date: 25/11/24
Drawn: GARY CHILDRISURE
Approved: SHARLE GRAY
Date: 14/12/24
DA Number: 24-0202488-0047
GRAN PARK NSW
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Project Name: BRIGHTON LAKES RECREATION & GOLF CLUB
FORESHORE PATHWAY
LIVERPOOL CITY COUNCIL
Drawing Title: LAYOUT PLAN
(SHEET 4 OF 4)

Sheet 08 of 29
Scale: 1:500 @ A1
Project Number: 2200575
Reference: 301
Drawing No: 015
Revision: A



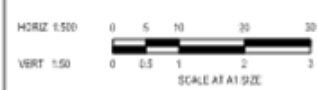
FIRE TRAIL LONGITUDINAL SECTION



FIRE TRAIL / BOARDWALK LONGITUDINAL SECTION

ISSUED FOR DEVELOPMENT APPLICATION

REV	DISPOSITION	DATE	DATE	APP	REV	DISPOSITION	DATE	DATE	APP
1	ISSUED FOR DEVELOPMENT APPLICATION	07/03/24	GC	GC					



Designed: DAMEN DAVEN
 Date: 25/11/24
 Drawn: GARY CHILDRIS
 Approved: SHANE GRAY
 Date: 14/12/24
 Draw Number: 14-020-048-044 (GRAN PARK NSM)
 Project: 14-020-048-044 (GRAN PARK NSM)
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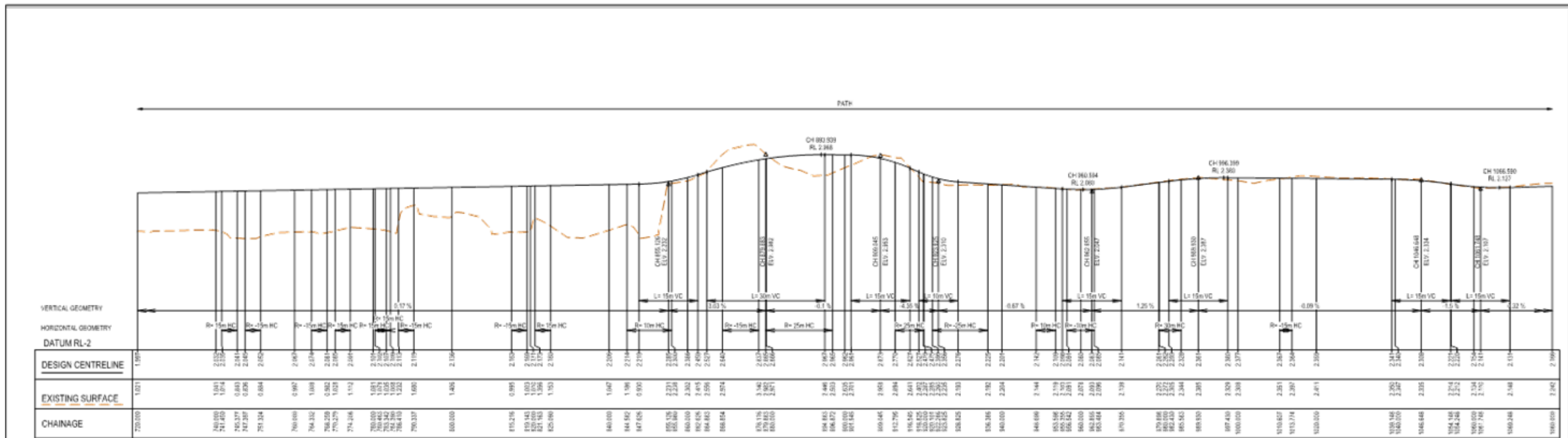
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Project: BRIGHTON LAKES RECREATION & GOLF CLUB
 FORESHORE PATHWAY
 LIVERPOOL CITY COUNCIL

Drawing Title: PATH LONGITUDINAL SECTIONS
 (SHEET 1 OF 3)

Sheet	09 of 29
Scale	1:500 H 1:50 V @ A1
Project Number	2200575
Revision	301
Drawing No	101
Revision	A

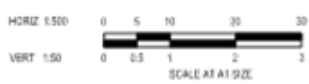
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PATH LONGITUDINAL SECTION

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REV	DISCUSSION	DATE	CHK	APP	REV	DISCUSSION	DATE	CHK	APP
1	ISSUED FOR DEVELOPMENT APPLICATION	07/03/24	GC	GD					



Designed: DAMEN DAVEN
Date: 25/11/24
Drawn: GARY CHILBURNE
Approved: SHANE GRAY
Date: 14/12/24
Dn Number: 14-020-0481 (WAY GRAN PARK NSW)

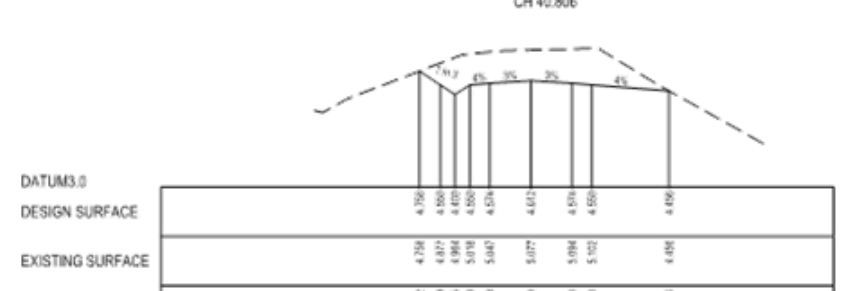
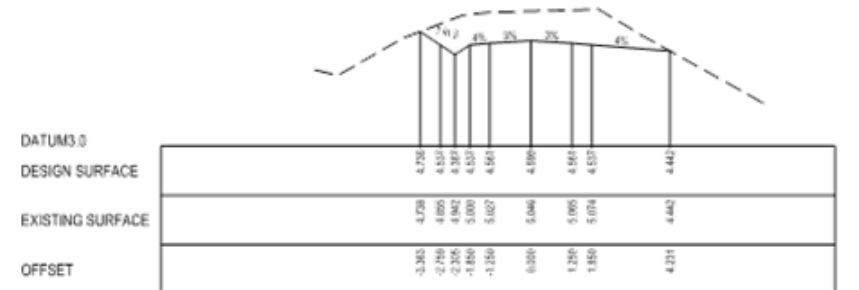
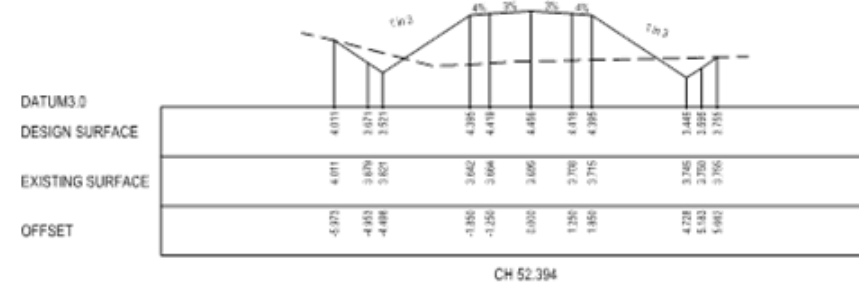
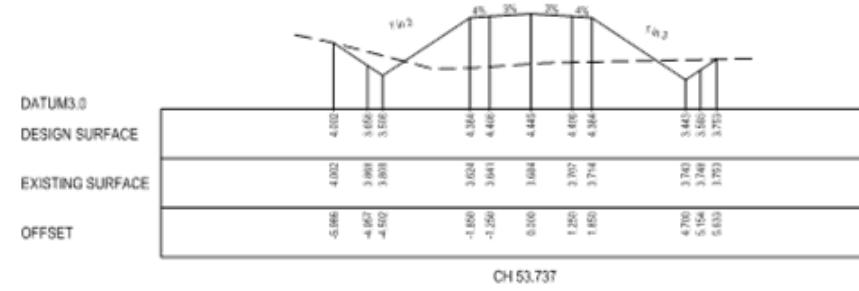
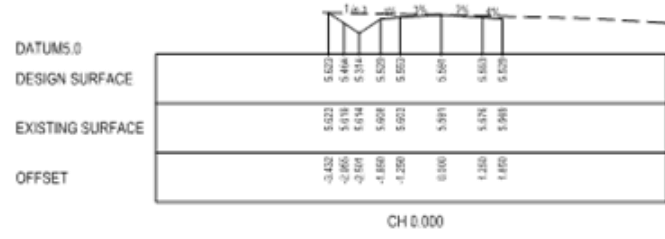
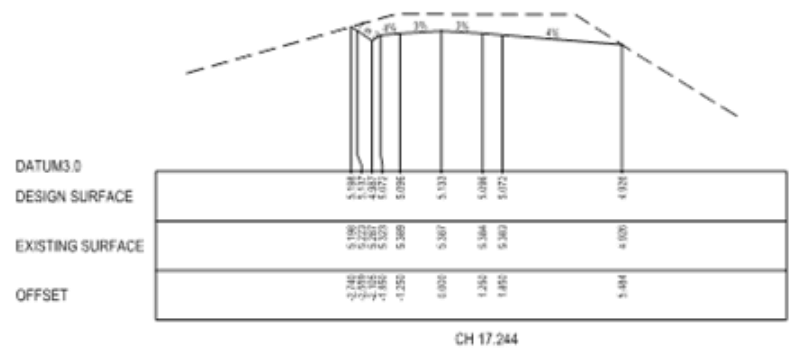
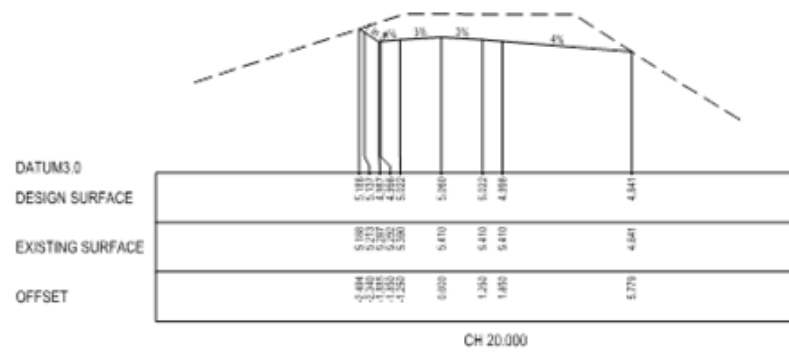
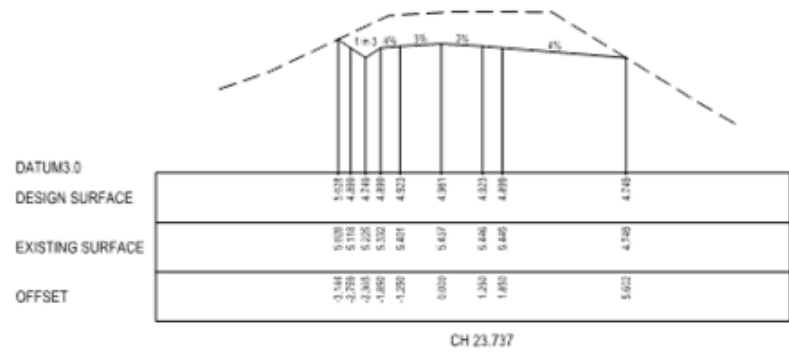
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Project Name: BRIGHTON LAKES RECREATION & GOLF CLUB
FORESHORE PATHWAY
LIVERPOOL CITY COUNCIL

Drawing Title: PATH LONGITUDINAL SECTIONS
(SHEET 2 OF 3)

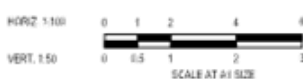
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Project Number	2200575
Revision	301
Drawing No	102
Revision	A

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1	ISSUED FOR DEVELOPMENT APPLICATION	01/05/24	GC	GC					

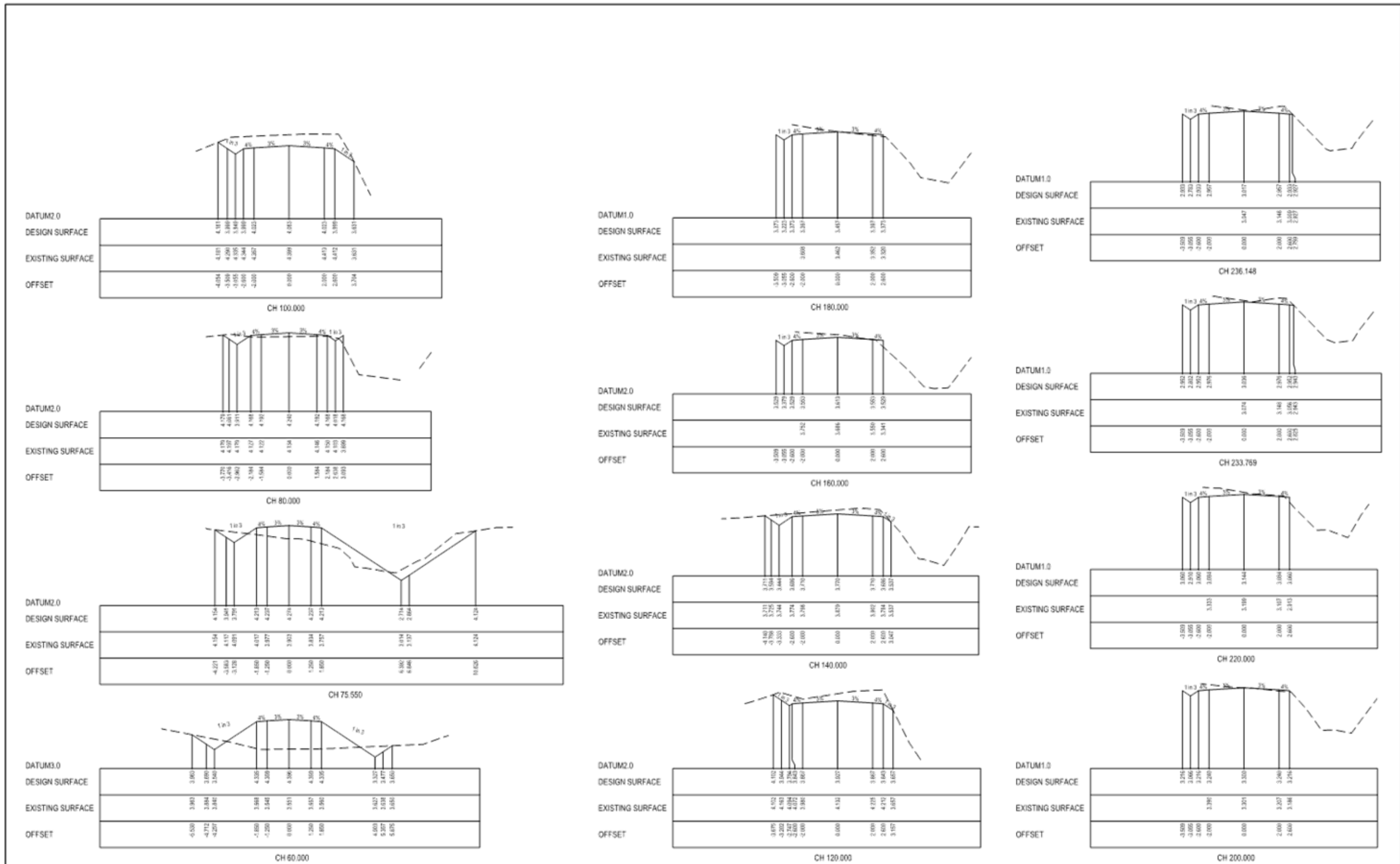


Designer: DAMIEN DAVEN
 Date: 25/11/24
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 Checked: SHANE GRAY
 Date: 14/12/24
 DA Number: 24-002-0481-004
 GRAIN PARK NSW

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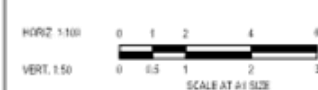
Project Name: BRIGHTON LAKES RECREATION & GOLF CLUB
 FORESHORE PATHWAY
 LIVERPOOL CITY COUNCIL
 Drawing Title: PATH CROSS SECTIONS
 (SHEET 1 OF 17)

Sheet	12 of 29
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Project Number	2200575
Reference	301
Drawing No	200
Revision	A



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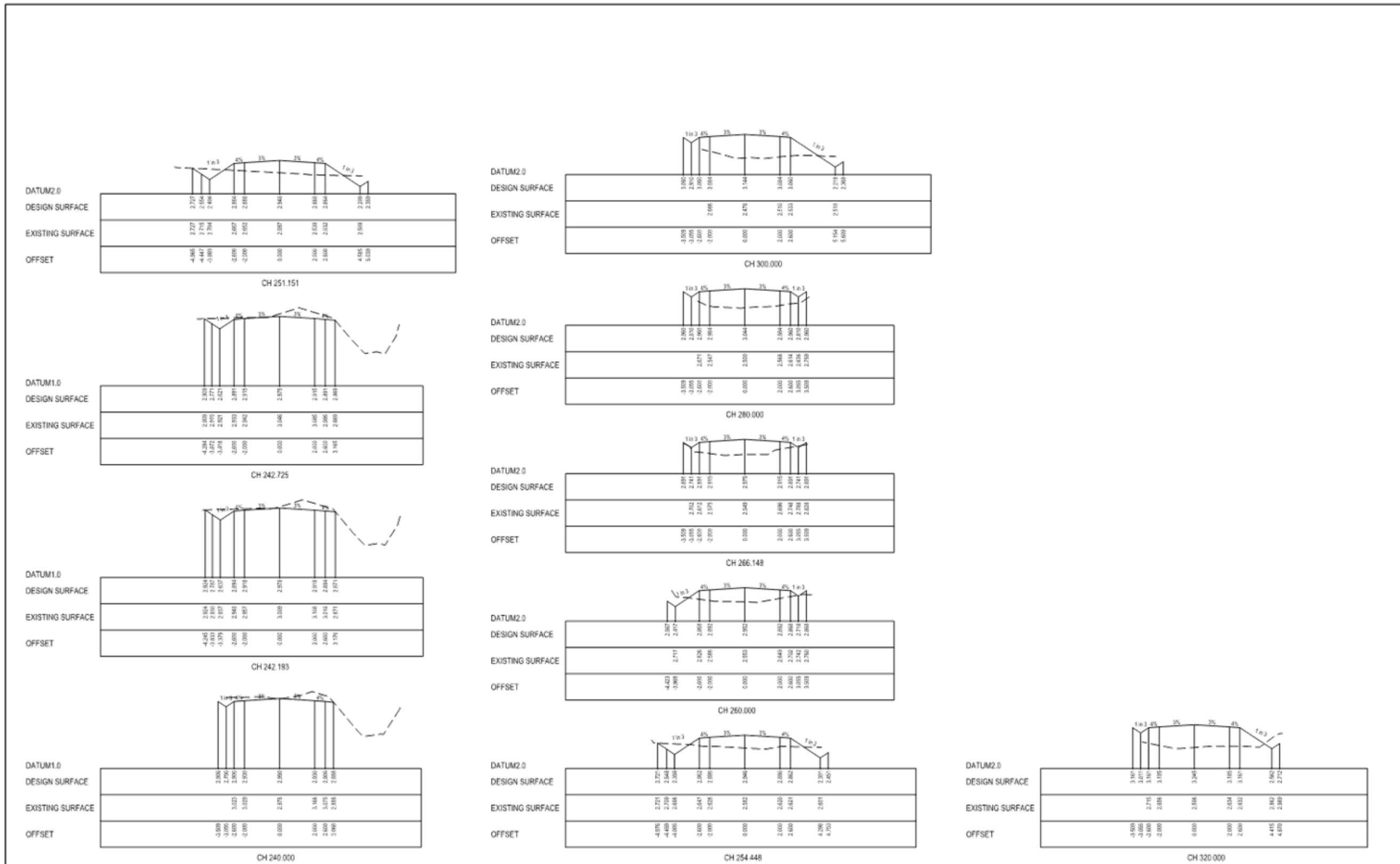
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REV	DESCRIPTION	DATE	DRN	APP
1	ISSUED FOR DEVELOPMENT APPLICATION	07/05/24	GC	GC



Designer: DAMIEN DAVEN
 Date: 25/11/24
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Project Name: BRIGHTON LAKES RECREATION & GOLF CLUB
 FORESHORE PATHWAY
 LIVERPOOL CITY COUNCIL
 Drawing Title: PATH CROSS SECTIONS
 (SHEET 2 OF 17)

Sheet	13 of 29
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Project Number	2200575
Reference	301
Revision	201
Revision	A



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NO	ISSUED FOR DEVELOPMENT APPLICATION	01/01/24	GC
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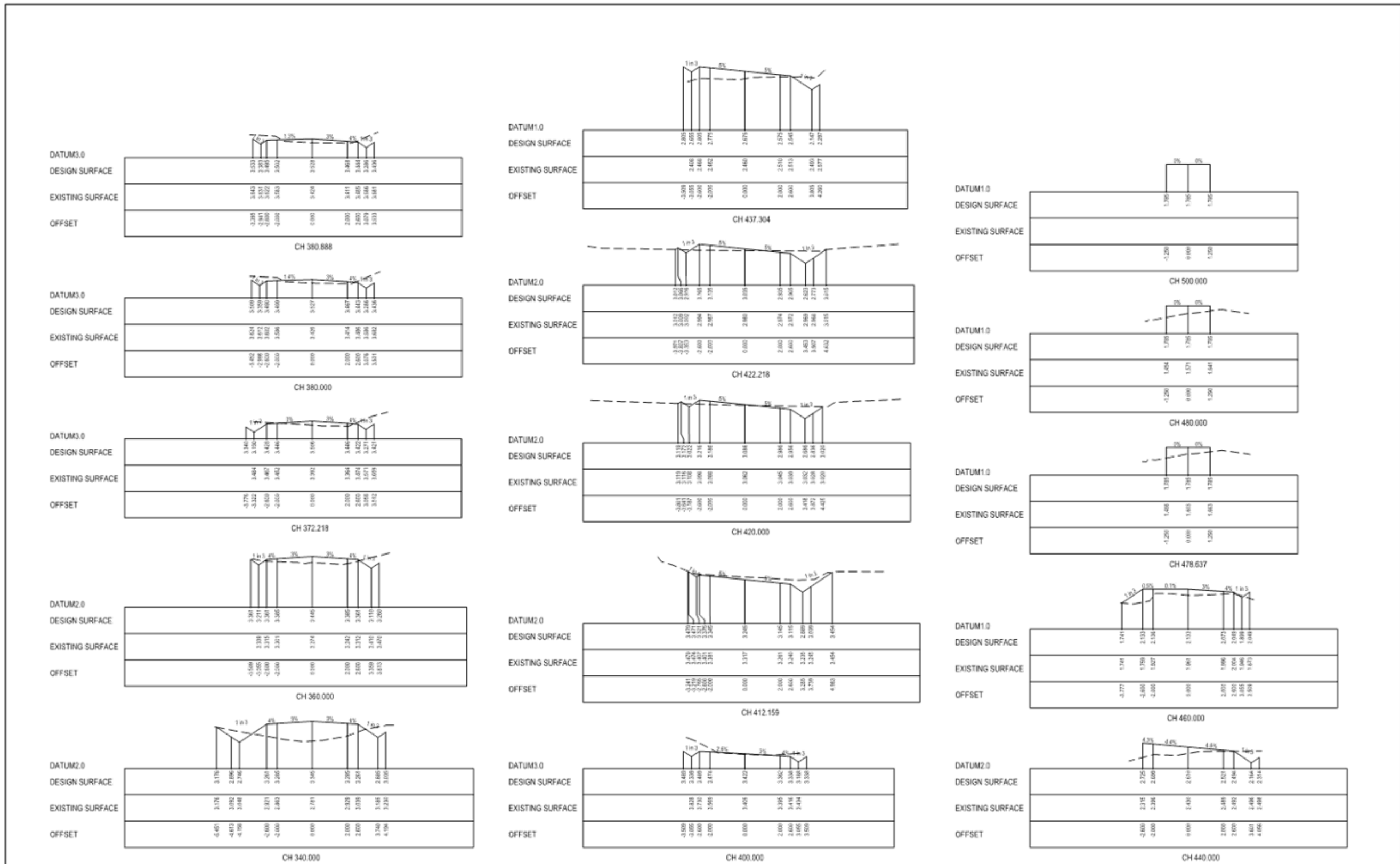
Designed: DAMEN DAVEN
 Date: 25/11/24
 Drawn: GARY CHILBURD
 Approved: SHANE GRAY
 Date: 14/12/24
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 12 CHICHESTER ROAD
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Project Name: BRIGHTON LAKES RECREATION & GOLF CLUB
 FORESHORE PATHWAY
 LIVERPOOL CITY COUNCIL

Drawing Title: PATH CROSS SECTIONS
 (SHEET 3 OF 17)

Sheet	14 of 29
Scale	1:100 H 1:50 V @ A1
Project Number	2200575
Reference	301
Drawing No	202
Revision	A



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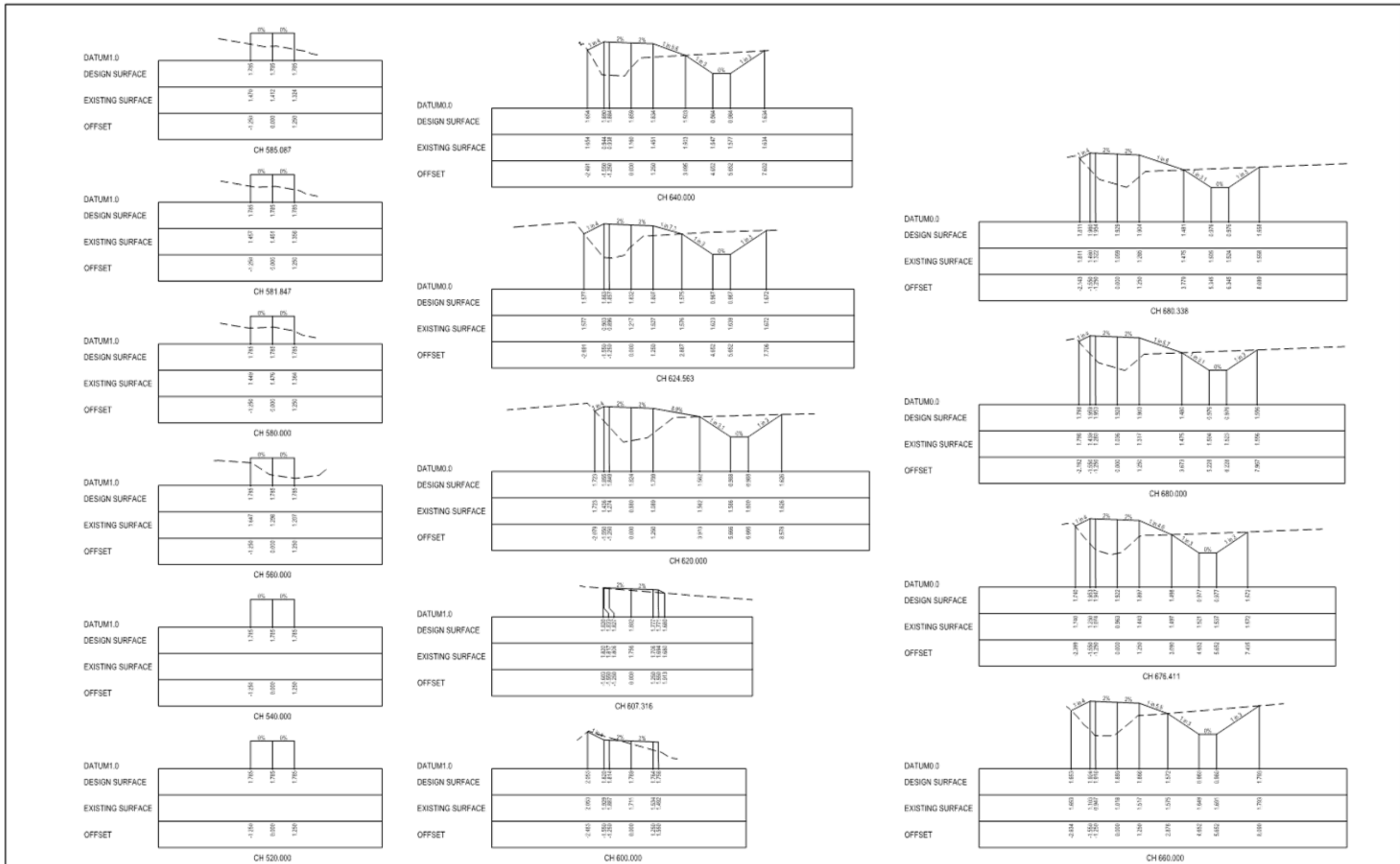


Designed: DAMEN DAVIN
 Date: 25/11/24
 Drawn: GARY CHILBURNE
 Approved: SHANE GRAY
 Date: 14/12/24
 Dra Number:

Development & Infrastructure Consultants
 17-19 CHICHESTER ROAD
 GRANVILLE NSW
 ph: 02 4025 5205
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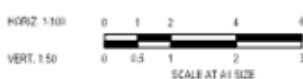
Project Name: BRIGHTON LAKES RECREATION & GOLF CLUB
 FORESHORE PATHWAY
 LIVERPOOL CITY COUNCIL
 Drawing Title: PATH CROSS SECTIONS
 (SHEET 4 OF 17)

Sheet	15 of 29
Scale	1:100 H 1:50 V @ A1
Project Number	2200575
Reference	301
Drawing No	203
Revision	A



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REV	DESCRIPTION	DATE	DRN	APP

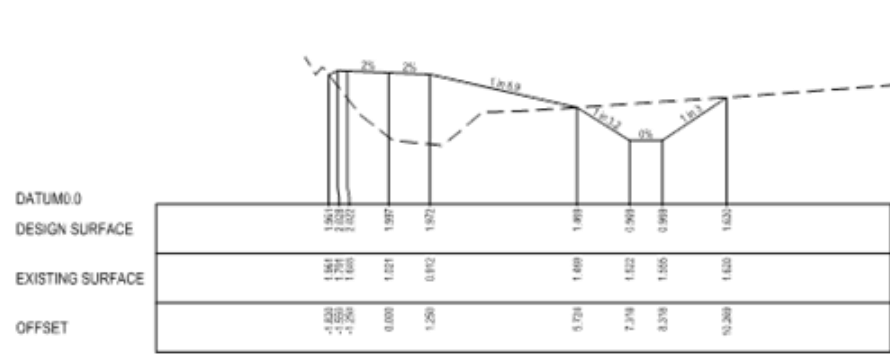


Designer: DAMIEN DAVEN
 Date: 25/11/24
 Drawn: GARY CHILBURD
 Approved: SHANE GRAY
 Date: 14/12/24
 SA Number:

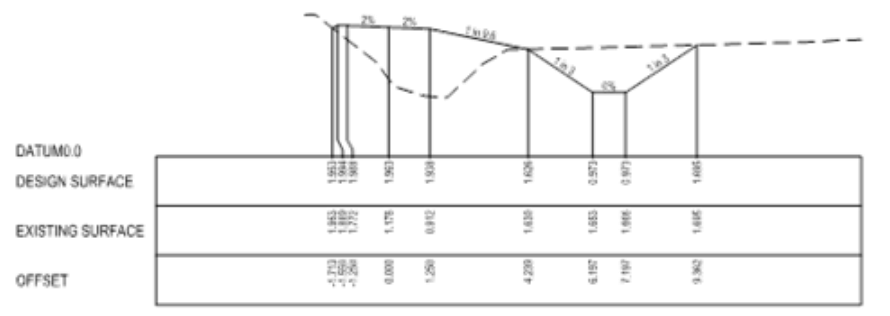
Development & Infrastructure Consultants
 2-4 CHERRY HAY GRAN PAVILION
 48/482 5305
 www.beveridgewilliams.com.au

Project Name: BRIGHTON LAKES RECREATION & GOLF CLUB FORESHORE PATHWAY LIVERPOOL CITY COUNCIL
 Drawing Title: PATH CROSS SECTIONS (SHEET 5 OF 17)

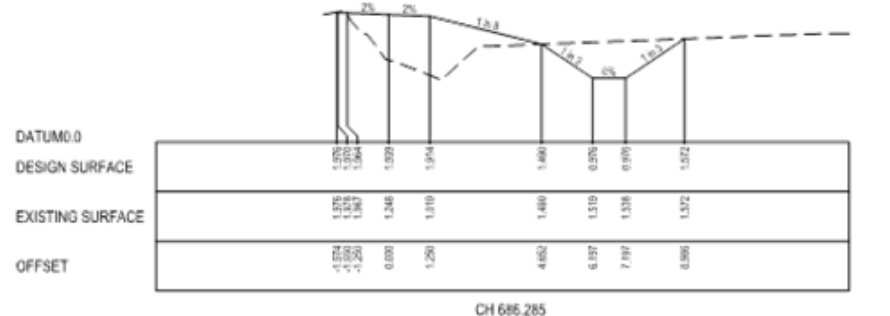
Sheet	16 of 29
Scale	1:100 H 1:50 V @ A1
Project Number	2200575
Reference	301
Revision	204
Person	A



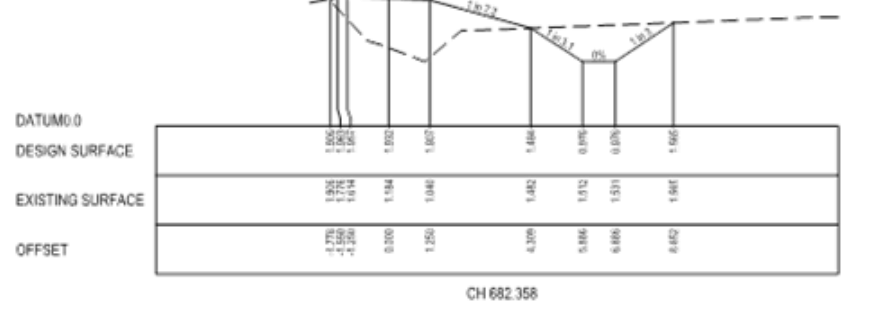
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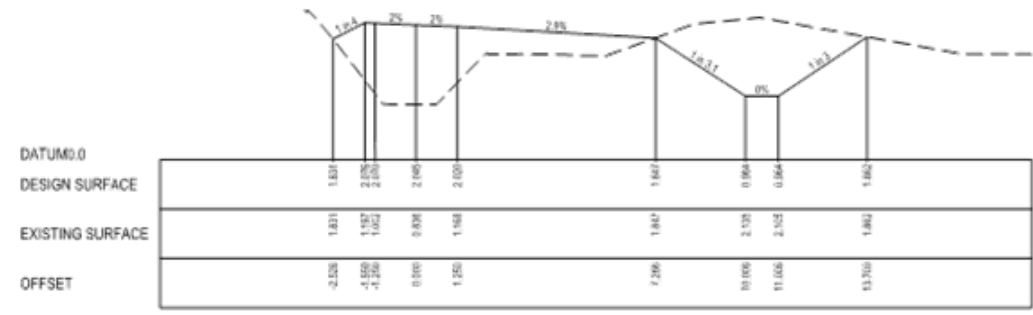
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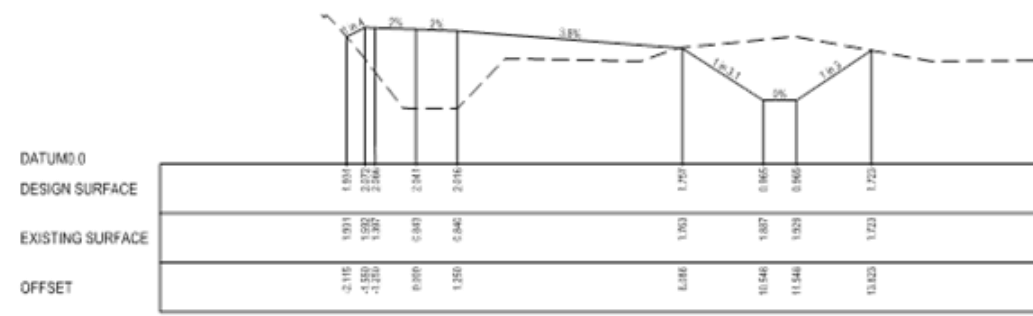
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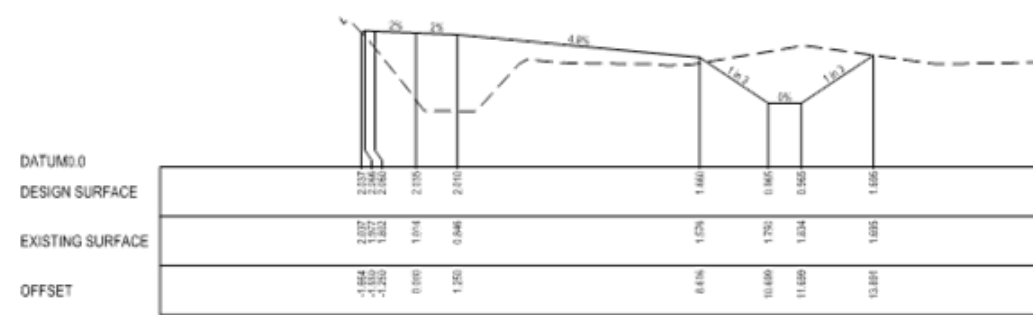
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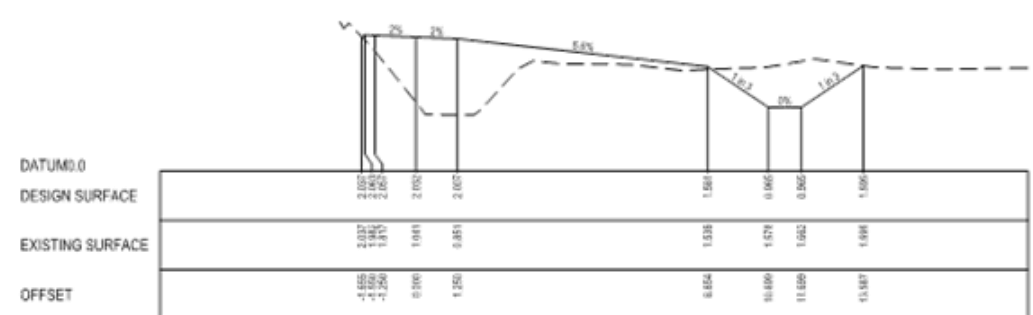
CH 747.397



CH 745.377



CH 741.450



CH 740.000

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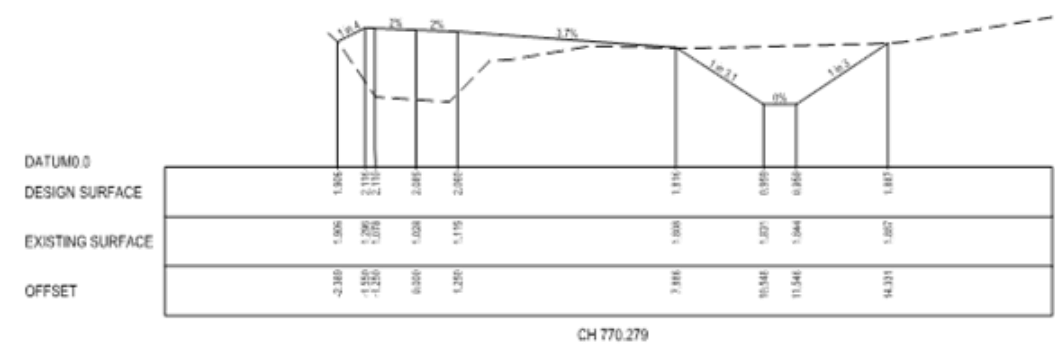
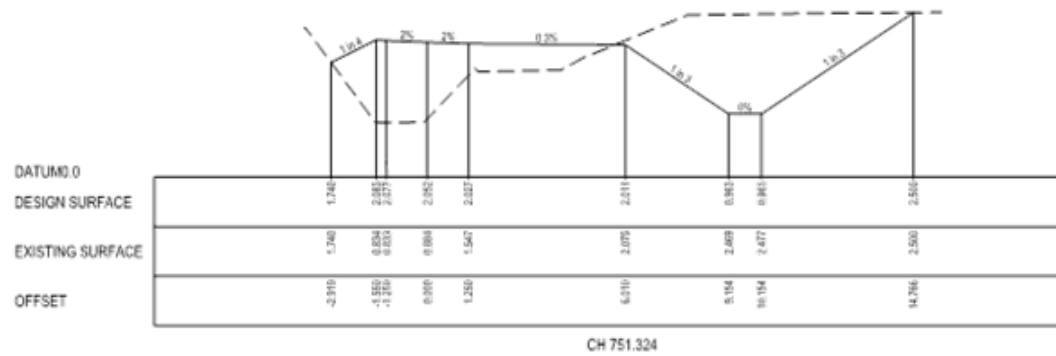
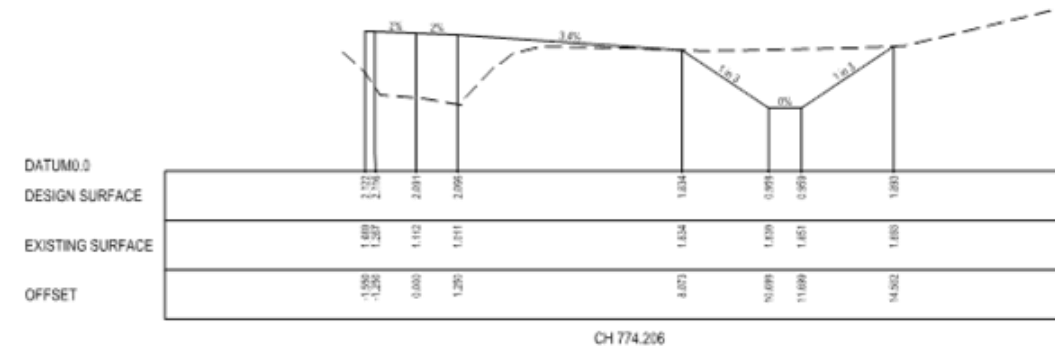
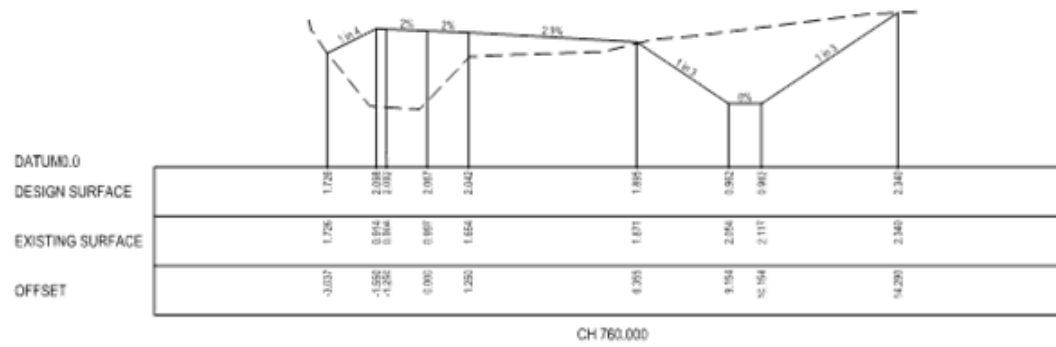
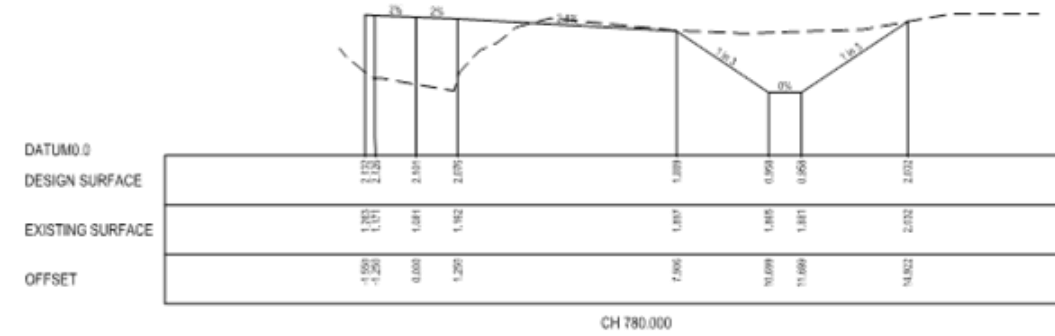
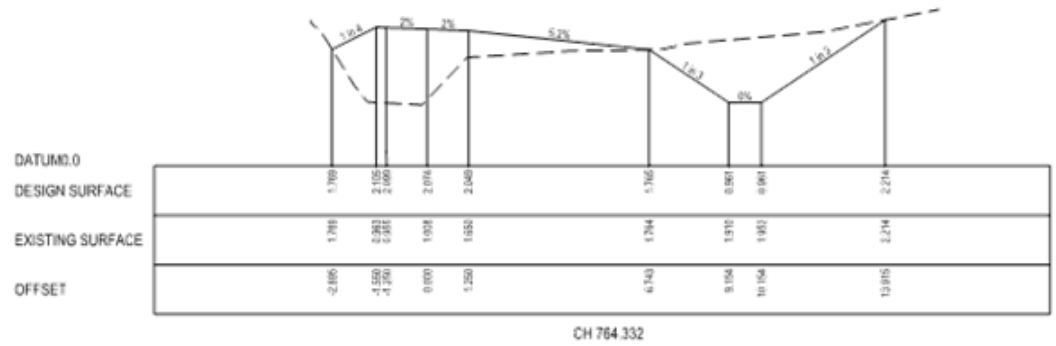
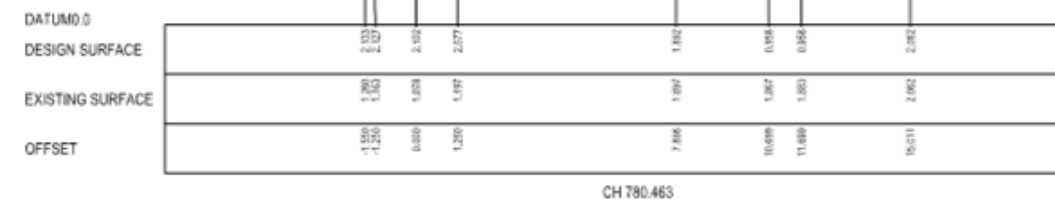
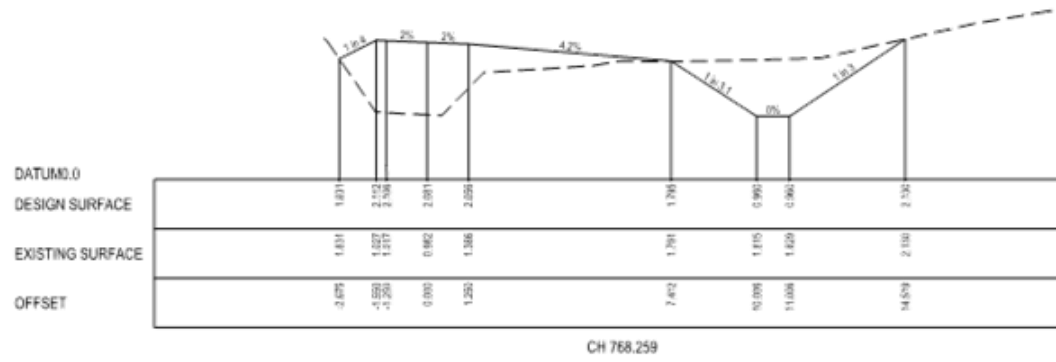


Designer: DAMIEN DAVEN
 Date: 25/11/24
 Drawn: GARY CHILDRIS
 Checked: SHANE GRAY
 Date: 14/12/24
 DA Number: 24-020-0481-004
 GRAIN PARK NSW

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Project Name: BRIGHTON LAKES RECREATION & GOLF CLUB
 FORESHORE PATHWAY
 LIVERPOOL CITY COUNCIL
 Drawing Title: PATH CROSS SECTIONS
 (SHEET 6 OF 17)

Sheet	17 of 29
Scale	1:100 H 1:50 V @ A1
Project Number	2200575
Reference	301
Drawing No	205
Revision	A



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NO.	ISSUED FOR DEVELOPMENT APPLICATION	01/01/24	GC	DD
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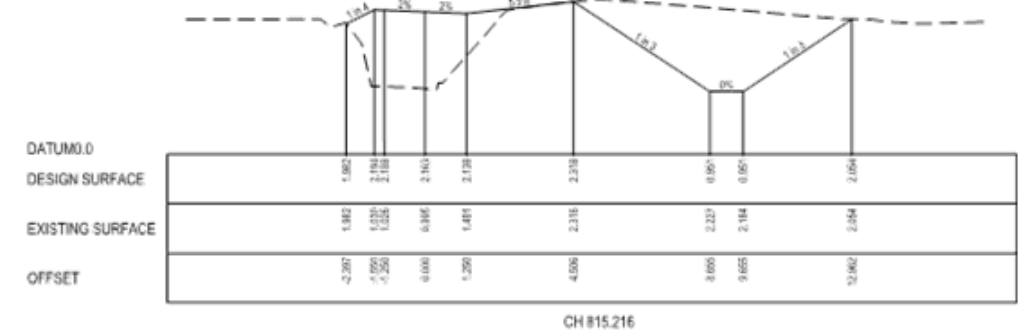
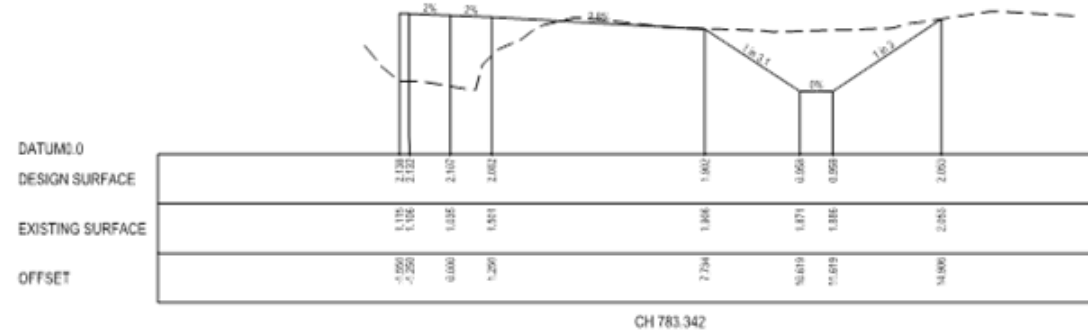
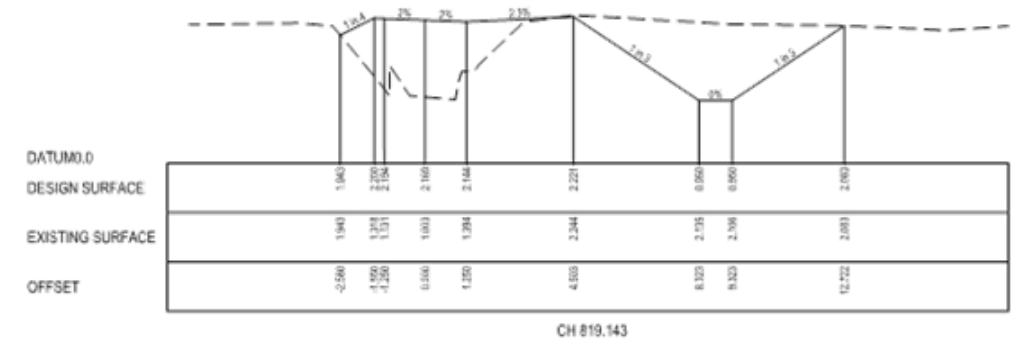
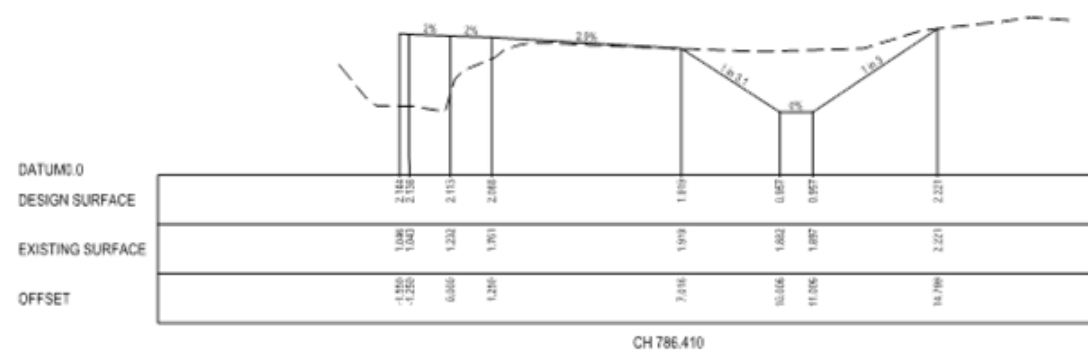
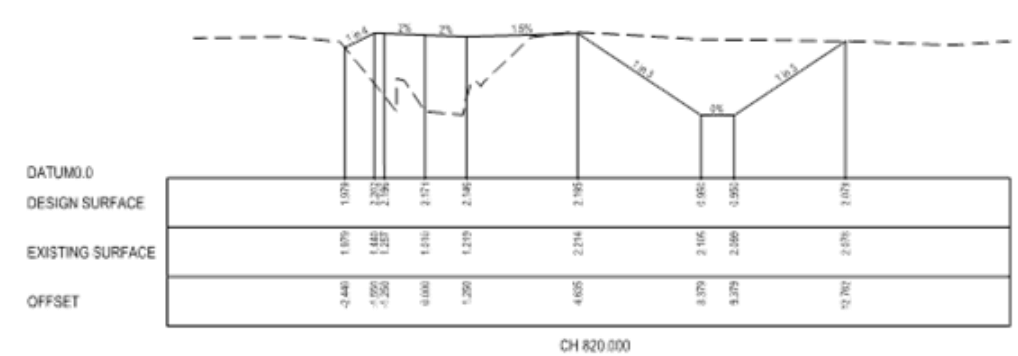
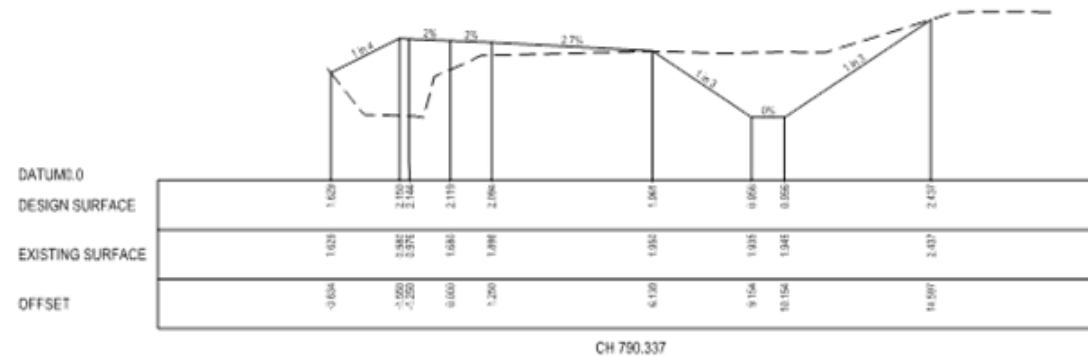
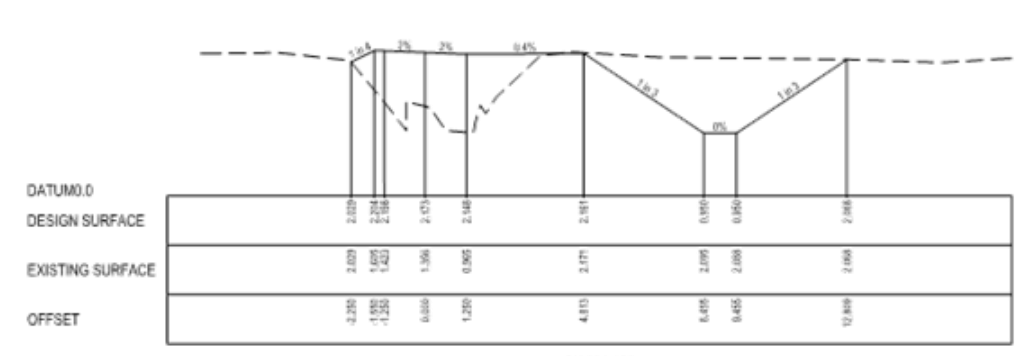
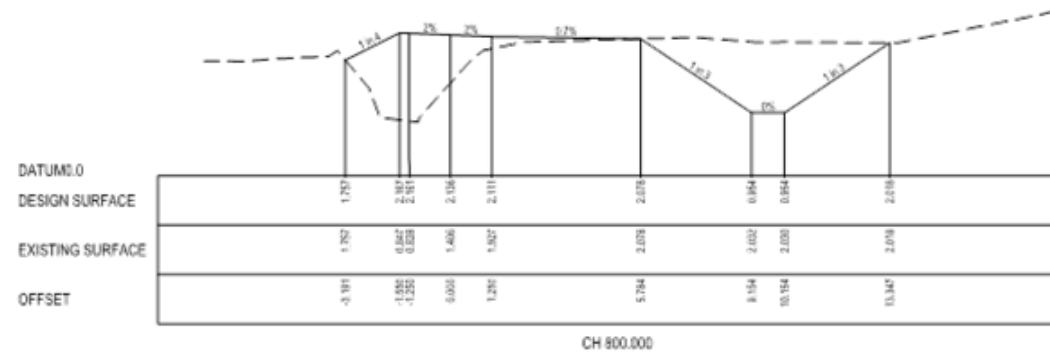
Designer: DAMEN DAVEN
 Date: 25/11/24
 Drawn: GARY CHILDRIS
 Approved: SHANE GRAY
 Date: 14/12/24
 DA Number:

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Project Name: BRIGHTON LAKES RECREATION & GOLF CLUB
 Project Location: FRESHORE PATHWAY LIVERPOOL CITY COUNCIL
 Drawing Title: PATH CROSS SECTIONS (SHEET 7 OF 17)

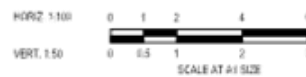
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Scale	1:100 H 1:50 V @ A1
Project Number	2200575
Reference	301
Drawing No.	206
Revision	A

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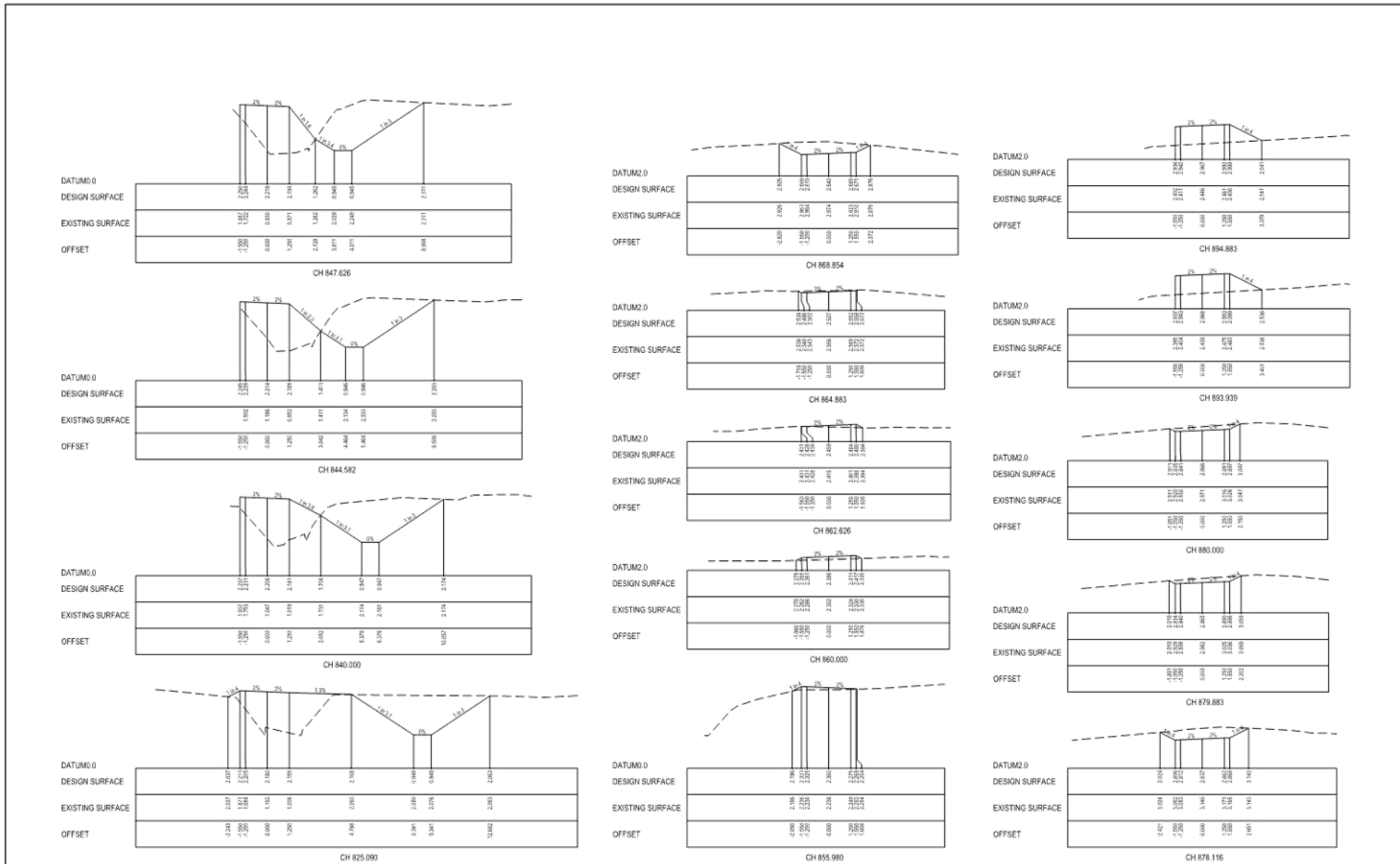


Designer: DAMIEN DAVIN
 Date: 28/11/24
 Drawn: GARY CHILDRURE
 Approved: SHANE GRAY
 Date: 14/12/24
 Scale Number:

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 www.beveridgewilliams.com.au

Project Name: BRIGHTON LAKES RECREATION & GOLF CLUB
 FORESHORE PATHWAY
 LIVERPOOL CITY COUNCIL
 Drawing Title: PATH CROSS SECTIONS
 (SHEET 8 OF 17)

Sheet 19 of 29	Scale 1:100 H 1:50 V @ A1
Project Number 2200575	Reference 301
Drawing No 207	Revision A



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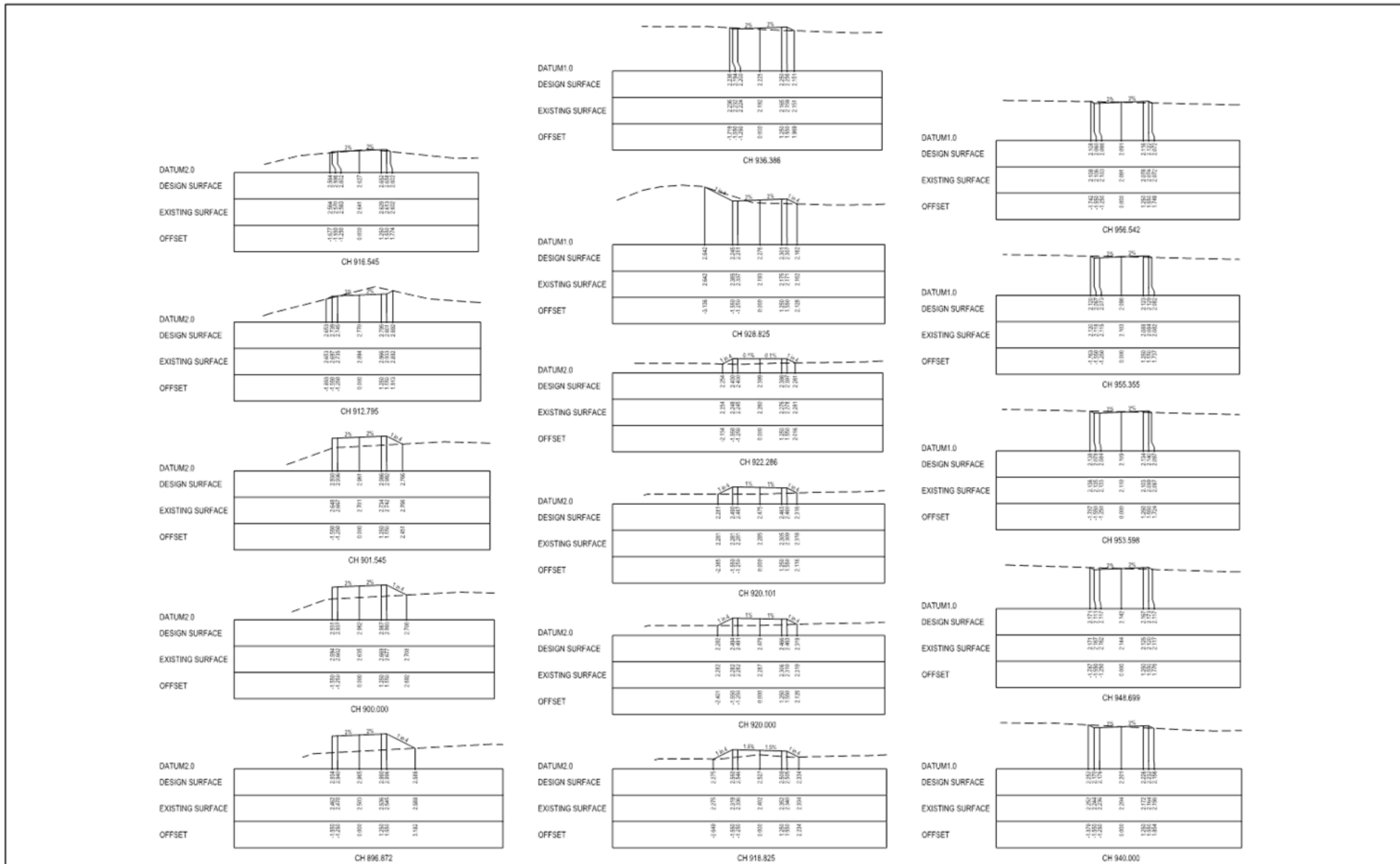
Designed: DAMEN DAVEN
 Date: 28/11/24
 Drawn: GARY CHILKINS
 Checked: SHANE GRAY
 Date: 14/12/24
 DA Number: 155-80-040-0401
 GRAN PARK NSW

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Project Name: BRIGHTON LAKES RECREATION & GOLF CLUB
 FORESHORE PATHWAY
 LIVERPOOL CITY COUNCIL
 Drawing Title: PATH CROSS SECTIONS
 (SHEET 9 OF 17)

Sheet	20 of 29
Scale	1:100 H 1:50 V @ A1
Project Number	2200575
Reference	301
Drawing No.	208
Revision	A

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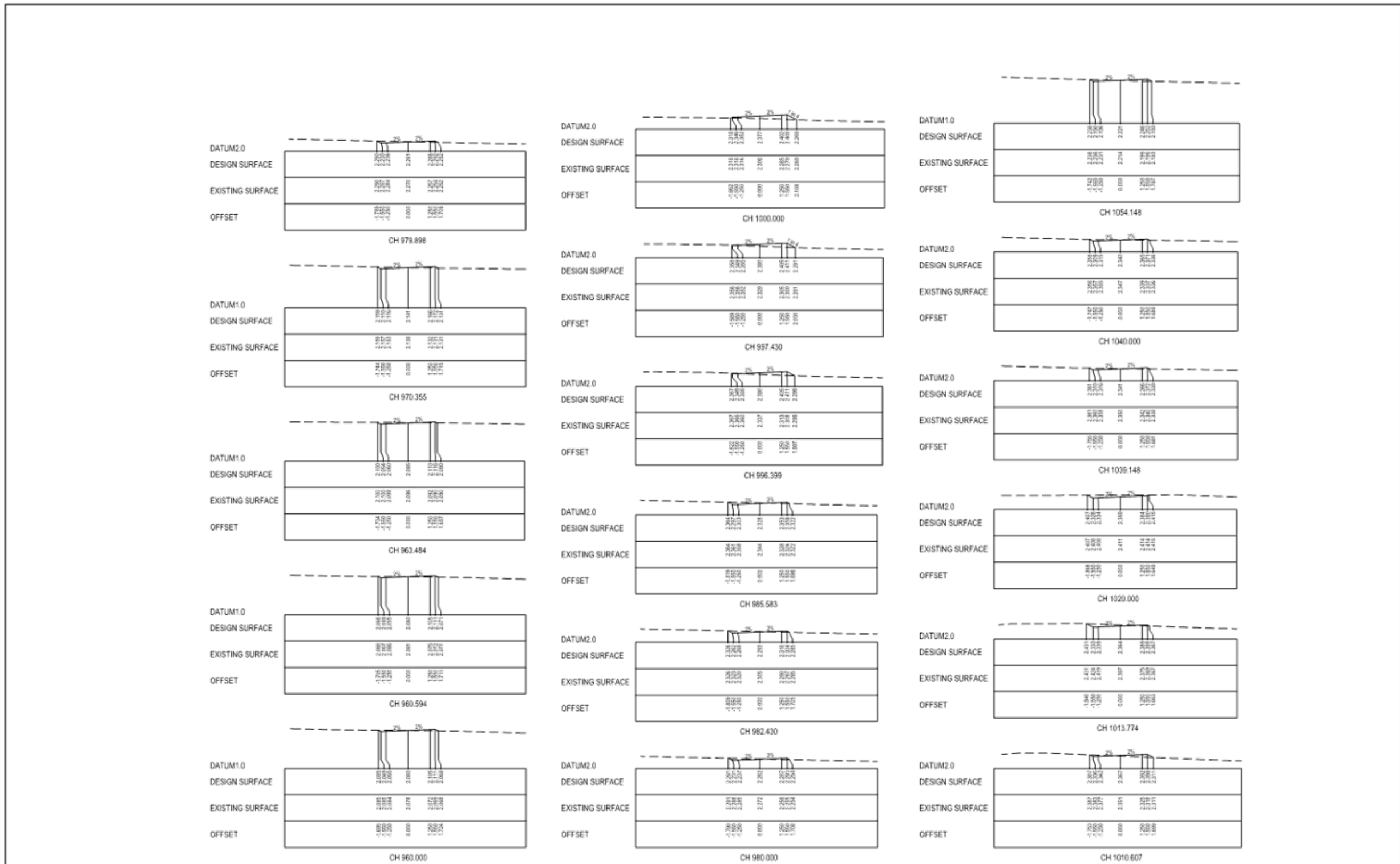
Designed: DAMEN DAVEN
Date: 28/11/24
Drawn: GARY CHILBURD
Approved: SHANE GRAY
Date: 14/12/24
S/N Number: 24-020-0481-004Y
GARAN PARK NSW

BW Beveridge Williams
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Project Name: BRIGHTON LAKES RECREATION & GOLF CLUB
FORESHORE PATHWAY
LIVERPOOL CITY COUNCIL
Drawing Title: PATH CROSS SECTIONS
(SHEET 10 OF 17)

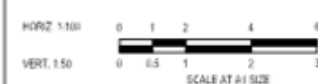
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Scale	1:100 H 1:50 V @ A1
Project Number	2200575
Reference	301
Drawing No.	209
Revision	A

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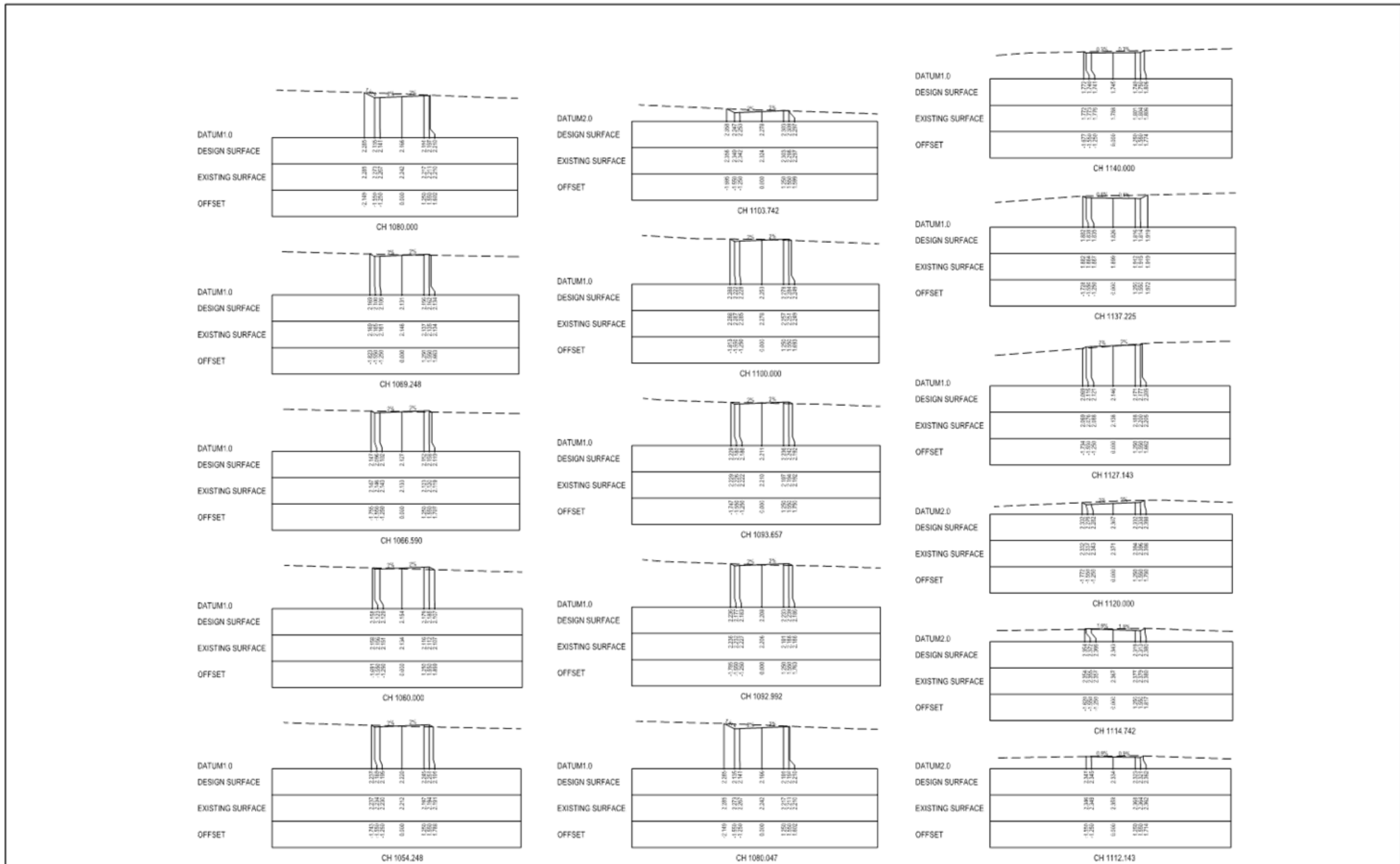


Designer: DAMIEN DAVEN
 Date: 25/11/24
 Drawn: GARY CHILBURD
 Approved: SHANE GRAY
 Date: 14/12/24
 Scale Number:
 2-1020-0481-004Y
 GRAN PARK NSW
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Project Name: BRIGHTON LAKES RECREATION & GOLF CLUB
 FORESHORE PATHWAY
 LIVERPOOL CITY COUNCIL
 Drawing Title: PATH CROSS SECTIONS
 (SHEET 11 OF 17)

Sheet	22 of 29
Scale	1:100 H 1:50 V @ A1
Project Number	2200575
Reference	301
Drawing No	210
Revision	A

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DESCRIPTION	DATE ORN. APP.



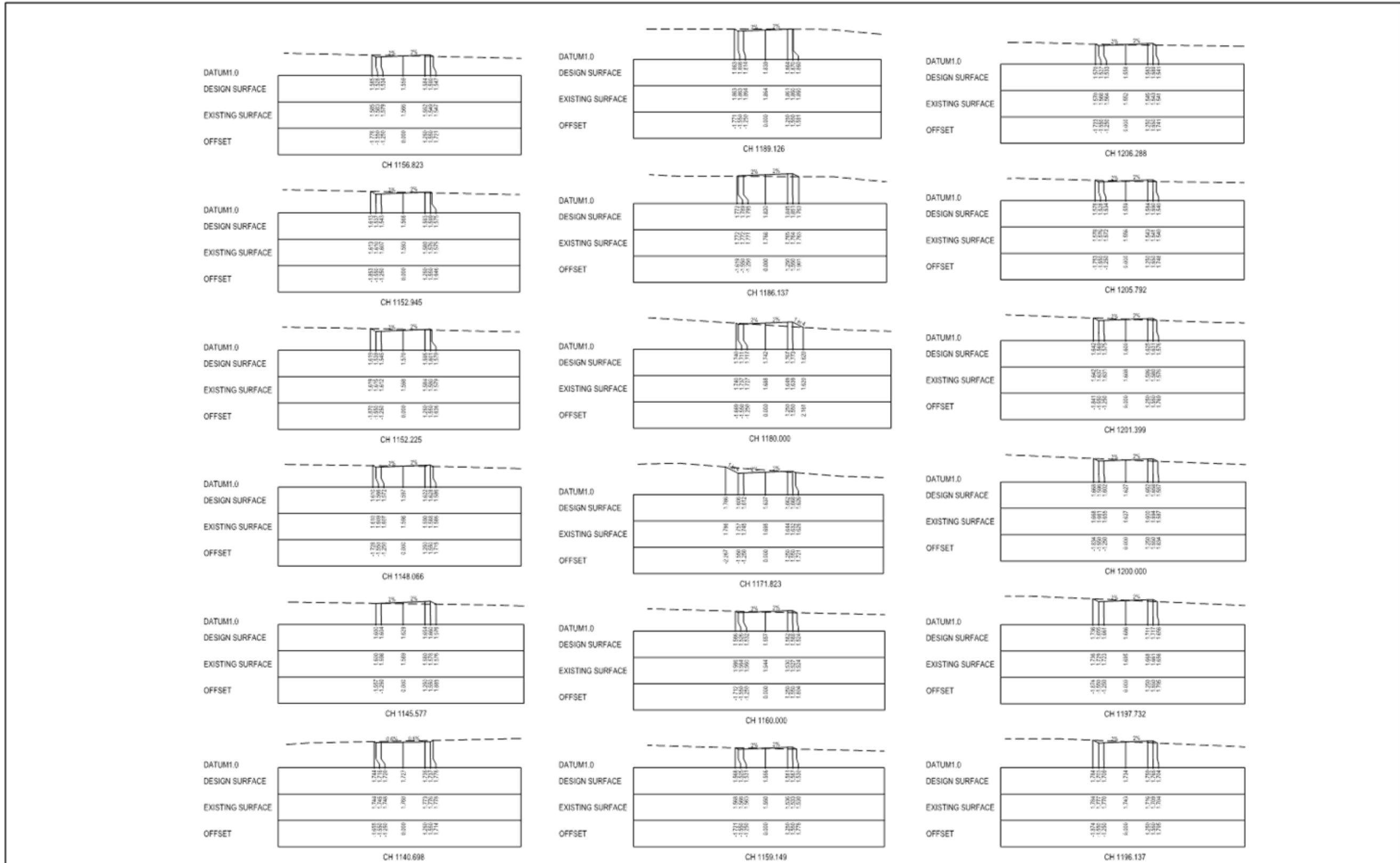
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 Approved: SHANE GRAY
 Date: 14/12/24
 Scale Number:

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Project Name: BRIGHTON LAKES RECREATION & GOLF CLUB
 FORESHORE PATHWAY
 LIVERPOOL CITY COUNCIL
 Drawing Title: PATH CROSS SECTIONS
 (SHEET 12 OF 17)

Sheet 23 of 29 Scale: 1:100 H 1:50 V @ A1
Project Number: 2200575 Reference: 301 Drawing No: 211 Revision: A

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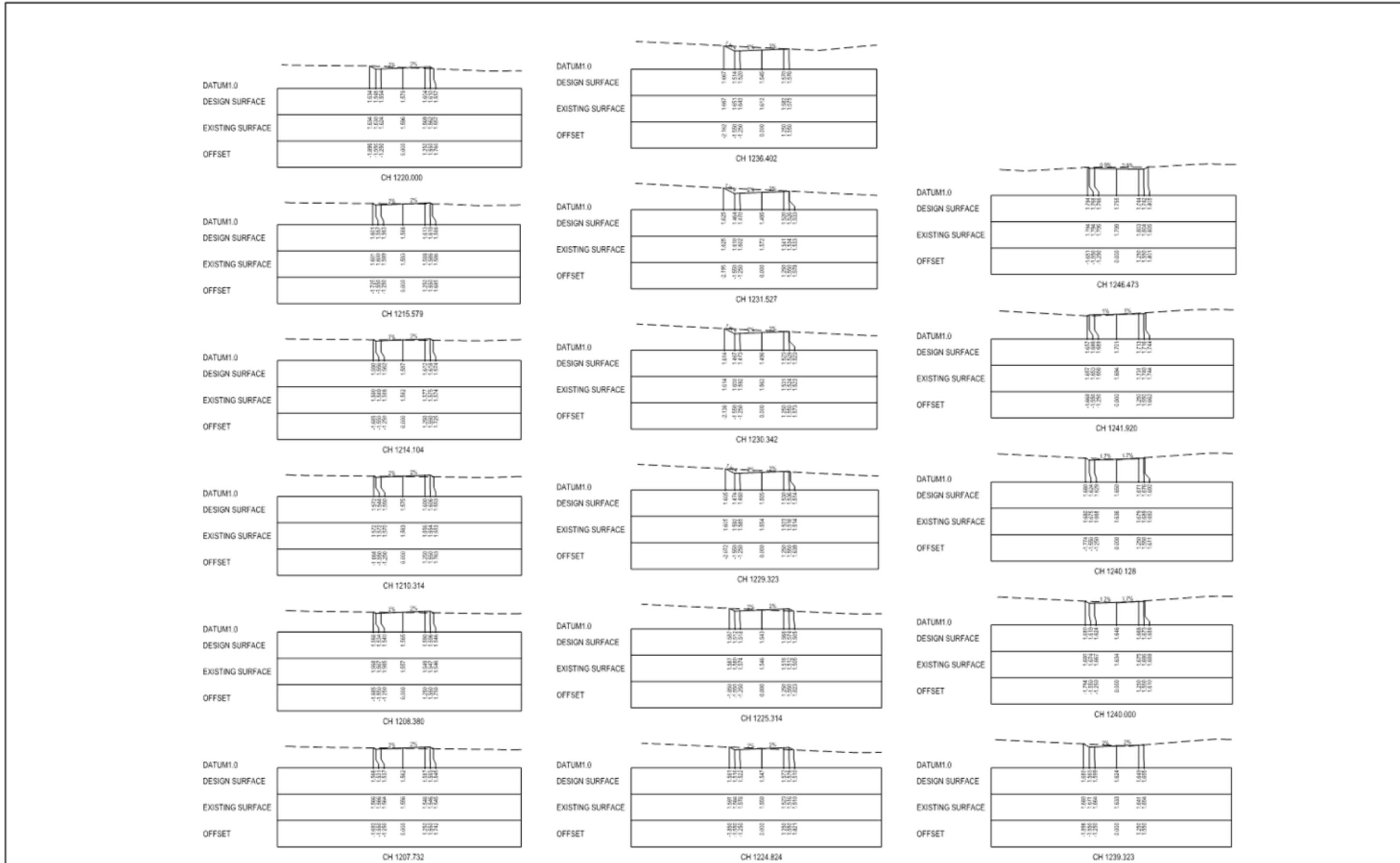


Designed: DAMIEN DAVEN
Date: 28/11/24
Drawn: GARY CHILBURNE
Approved: SHANE GRAY
Date: 14/12/24
Site Number: 24-0320-0481-004Y
GOLF PARK NSW

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Project Name: BRIGHTON LAKES RECREATION & GOLF CLUB
FORESHORE PATHWAY
LIVERPOOL CITY COUNCIL
Drawing Title: PATH CROSS SECTIONS
(SHEET 13 OF 17)

Sheet	24 of 29
Scale	1:100 H 1:50 V @ A1
Project Number	2200575
Reference	301
Drawing No	212
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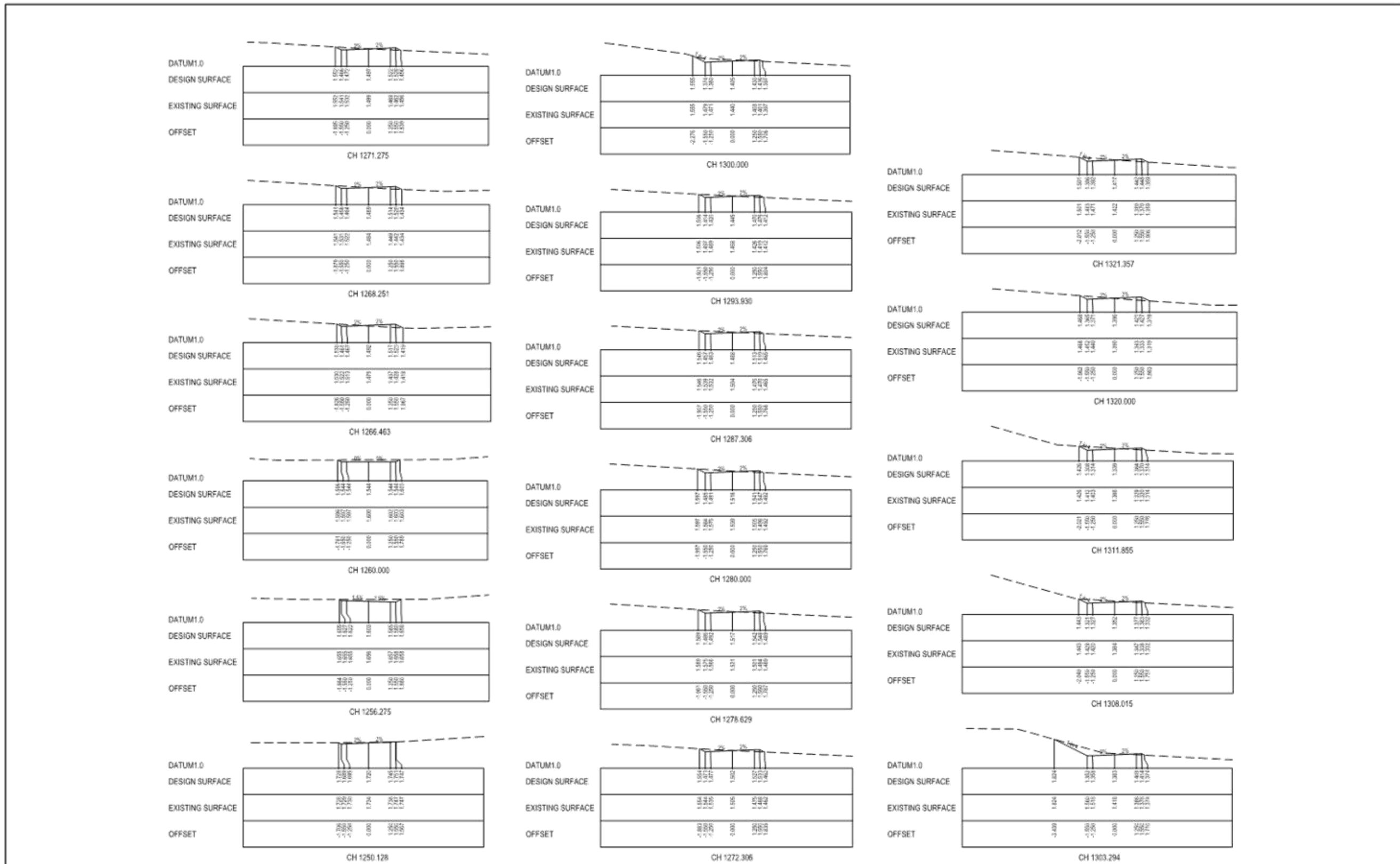


Designer: DAMEN DAVEN
 Date: 25/11/24
 Drawn: GARY CHILDRIS
 Approved: SHANE GRAY
 Date: 14/12/24
 Scale Number: 1:100
 24-020-0401-004Y
 GRAIN PARK NSW
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Project Name: BRIGHTON LAKES RECREATION & GOLF CLUB
 FORESHORE PATHWAY
 LIVERPOOL CITY COUNCIL
 Drawing Title: PATH CROSS SECTIONS
 (SHEET 14 OF 17)

Sheet	25 of 29
Scale	1:100 H 1:50 V @ A1
Project Number	2200575
Reference	301
Drawing No	213
Revision	A

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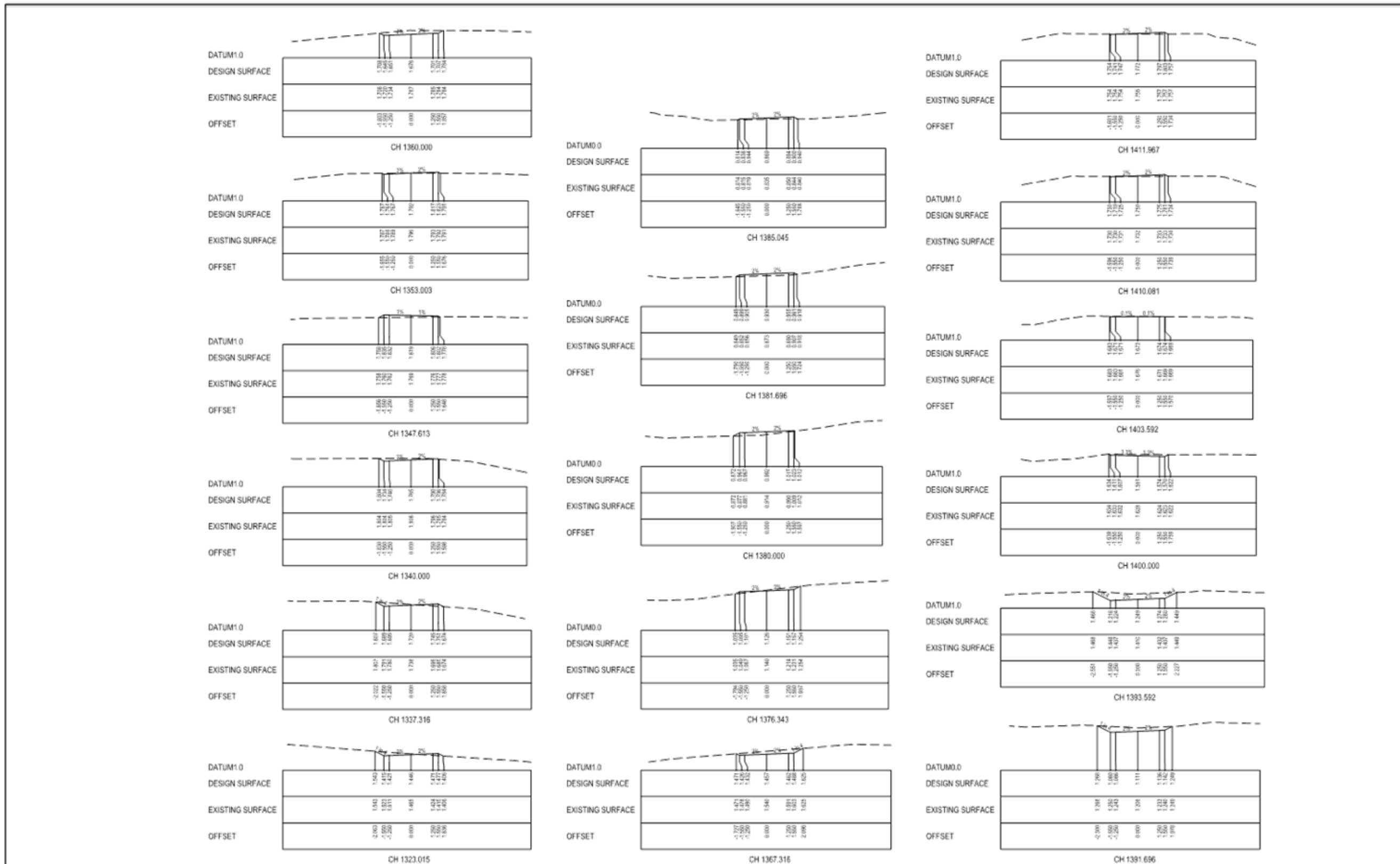
Designer: DAMEN DAVIN
 Date: 25/11/24
 Drawn: GARY CHILBURNE
 Checked: SHANE GRAY
 Date: 14/12/24
 DA Number:
 24-0102-0481-1047
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Project Name: BRIGHTON LAKES RECREATION & GOLF CLUB
 FORESHORE PATHWAY
 LIVERPOOL CITY COUNCIL
 Drawing Title: PATH CROSS SECTIONS
 (SHEET 15 OF 17)

Sheet	26 of 29
Scale	1:100 H 1:50 V @ A1
Project Number	2200575
Reference	301
Drawing No.	214
Revision	A

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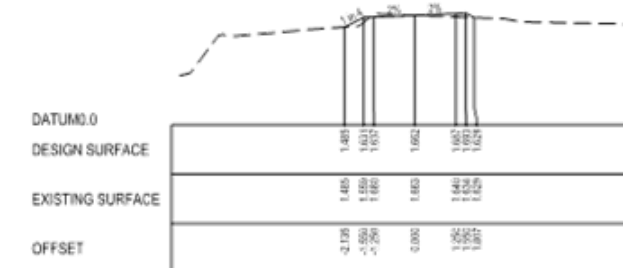
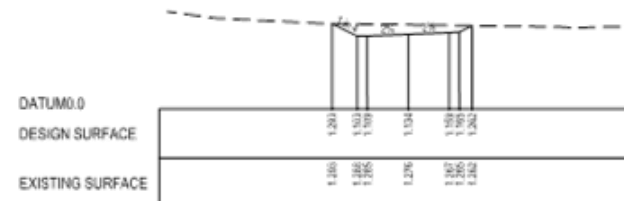
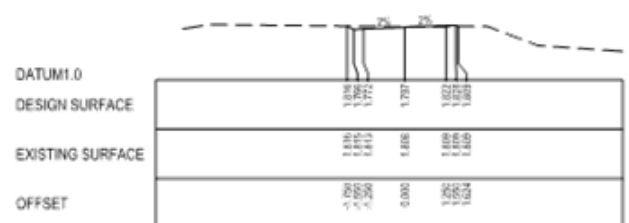
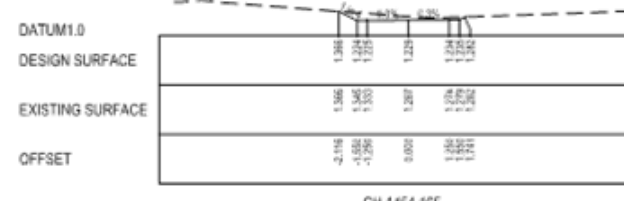
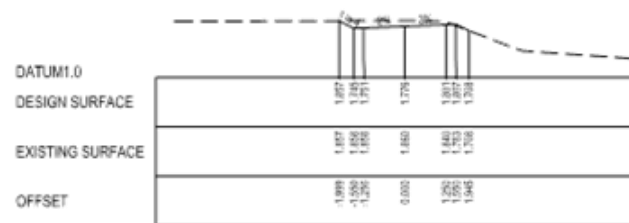
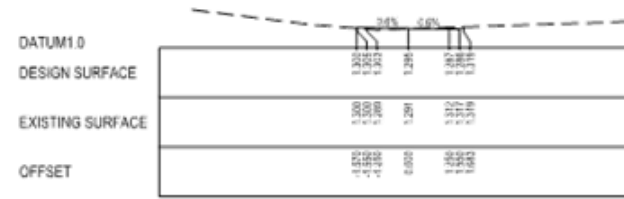
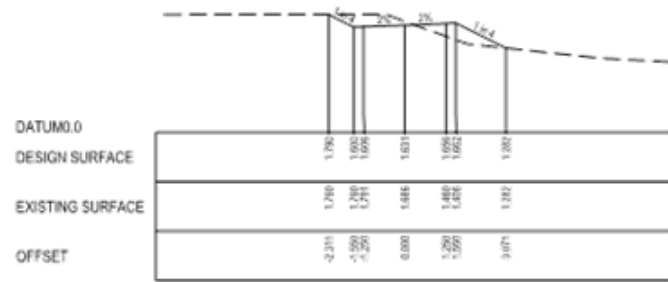
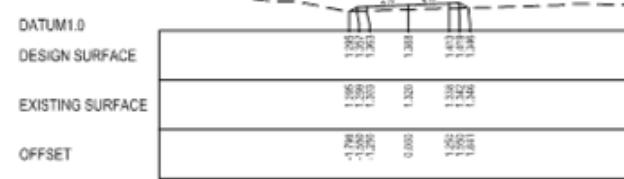
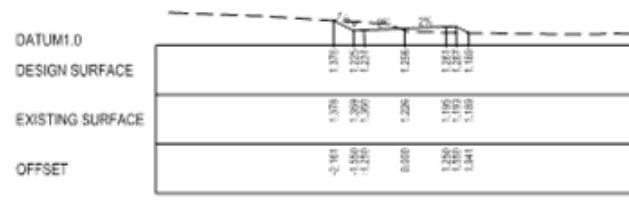
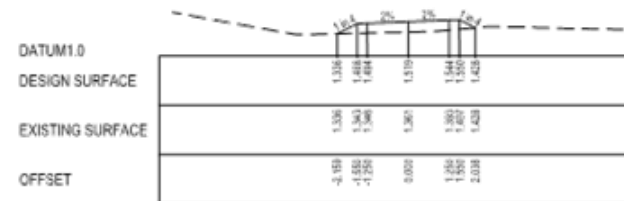
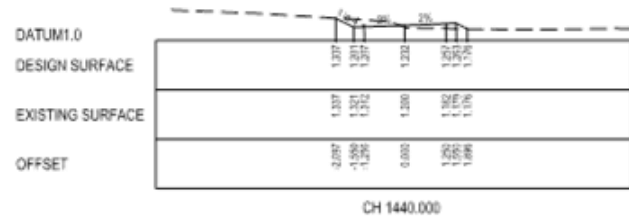
Designer: DAMIEN DAVEN
 Date: 25/11/24
 Drawn: GARY CHILDRIS
 Approved: SHANE GRAY
 Date: 14/12/24
 Scale Number:

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Project Name: BRIGHTON LAKES RECREATION & GOLF CLUB
 FORESHORE PATHWAY
 LIVERPOOL CITY COUNCIL
 Drawing Title: PATH CROSS SECTIONS
 (SHEET 16 OF 17)

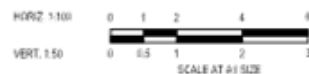
Sheet 27 of 29 Scale: 1:100 H 1:50 V @ A1
Project Number: 2200575 Reference: 301 Drawing No: 215 Revision: A

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ISSUED FOR DEVELOPMENT APPLICATION

REV	DESCRIPTION	DATE	DRN	APP	REV	DESCRIPTION	DATE	DRN	APP
1	ISSUED FOR DEVELOPMENT APPLICATION	07/05/24	GC	GC					



Designed: DAMEN DAVEN
 Date: 28/11/24
 Drawn: GARY CHILBURNE
 Date: 14/12/24
 Approved: SHANE GRAY
 Date: 14/12/24
 DA Number: 24-0020-0481-0047
 GRAN PARK NSW

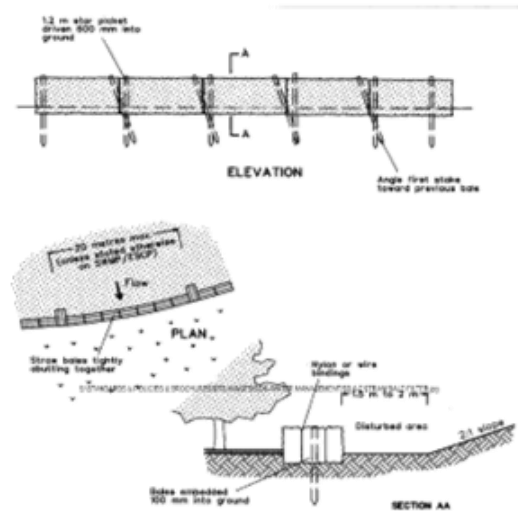
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Project Name: BRIGHTON LAKES RECREATION & GOLF CLUB
 FORESHORE PATHWAY
 LIVERPOOL CITY COUNCIL

Drawing Title: PATH CROSS SECTIONS
 (SHEET 17 OF 17)

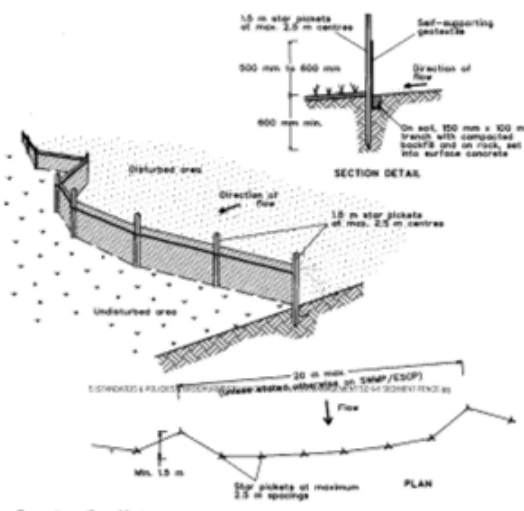
Sheet	28 of 29
Scale	1:100 H 1:50 V @ A1
Project Number	2200575
Reference	301
Drawing No	216
Revision	A

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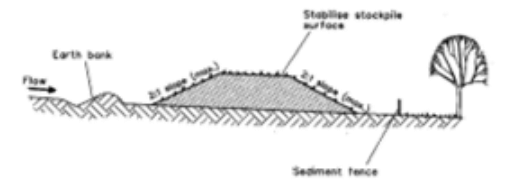
- Construction Notes**
- Construct the straw bale filter as close as possible to being parallel to the contours of the site.
 - Place bales lengthwise in a row with ends tightly shutting. Use straw to fill any gaps between bales. Straws are to be placed parallel to ground.
 - Ensure that the maximum height of the filter is one bale.
 - Embed each bale in the ground 75 mm to 100 mm and anchor with two 1.2 metre star pickets or stakes. Apply the first star picket or stake to each bale towards the previously laid bale. Drive them 100 mm into the ground and, if possible, flush with the top of the bales. Where star pickets are used and they protrude above the bales, ensure they are fitted with safety caps.
 - Where a straw bale filter is constructed downslope from a disturbed area, ensure the bales are placed 1 to 2 metres downslope from the toe.
 - Establish a maintenance program that ensures the integrity of the bales is retained - they could require replacement each two to four months.

STRAW BALE FILTER SD 6-7



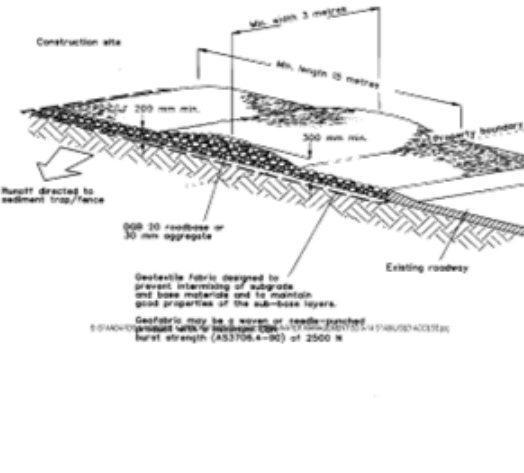
- Construction Notes**
- Construct sediment fences as close as possible to being parallel to the contours of the site, but with small returns as shown in the drawing to limit the catchment area of any one section. The catchment area should be small enough to limit water flow if concentrated at one point to 50 litres per second in the design storm event, usually the 10-year event.
 - Cut a 150-mm deep trench along the upslope line of the fence for the bottom of the fabric to be anchored.
 - Drive 1.5 metre long star pickets into ground at 2.5 metre intervals (max) at the downslope edge of the trench. Ensure any star pickets are fitted with safety caps.
 - Fix self-supporting geotextile to the upslope side of the pickets ensuring it goes to the base of the trench. Fix the geotextile with wire ties or as recommended by the manufacturer. Only use geotextile specifically produced for sediment fencing. The use of shade cloth for this purpose is not satisfactory.
 - Join sections of fabric at a support post with a 150-mm overlap.
 - Backfill the trench over the base of the fabric and compact it thoroughly over the geotextile.

SEDIMENT FENCE SD 6-8



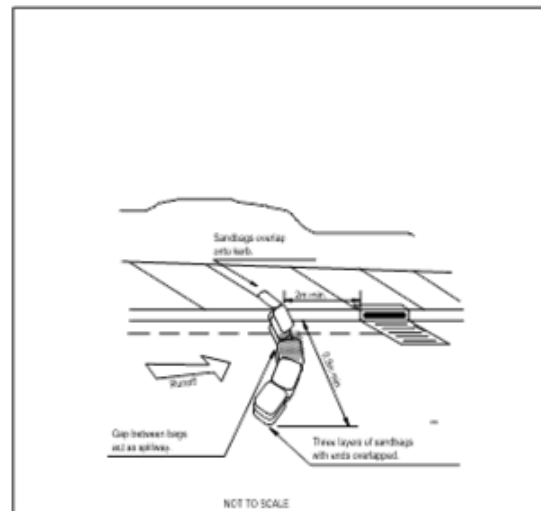
- Construction Notes**
- Place stockpiles more than 2 (preferably 5) metres from existing vegetation, concentrated water flow, roads and hazard areas.
 - Construct on the contour as low, flat, elongated mounds.
 - Where there is sufficient area, topsoil stockpiles shall be less than 2 metres in height.
 - Where they are to be in place for more than 10 days, stabilise following the approved ESCP or SWMP to reduce the C-factor to less than 0.10.
 - Construct earth banks (Standard Drawing 5-5) on the upslope side to divert water around stockpiles and sediment fences (Standard Drawing 6-8) 1 to 2 metres downslope.

STOCKPILES SD 4-1

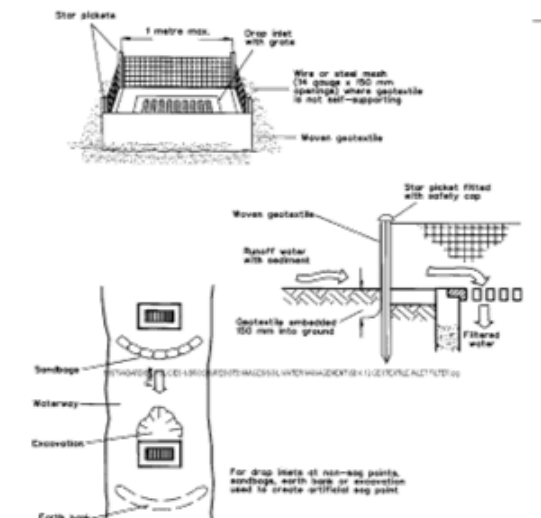


- Construction Notes**
- Strip the topsoil, level the site and compact the subgrade.
 - Cover the area with needle-punched geotextile.
 - Construct a 200-mm thick pad over the geotextile using road base or 30-mm aggregate.
 - Ensure the structure is at least 15 metres long or to building alignment and at least 3 metres wide.
 - Where a sediment fence joins onto the stabilised access, construct a hump in the stabilised access to divert water to the sediment fence.

STABILISED SITE ACCESS SD 6-14



SANDBAG KERB INLET SEDIMENT TRAP NOT TO SCALE



- Construction Notes**
- Fabricate a sediment barrier made from geotextile or straw bales.
 - Follow Standard Drawing 6-7 and Standard Drawing 6-8 for installation procedures for the straw bales or geotextile. Reduce the picket spacing to 1 metre centres.
 - In waterways, artificial sag points can be created with sandbags or earth banks as shown in the drawing.
 - Do not cover the inlet with geotextile unless the design is adequate to allow for all waters to bypass it.

GEOTEXTILE INLET FILTER SD 6-12

NOTES

ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE LANDCOM'S MANUAL "MANAGING URBAN STORMWATER" 4TH EDITION AUGUST 2004.

WORKS SHALL BE UNDERTAKEN AS OUTLINED ON SHEET 5.

EROSION AND SEDIMENT CONTROL MEASURES AFFECTED BY WORKS ARE TO BE RE ESTABLISHED PRIOR TO THE COMPLETION OF EACH DAY'S WORK.

THE CONTRACTOR IS TO STABILISE ALL STOCKPILES AND DISTURBED AREAS AS SOON AS THEY ARE FORMED TO FINAL LEVELS. STABILISATION TO BE BY HYDROSEEDING OR AS DIRECTED BY THE SUPERINTENDENT AND/OR COUNCIL ENGINEER. ALL SEEDING AREAS ARE TO BE WATERED AT LEAST TWICE WEEKLY UNTIL GRASS IS ESTABLISHED OR COVERED WITH BITUMEN STRAW MULCH.

SEED MATURE FOR FOOTWAYS AND OTHER AREAS UNDER THE CONTROL OF COUNCIL ARE TO BE IN ACCORDANCE WITH LIVERPOOL COUNCIL'S SPECIFICATION. FOR OTHER AREAS, THE LIST OF PLANT SPECIES FOR TEMPORARY COVER IS -

- JAPANESE MILLET AND OATS (HYVOCORN) AT 25kg/ha EACH - SPRING/SUMMER
- JAPANESE MILLET AT 15kg/ha AND OATS (HYVOCORN) AT 30kg/ha - AUTUMN/WINTER

ALL SEEDING AREAS ARE TO BE WATERED TWICE WEEKLY UNTIL ESTABLISHED OR COVERED WITH BITUMEN STRAW MULCH.

WHERE SURFACE SLOPES ARE MORE THAN 6% BY BITUMEN STRAW MULCH SHALL BE APPLIED AFTER SEEDING AT THE FOLLOWING RATES -

- MULCH 0.5kg/m²
- BITUMEN EMULSION 0.25kg/m² (50% WATER, 50% SLOW BREAKING ANIONIC EMULSION MIX)

DUST CONTROL MEASURES SHALL BE IMPLEMENTED CONTINUOUSLY DURING CONSTRUCTION WORKS. SUCH MEASURES ARE TO BE TO THE SATISFACTION OF THE SUPERINTENDENT AND COUNCIL.

TOPSOIL SHALL BE REAPPLIED ON CONSTRUCTION AREAS AND STABILISED AS SOON AS POSSIBLE WITHIN 90 DAYS OF DISTURBANCE. ALL DISTURBED AREAS ARE TO BE LEFT WITH A SCARPED SURFACE AT ALL TIMES TO ENCOURAGE WATER INFILTRATION AND ASSIST WITH KEYING OF TOPSOIL.

FOLLOWING COMPLETION OF WORKS AND STABILISATION OF ALL DISTURBED SURFACES, ALL MATERIALS AND CONTROL MEASURES ARE TO BE REMOVED FROM SITE.

ALL SITE ACCESS TO BE ACHIEVED FROM DESIGNATED SITE ACCESS ONLY AS SHOWN FROM SARAH HOLLANDS DRIVE. NO OTHER ACCESS POINTS WILL BE PERMITTED.

SITE ACCESS SHALL BE PROTECTED BY THE INSTALLATION OF AN APPROVED SHAKER RAMP. SHAKER RAMP IS TO BE REGULARLY MAINTAINED TO ENSURE EFFECTIVENESS.

UPON COMPLETION OF FINAL EARTHWORKS OR AFTER WRITTEN DIRECTION OF COUNCIL, IMMEDIATE SILT CONSERVATION TREATMENTS SHALL BE APPLIED SO AS TO RENDER AREAS THAT HAVE BEEN DISTURBED, EROSION PROOF WITHIN 14 DAYS.

THE AREA OVER ALL STORMWATER, POWER, TELEPHONE, GAS AND SEWER LINES NOT WITHIN STREETS IS TO BE MULCHED AND SEEDED AS SOON AS POSSIBLE BUT NO LATER THAN WITHIN 14 DAYS AFTER BACKFILL.

NO MORE THAN 150mm OF TRENCH IS TO BE OPEN AT ANY ONE TIME.

ALL TEMPORARY EARTH BERMS, DIVERSION AND SEDIMENT BASIN EMBANKMENTS ARE TO BE TRACK ROLLED, SEEDED OR MULCHED OR SPRAYED WITH BITUMEN AS SOON AS THEY HAVE BEEN FORMED.

ALL FILLS ARE TO BE LEFT WITH A WINDROW AT LEAST 250mm HIGH AT THE TOP OF THE SLOPE AT THE END OF EACH DAY'S EARTHWORKS AND ALL EARTHWORK AREAS SHALL BE ROLLED EACH EVENING TO "SEAL" THE EARTHWORKS.

STABILISATION OF ALL CUT AND FILL SLOPES SHALL BE COMMENCED WITHIN 14 DAYS OF COMPLETION OF FORMATION.

THE CONTRACTOR SHALL MAINTAIN AND PRODUCE ON REQUEST A LOGBOOK ON SITE DETAILING THE FOLLOWING -

- RECORDS OF ALL RAINFALL
- DAILY CONDITION OF ALL EROSION AND SEDIMENT CONTROL MEASURES
- ANY APPLICATION OF FLOCCULATION AGENTS TO BASINS
- VOLUMES OF WATER DISCHARGED FROM BASINS
- METHOD OF DISPOSAL OF WATER FROM BASINS
- ANY ADDITIONAL REMEDIAL WORKS REQUIRED.

THE ORIGINAL LOGBOOK SHALL BE ISSUED TO THE PROJECT MANAGER ON COMPLETION OF THE WORKS.

STOCKPILES TO BE MAX 2 METRE HIGH WITH SEDIMENT FENCING TO LOW SIDE LOCATED 0.5 METRE FROM TRENCHES.

ALL STORMWATER PITS TO BE BUNDED DURING CONSTRUCTION UNTIL SITE STABILISED. DURING CONSTRUCTION WORKS ANY WORK AND STORAGE AREAS WHERE SPILLAGE MAY OCCUR MUST BE BUNDED. THE SIDE OF THE AREA TO BE BUNDED AND HEIGHT OF THE BUND WALLS MUST BE CALCULATED AS BEING EQUAL TO 115% OF THE TOTAL VOLUME STORED OR EQUAL TO THE LARGEST STORAGE CONTAINER, WHICH EVER IS GREATER. ALL PPE WORK EXTENDING FROM THE BUNDED AREA MUST BE DIRECTED OVER THE BUND WALL AND HOSE COUPLINGS MUST BE PLACED SUCH THAT LEAKS AND SPILLAGE ARE CONTAINED. THE AREAS MUST BE GRADED TO A PITSUMP TO FACILITATE EMPTYING. ANY FILL USED MUST BE VALIDATED & SUITABLE & FREE OF SALINE & CONTAMINATION.

WARNING
 BEWARE OF UNDERGROUND SERVICES
 The locations of underground services are approximate only and their exact position should be proven on site. No guarantee is given that all existing services are shown. Locate all underground services before commencement of works.
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 www.1100.com.au

ISSUED FOR DEVELOPMENT APPLICATION

REV	DESCRIPTION	DATE	ORL	APP	REV	DESCRIPTION	DATE	ORL	APP
1	ISSUED FOR DEVELOPMENT APPLICATION	07.03.24	OC	SD					



Designed: DAMEN DAVIN
 Date: 25/11/24
 Drawn: GARY CHILDRURE
 Approved: SHANE GRAY
 Date: 14/12/24
 Scale Number: 1:1000

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Project Name: BRIGHTON LAKES RECREATION & GOLF CLUB
 FORESHORE PATHWAY
 LIVERPOOL CITY COUNCIL

Drawing Title: DETAILS

Sheet	29 of 29
Scale	NOT TO SCALE
Project Number	2200575
Reference	301
Drawing No.	550
Revision	A

Explanatory Note

Draft Voluntary Planning Agreement Planning Proposal (RZ-9/2011) for the redevelopment of New Brighton Golf Course, Nuwarra Road, Moorebank

Introduction

The purpose of this explanatory note is to provide a summary of the exhibited voluntary planning agreement (the “**Planning Agreement**”) prepared under Subdivision 2 of Division 6 of Part 4 of the Environmental Planning and Assessment Act 1979 (“**The Act**”).

The explanatory note has been prepared jointly by the parties as required by Clause 25E of the Environmental Planning and Assessment Regulation 2000.

Parties to the Draft Planning Agreement

The parties to the Planning Agreement are the Mirvac Homes (NSW) Pty Limited (“**Developer**”), New Brighton Golf Club Limited (“**Landowner**”) and Liverpool City Council (“**Council**”).

The Developer and Landowner have made an offer to enter into the Planning Agreement with Council in connection with a Planning Proposal which affects land within the suburbs of Moorebank and Hammondville.

Description of Subject Land

The Planning Agreement applies to the land contained within the Certificate of Title Folio Identifiers:

Lot Description	Address	Zone
Lot 103 in DP 1070029	180 Nuwarra Road Moorebank	RE2 Private Recreation
Lot 52 (part) in DP 717957	Stewart Avenue Hammondville	RE1 Public Recreation
Lot 2210 (part) in DP 1090818	Lot 2210 Stewart Avenue Hammondville	RE2 Private Recreation
Lot 1 in DP 85111	Lot 1 Nuwarra Road Moorebank	RE2 Private Recreation

Description of the Planning Proposal

As a result of the lodgement of a rezoning application by the New Brighton Golf Club, Liverpool City Council has prepared a draft planning proposal to rezone part of the New Brighton Golf Course (NBGC) land at Moorebank from RE2 Private Recreation to R1 General Residential. The planning proposal seeks to facilitate the development of 310 dwellings to be developed by Mirvac Homes NSW. The rezoning also seeks to facilitate the reconfiguration of the golf course on land located south of the M5 Motorway, some of which is Council owned land.

The proposed development generates the need for additional public facilities which is to be facilitated through a Voluntary Planning Agreement (VPA). The planning proposal has been prepared to facilitate the rezoning of parts of the New Brighton Golf Club and Council landholdings for the following purposes:

- Residential development on the elevated western part of the existing golf course, north of the M5 Motorway in Moorebank;
- The re-establishment of the fairways associated with the former Greenwood Golf Course on the southern side of the M5 Motorway in Hammondville;
- The creation of a new public reserve along the Georges River frontage and a pedestrian link to land to the north and west;
- Consolidation of open space and vegetation communities in line with conservation principles.

Summary of Objectives, Nature and Effect of the Draft Planning Agreement

The Developer, Landowner and Council acknowledge that the proposed amendments to the Liverpool Local Environmental Plan 2008 will likely result in the need for infrastructure upgrades and improvements to the environment including an expanded road network, shared pedestrian and cycle pathways provision of additional open space and regeneration of valuable vegetation. These works do not conform with any applicable Council capital works program.

Further the Developer and Landowner also seeks to dedicate land to Council free of cost to ensure infrastructure and environmentally valuable areas are in the care and control of Council and used or applied towards a public purpose.

The above obligation of the Developer and Landowner will be triggered if rezoning of the land is approved.

Assessment of the Merits of the Draft Planning Agreement

In accordance with Section 93F (2) of the Act, the Planning Agreement promotes the following public purposes:

- (a) the provision of public amenities or public services;
- (b) the provision of infrastructure relating to land;
- (c) the conservation or enhancement of the natural environment; and
- (d) the potential for provision of affordable housing.

The Planning Agreement provides for a reasonable means of achieving provision of those items, by coordinating the dedication of the land and the delivery of land, amenities and infrastructure at an appropriate time during the redevelopment of the subject land. The reasonable staging of the provision works and land will ensure that the viability of development is not unduly compromised and also that the remaining development capacity at any point would be sufficient to justify the delivery of outstanding items.

How the Planning Proposal Promotes the Public Interest

In accordance with the objects of The Act, the Planning Agreement will promote the public interest in the following manner:

- (1) Public ownership (as opposed to a private land owner) will ensure the proper management and conservation of the Georges River Corridor lands and conservation areas.
- (2) The timing of the delivery of land and infrastructure ensures the co-ordination of the orderly and economic use and development of the land within the site.
- (3) The dedication of the open space and environmental conservation land constitutes the provision of land for public purposes, and will

make available for to public access and enjoyment of land that is currently privately owned.

- (4) Public ownership (as opposed to private land ownership) of the environmental conservation land will ensure the achievement of environmental outcomes, including the protection and conservation of threatened species. The Planning Agreement also makes provision for the potential regeneration of existing vegetation and replanting of vegetation to restore and enhance the natural environment.
- (5) The Planning Agreement includes all the items which the developer is required to dedicate free of cost.
- (6) The Planning Agreement will not preclude the public being provided with the opportunity for involvement and participation in development assessment. The public are invited to make comment on this Planning Agreement, particularly with regard to the public interest.
- (7) The Planning Agreement provides for the construction of shared bike and pedestrian paths through the site and along the Georges River foreshore.
- (8) The Planning Agreement provides for the establishment of a shared bike and pedestrian paths through Council land connecting to public cycleway network to the west.
- (9) The Planning Agreement provides for the relocation of an off leash Dog Park within Lt. Cantello Reserve.
- (10) The Planning Agreement will provide a shared bike and pedestrian access under the M5 Motorway linking the proposed public reserve to be dedicated with the existing public reserve to the south of the M5 motorway extending public access to the Georges River foreshore.
- (11) The Planning Agreement requires the provision of a Vegetation Management Plan to define the vegetation planting required to offset any significant vegetation lost. This will ensure the development is delivered to the public in an environmentally responsible manner.

How the Planning Agreement promotes the elements of Council's charter

The Planning Agreement will continue to promote a number of elements of the Council's charter under Section 8 of the *Local Government Act 1993*, as follows:

- (1) Public ownership (as opposed to a private land owner) of the Georges River foreshore land will permit Council to exercise community leadership in the management of riparian land.
- (2) The provision of shared bicycle/pedestrian paths under the Planning Agreement would allow Council to exercise its function to provide transport in a manner that is consistent with ecologically sustainable development.
- (3) Taking public ownership of the Georges River foreshore with a management plan in place will permit Council to properly develop, protect, restore, enhance and conserve the environment of the area for which it will then be responsible, in a manner that is consistent with and promotes the principles of ecologically sustainable development.
- (4) The Planning Agreement provides that land along Georges River is dedicated and embellished by the Developer, substantially free of weeds and free of contamination that would pose a risk to human

ITEM 02 DA-344/2024 - LOT 304 NEWBRIDGE ROAD, MOOREBANK
85 BRICKMAKERS DRIVE, MOOREBANK
NEW BRIGHTON GOLF COURSE AND CLUB, MOOREBANK
WURRUNGWURI RESERVE AND 85 BRICKMAKERS DRIVE, MOOREBANK
Attachment 4 Voluntary Planning Agreement

health or the environment, having regard for the long term and cumulative effects of Council's decision to take ownership of the land.

- (5) Taking public ownership of the land adjacent to the Georges River under the agreement is consistent with Council's responsibility as the custodian and trustee of public assets which it must then effectively account for and manage.
- (6) The exhibition of the Planning Agreement facilitates the involvement of members of the public.
- (7) The Planning Agreement enables the provision and embellishment of recreational and transport facilities for local purposes without the need to raise funds by the imposition of rates, charges or fees.
- (8) This explanatory note is prepared for the purposes of keeping the local community and the State government (and through it, the wider community) informed about its activities.
- (9) The Planning Agreement makes it clear that Council has a statutory role as consent authority for development and that the agreement is not intended to unlawfully influence the exercise of its regulatory functions, ensuring that it would act consistently and without bias, particularly where an activity of the council is affected.

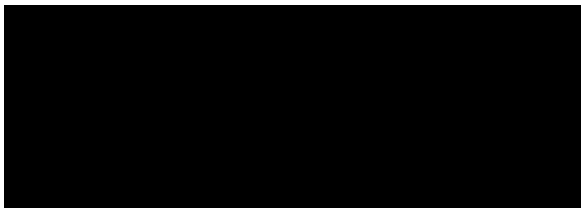
Interpretation of the Planning Agreement

This explanatory note is not to be used to assist in construing the Planning Agreement.

END.



**BIODIVERSITY DEVELOPMENT
ASSESSMENT REPORT (BDAR)
FOR
PROPOSED DEVELOPMENT OF SHARED
PEDESTRIAN WALKWAY/BICYCLE PATH
AT
NEW BRIGHTON GOLF COURSE,
43 BRICKMAKERS DRIVE, MOOREBANK, NSW 2170**



ACS Environmental Pty Ltd

Flora and Fauna Surveys, Biodiversity and Ecological Impact Assessment and Bushland Plans of Management Services

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Director

Peter Stricker BSc. (Hons) (Syd) ^{††} *



[†] Member Ecological Consultants Association NSW Inc

[#] Accredited Biodiversity Assessment Assessor (Biodiversity Conservation Act 2016) - (Accreditation Number BAAS 18125)

*ACS Environmental is an accredited Animal Research Establishment certified by the NSW Dept of Primary industries

The principal of 'ACS Environmental P/L has worked in the area of floristic and faunal impact assessment services for a period of greater than 20 years. He also has over 30 years of experience in scientific research (ecological) and teaching in biological science.

Consultant

Josie Drevon BSc (UNSW) [^]

[^] Scientific Biodiversity Conservation Act Licence SL102855 (DPE 2024)

ITEM 02 DA-344/2024 - LOT 304 NEWBRIDGE ROAD, MOOREBANK
85 BRICKMAKERS DRIVE, MOOREBANK
NEW BRIGHTON GOLF COURSE AND CLUB, MOOREBANK
WURRUNGWURI RESERVE AND 85 BRICKMAKERS DRIVE, MOOREBANK
Attachment 5 Biodiversity Development Assessment Report

CURRENCY OF BIODIVERSITY DEVELOPMENT ASSESSMENT REPORT

I Peter Stricker, certify that this Biodiversity Development Assessment Report (BDAR) has been prepared on the basis of the requirements of (and information provided) the biodiversity assessment method on the 9/05/2024, the BAM report submitted to the consent authority in progress/2024.

The relevant application is for a planning approval for the construction of a shared pedestrian walkway/bicycle track at New Brighton Golf Course at 43 Brickmakers Drive, Moorebank

Signed



Dated: 9/05/2024

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GLOSSARY AND ACRONYMS

APZ	Asset Protection Zone
BAM	Biodiversity Assessment Method (2017): supports the BC Act (2016)
BC Act	<i>Biodiversity Conservation Act (2016)</i> : legislation enacted in August 2017
CEEC	Critically Endangered Ecological Community
DAWE	Commonwealth Department of Agriculture, Water and Environment
DPI	Department of Primary Industries
DPE	Department of Planning and Environment
E (threatened species status)	Endangered species
EEC	Endangered Ecological Community as listed by the BC Act and EPBC Act
EPBC Act	Environmental Protection & Biodiversity Conservation Act (1999). Enacted to protect and manage nationally and internationally (migratory) flora, fauna and ecological communities, defined in the Act as matters of national environmental significance (NES)
Habitat	Areas occupied, either territorially, periodically or occasionally, by a species, population or ecological community
IPA	Inner Protection Zone
KTP	Key threatening process, a process that threatens the survival, life cycle, abundance or potential evolutionary development of native species, populations or ecological communities (Dept of Environment and Conservation 2004). KTP's are listed under the BC Act and the EPBC Act
Migratory species	listed under the EPBC Act and relating to international agreements to which Australia is a signatory. Includes the Japan-Australia Migratory Bird Agreement (JAMBA), China-Australia Migratory Bird Agreement (CAMBA) Republic of Korea Migratory Bird Agreement (ROKAMBA)
OEH	State Office of Environment and Heritage
OPA	Outer Protection Zone
PCT	Plant Community Type identified as such using the Bionet Vegetation Classification system (OEH 2018)
RoTAP	Rare or Threatened Australian Plants
SRZ	Structural Root Zone
Threatened species, populations or ecological communities	Entities listed by the BC Act and EPBC Act as 'Vulnerable to decreasing population growth in time', Endangered as population growth decreasing rapidly leading to eventual extinction' or 'Critically Endangered, a more extreme rate of population decrease than the former'
TPZ	Tree Protection Zone
V (threatened species status)	Vulnerable

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85 BRICKMAKERS DRIVE, MOOREBANK
NEW BRIGHTON GOLF COURSE AND CLUB, MOOREBANK
WURRUNGWURI RESERVE AND 85 BRICKMAKERS DRIVE, MOOREBANK
Attachment 5 Biodiversity Development Assessment Report

-

1 INTRODUCTION

1.1 Proposed development

In January 2024, ACS Environmental was commissioned by Mr Sakawat Hossain, Project Manager of Beveridge Williams Pty Ltd, to survey for flora and fauna and undertake a biodiversity impact assessment on areas of bushland that are proposed to be cleared in order to construct a shared 4m wide pedestrian/bike path within and around the New Brighton Golf Course, Lot 21 DP 1207736, at 43 Brickmakers Drive, Moorebank.

The proposal is broken up into three separate stages:

1. Clear the edges of an existing fire trail traversing through council land (Wurrungwuri Reserve) over a distance of some 480m from Brickmakers Drive eastwards to the property boundary
2. Creation of a new 2.5m wide open path, initially directed eastwards along the northern fairway of the golf course to the Georges River, and then following the Georges River southeast to the M5 underpass, a distance of some 863m.
3. Widen to 4m and clear an existing overgrown path that occurs on Council land (Wurrunguri Reserve), directed southwards over a distance of some 34m to where ponding commences (measured onsite after recent rainfall), and construction of a 2.5m wide boardwalk along a distance of some 128m over rushland and wetland vegetation towards the Golf Course, to create the north-south connection between Stages 1 and 2.

Figure 1 is a locality aerial image of 43 Brickmakers Drive, Moorebank (blue marker), and surrounds in relation to landscapes and current urbanization.

Figure 2 is a locality aerial image of Moorebank showing property boundaries in relation to 43 Brickmakers Drive (blue marker).

Figure 3 is an aerial site plan showing the combination of the three stages of the development proposal.

Figures 4A, 4B, 4C, 4D and 4E are aerial and schematic layout plans of the site showing detail of the three various locations and stages of the development proposal.

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Attachment 5

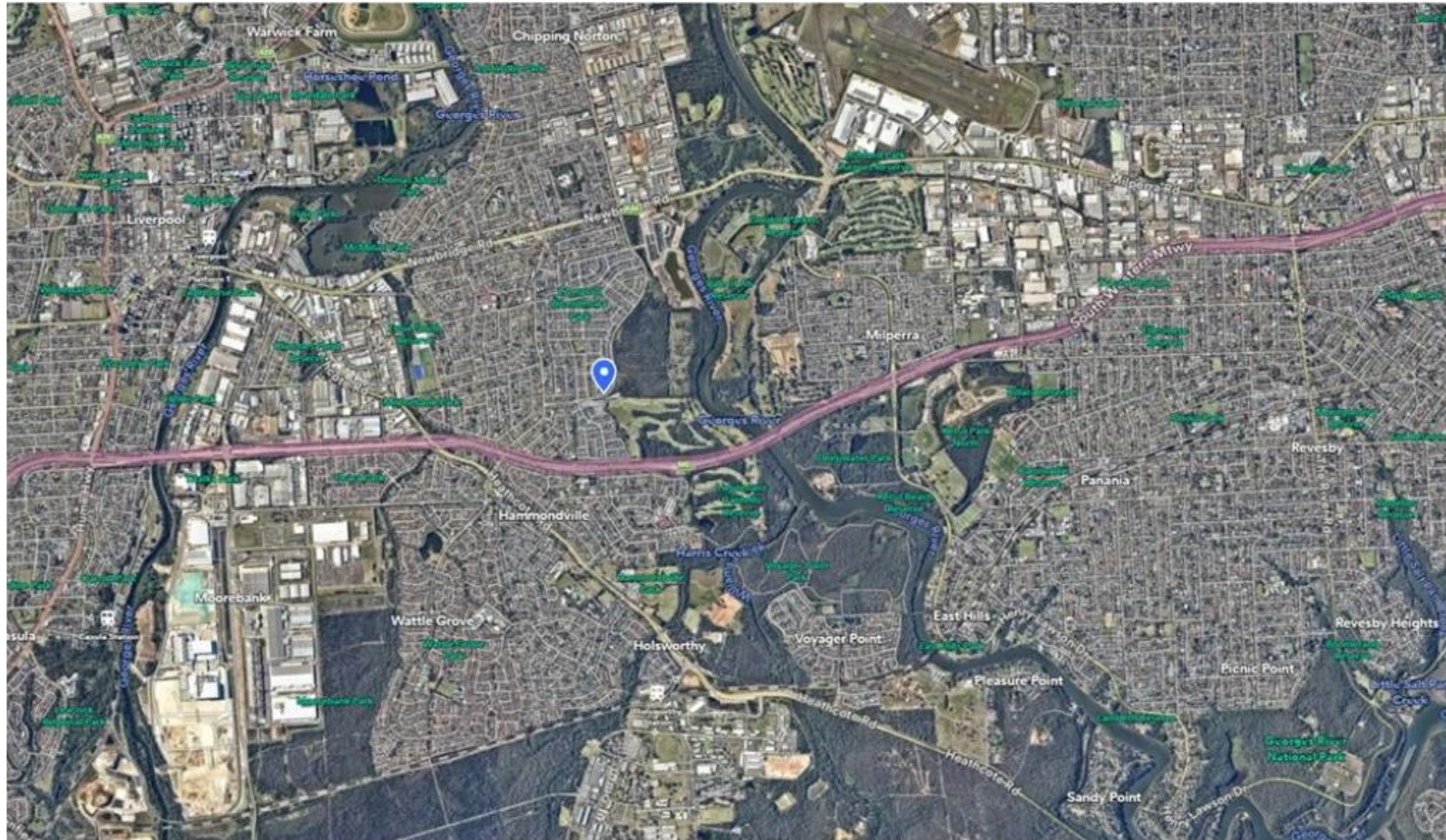


Figure 1 - Locality aerial image of 43 Brickmakers Drive (blue marker), and surrounds in relation to landscapes and current urbanisation (Nearmap 2024)

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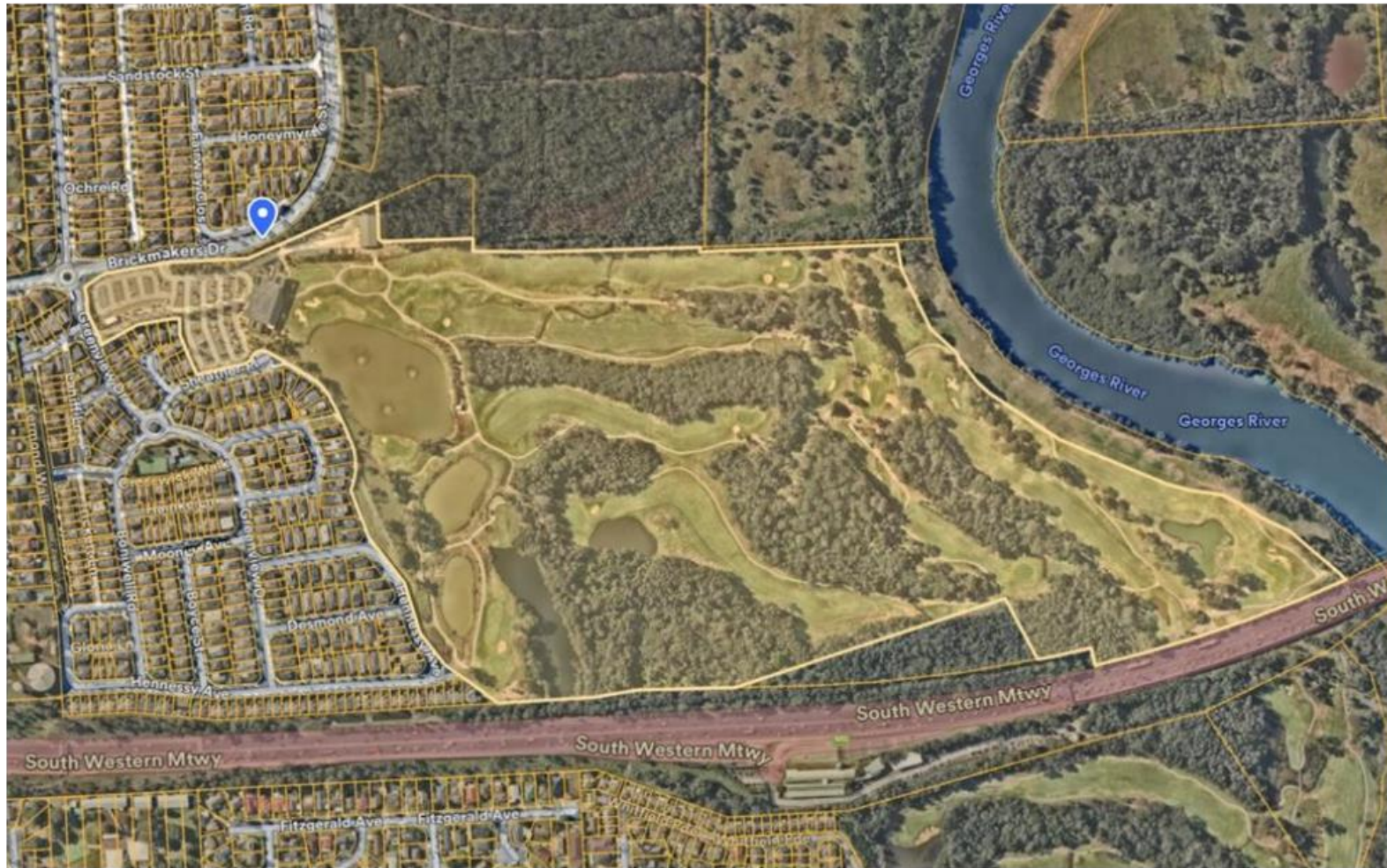


Figure 2 - Locality aerial image of part of Moorebank showing property boundaries in relation to 43 Brickmakers Drive (blue marker) (Nearmap 2024)



Figure 3 - Site plan showing the proposed location of the pedestrian walkway/bicycle track traversing through Council administered bushland in the north-west and directed along the edge of the Golf Course south-eastwards to the M5 Motorway overpass (Beveridge Williams 2024)

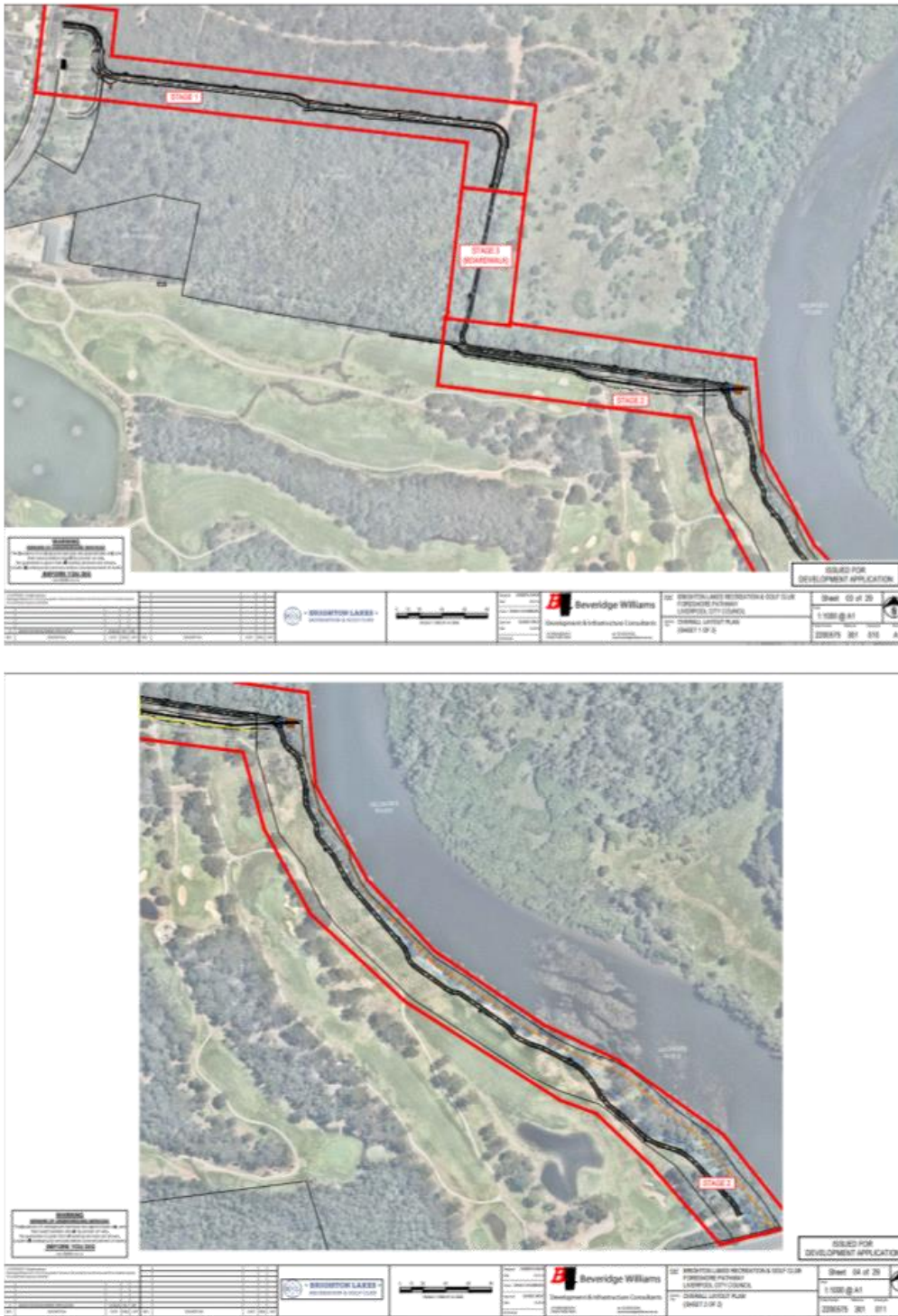


Figure 4A - Layout plan of the proposed development showing Stages 1, Stage 2 and Stage 3 (all within red outlines) (for detail see Beveridge Williams 2024)

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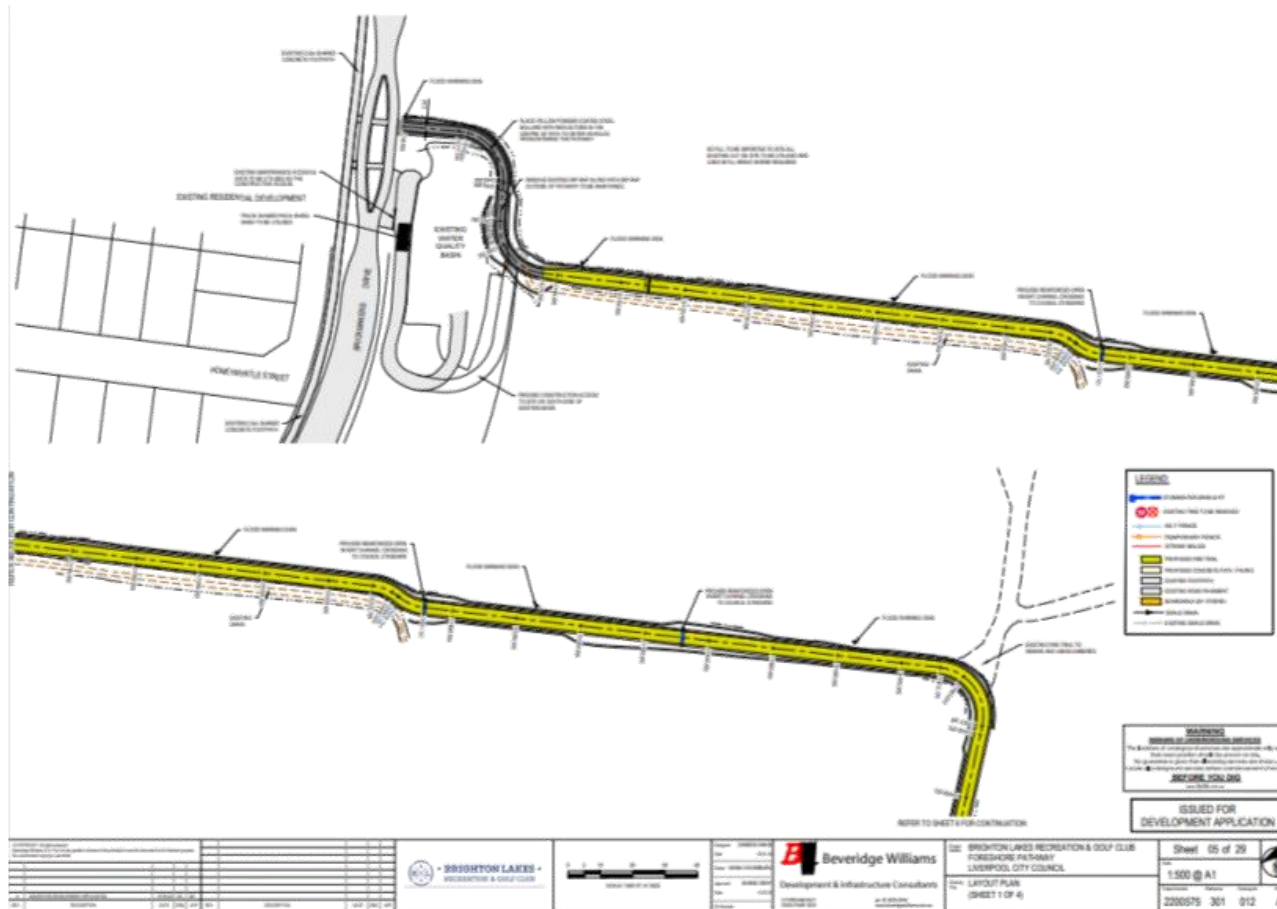


Figure 4B - A schematic indication of the elements of the proposed pathway construction in Stage 1 along the current fire-trail route from Brickmaker's Drive, Moorebank (for detail see Beveridge Williams layout plans 2024)

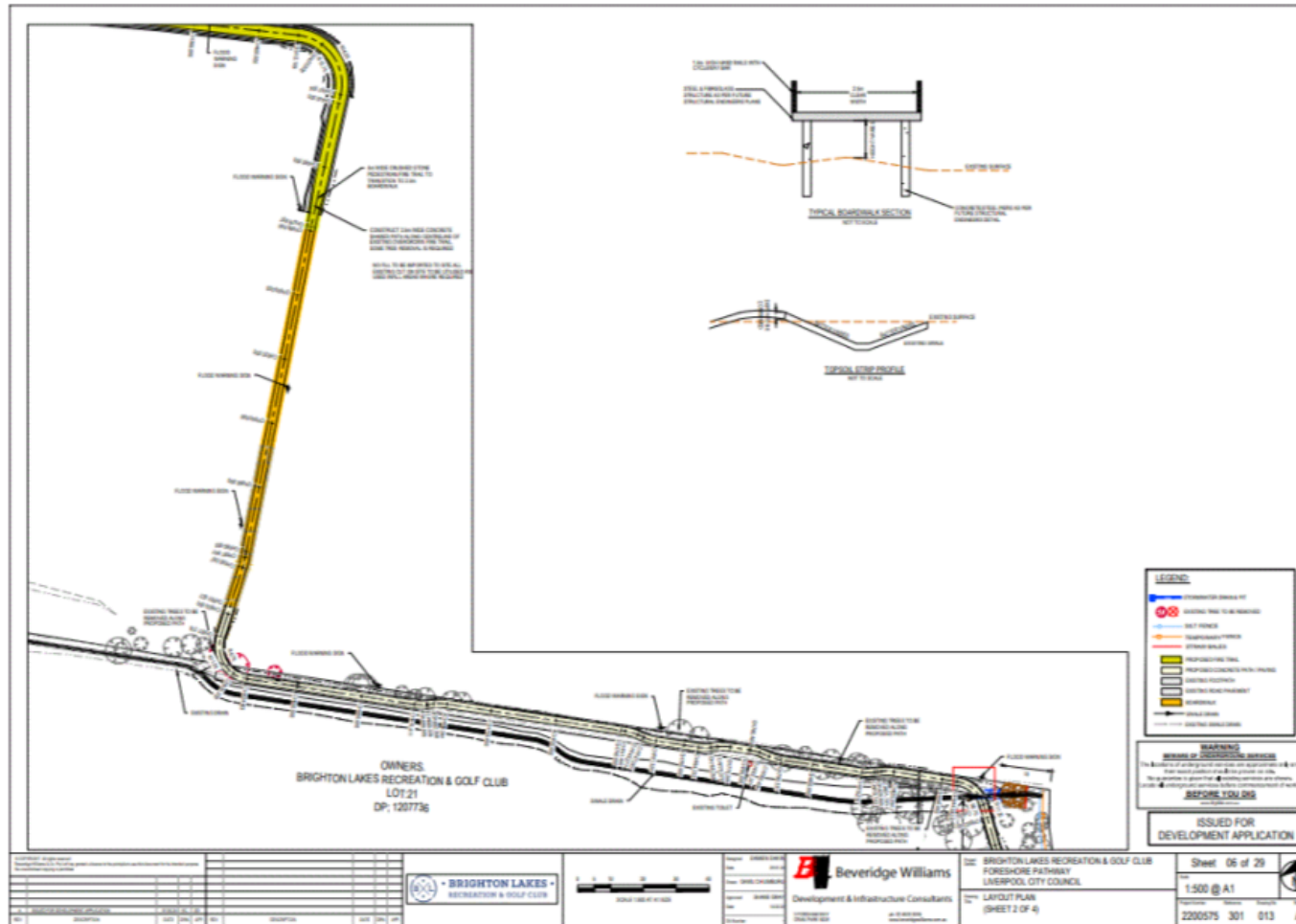


Figure 4C - A schematic indication of the elements of the proposed pathway construction in Stage 3 (Boardwalk), and the northern section of Stage 2 (for detail see Beveridge Williams layout plans 2024)

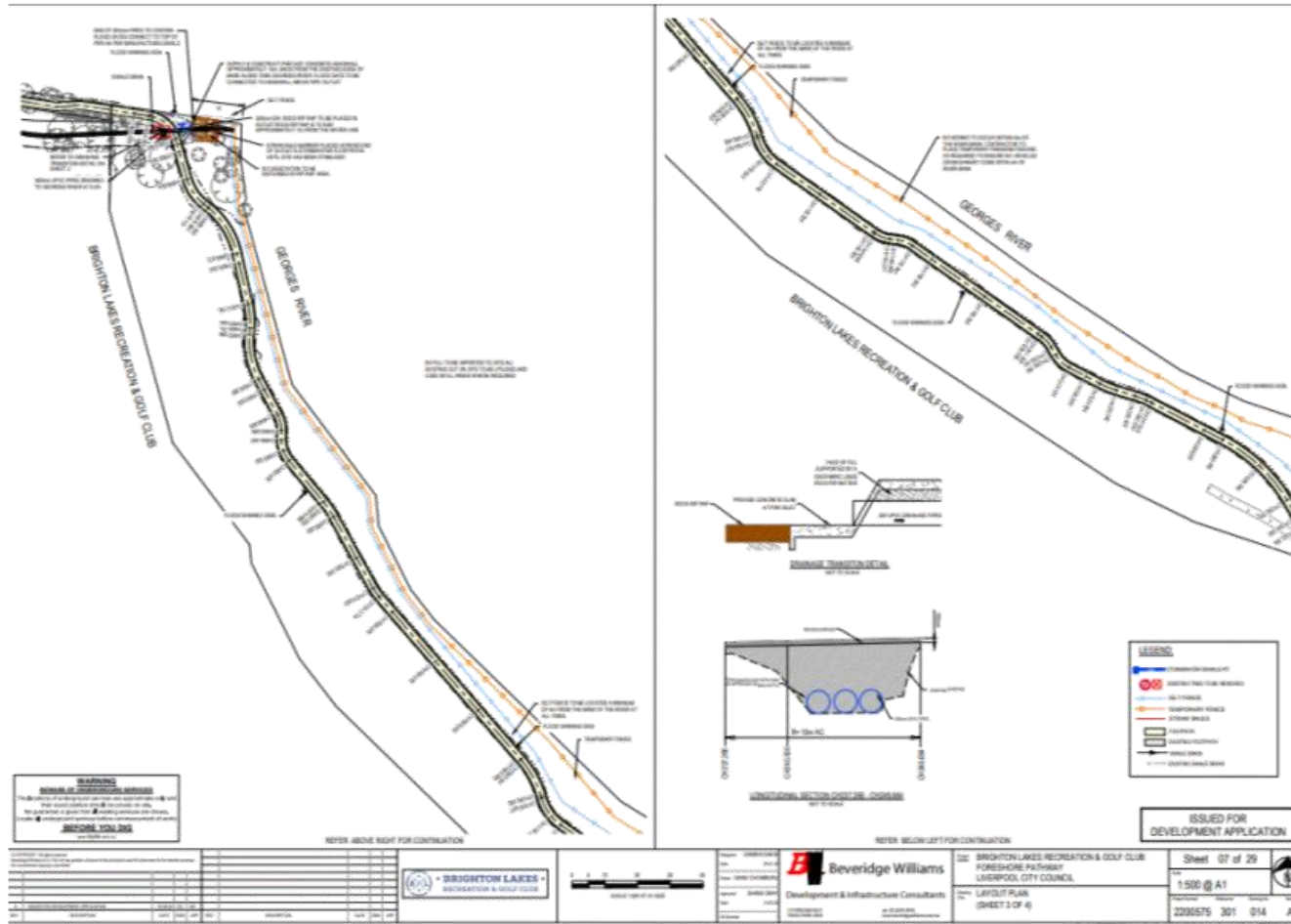


Figure 4D - A schematic indication of the elements of the proposed pathway construction in the upper and central southern sections of Stage 2 (for detail see Beveridge Williams layout plans 2024)

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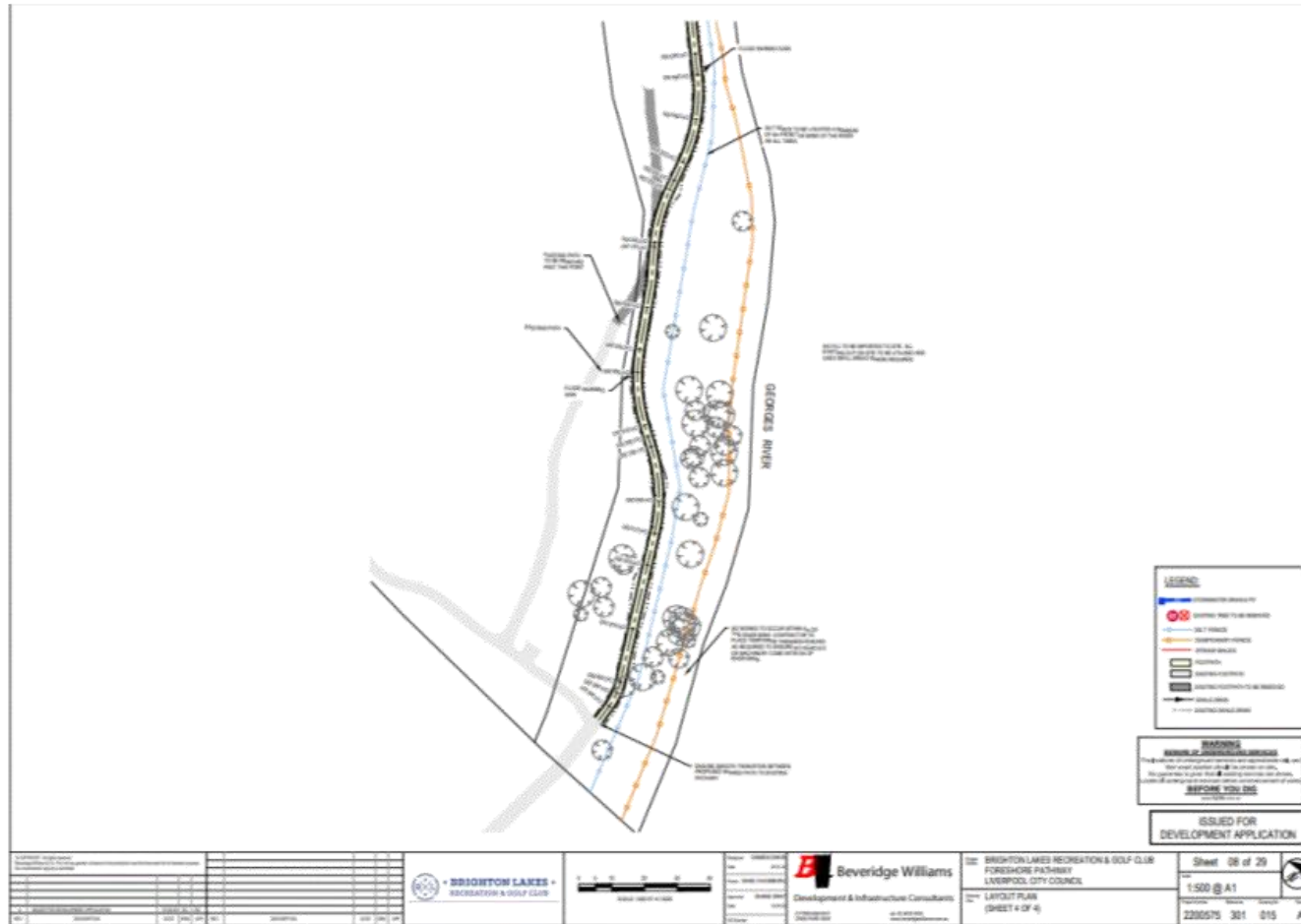


Figure 4E - A schematic indication of the elements of the proposed pathway construction in the lower south-eastern section of Stage 2 (for detail see Beveridge Williams layout plans 2024)

1.1.1 Stage 1

Stage 1 of the development involves slightly widening where necessary, and clearing the edges of the existing fire trail (Figures 4A, 4B, 5 & 6).

The vegetation consists of woodland/open forest of Broadleaved Ironbark to 30% cover and 20m tall. The mid-storey is up to 10m tall with 40% cover, and consists of small trees and shrubs, including Parramatta Green Wattle, Prickly Paperbark, Tick Bush, Thin-leaved Stringybark, Black Sheoak, *Hakea sericea*, Spiny-headed Mat-rush, *Leucopogon juniperinus* and *Micromyrtus ciliata*.

The proposed development in this stage mostly involves trimming the branches of trees and shrubs along the pathway to maintain the width of the trail (Figures 5 & 6).

The end section of the Stage 1 pathway that joins the uppermost, northern section of Stage 3 (Figures 4A & 4B), is overgrown with regenerating elements of Castlereagh Ironbark Forest. As such, sampling of this area was required due to the impact on the regenerating native vegetation along the existing pathway.



Figure 5 - The existing fire trail in the west to east directed section of Stage 1 of the proposed development



Figure 6 – The existing fire trail in the west to east directed section of Stage 1 of the proposed development indicating overhanging branches of shrubs that may require trimming for the proposal

1.1.2 Stage 2

Stage 2 of the development involves creating a pathway along the northern edge of the golf course between the fairway and an existing drainage channel to Georges River (Figures 4A, 4C & 7), where it then curves around to the south-east to follow the Georges River down to the M5 underpass (Figure 4A, 4C, 4D & 4E).

It is proposed to trench a new drainage channel about 3 - 4m to the south of the existing channel and fill the current channel with material derived from the new watercourse (Figure 7).



Figure 7 - Indicates the initial west - east section of the Stage 2 development. The current drainage channel is to be infilled for the pathway and a new channel trenched in a location parallel to the current about 3m to its south. The trenched material will be used to infill the current drainage channel

The vegetation composition in this stage is mostly managed exotic grassland with individuals and stands of trees, including Swamp Oak (Figure 8), Forest Red Gum and Rough-barked Apple (Figure 9). The proposed pathway largely avoids the stands of trees (Figures 4C, 4D & 4E) and may only involve some trimming of branches and shrubs along the fairway.



Figure 8 - Showing a copse of Swamp Oak (*Casuarina glauca*) on the eastern (river) side of the proposed new path, which will wind around it in-between the fairway and the river



Figure 9 - The pathway will be directed around and between individuals and clumps of tree species including Forest Red Gum and Rough-barked Apple

The southernmost phase of Stage 2 of the proposal (Figures 4A & 4D) encroaches on a small degraded area (about 13m x 13m in area) of wetland containing Common Reed (*Phragmites australis*). (Figure 10). However, the area of reed occurs within an exotic grassland patch dominated by Kikuyu, and is subject to maintenance by mowing (Figure 11).

BAM analysis of the area resulted in a VIS (Vegetation Integrity Score) of just 11.6, with no functional attributes and the analysis did not generate any offset credits. As such, the impact of a 2.5m wide walkway through this small patch of degraded Common Reed established within an exotic grassland was not considered to present a significant impact by the proposed development.



Figure 10 - Showing an area of *Phragmites australis* wetland (PCT 3962) at the terminal end of Stage 2 (viewed from south to north) taken on 5.03.2024. The pathway is constructed between individuals of Swamp Oak and no Swamp Oak Riparian Forest would be impacted



Figure 11 - Showing the area of *Phragmites australis* wetland at the terminal end of Stage 2 (image taken 8.05.2024) managed by frequent mowing, encouraging the growth of Kikuyu in the ground strata below the emergent reed

1.1.3 Stage 3

The upper sections of the disused track joining the eastern end of the west - east section of Stage 1 is still considered to represent the latter end of Stage 1 (Figures 3, 4A, 4B & 12).

Much of this latter section of Stage 1 is a former track which has become overgrown with species representative of Castlereagh Ironbark Woodland (Figure 12).



Figure 12 - The overgrown path to be cleared and widened, with open woodland on either side (looking south to north). This disused track will be widened to 2.5m and formalised with a concrete based walkway

The general vegetation of the regenerating latter section of Stage 1 (shown in Figure 4A & 4B) and southern sections of Stage 3 is a scrubby woodland/open forest with the predominant tree species being Broad-leaved Ironbark (*Eucalyptus fibrosa*) to 20m tall and 30% canopy coverage. The mid story consists mainly of *Melaleuca nodosa* and *Melaleuca decora* to 9m tall

with about 40% canopy coverage. The understory is sparse (about 5% cover) to 2m tall, with ground cover up to 40%, and bare earth and litter making up about 60% (Figure 13).



Figure 13 - Typical open forest woodland vegetation occurring adjacent to the overgrown track (Figure 12) at the terminal section of Stage 1 and the southern sections of Stage 3

A man-made levee running along the western boundary of the adjacent property (eastern section of subject area) is restricting water drainage and dissipation from surrounding drainage channels, which has led to the development of a swampy rushland area of Cumbungi (*Typha orientalis*) to 2 -3 m tall with some emergent *Melaleuca decora* to 15m (PCT 3997) (Figure 14).

A 2.5m wide boardwalk, comprised of steel and fibreglass, will be constructed from the edge of the Cumbungi along a distance of 128m southwards toward the Golf Course (Figures 3, 4A & 4B) (detail in Beveridge Williams 2024).



Figure 14– Typha rushland with emergent *Melaleuca decora* occurring at the initial (northern) end of Stage 3 of the proposed development

1.2 Sampling vegetation attributes

The vegetation in the terminal end of Stage 1 and the initial stages of Stage 3 (widening of disused track shown in Figure 12) and occurring to the south of the Typha Rushland, (Castlereagh Ironbark Forest, PCT 3448) and Stage 3 (Typha Rushland, PCT 3997) were sampled as there is a direct or indirect impact on native species or defined native plant communities.

Stage 2 of the proposed development is the only stage that has no significant impact on most areas of native vegetation, except for the initial section of Stage 2 where it enters the Golf Course from the Council Reserve (Figures 4B & 15).



Figure 15 - The terminal end of Stage 3 is contiguous with the initial section of Stage 2, apparent as an overgrown path to be cleared and widened, with open woodland on either side (looking south to north). This section of the disused track in Stage 2 will be widened to 4m and formalised with a concrete based walkway

The Castlereagh Ironbark Forest sections of vegetation representative of sections of Stages 1/2/3 that are to be impacted (Figures 12, 13 & 15) were sampled in a separate plot, with a total plot size 20 x 20m for floristic and structural attributes, expanded to 20 x 50m to sample functional attributes, to derive a Vegetation Integrity Score (VIS).

Similarly, the small area of Typha Rushland section of the vegetation in Stage 3 (Figures 4B, 4C & 14) was sampled in a separate plot, with a total plot size 20 x 20m for floristic and structural attributes, expanded to 20 x 50m to sample functional attributes, to derive a Vegetation Integrity Score (VIS).

Plot 1 was situated along the track and within the adjacent Castlereagh Ironbark Woodland (Figures 12 & 13), while Plot 2 was located within the Typha Rushland swamp area (Figure 14).

These and the adjacent areas extending for another 600m² to the west and south-west respectively, were sampled for functional attributes.

BAM attributes for floristic composition, structural variation and functional attributes were sampled on the 5th of March 2024.

Figure 16 indicates the location of the sampling areas at the site.

These plots provided the attributes that were used to derive potential offsets.

Table 1 summarises environmental and biotic attributes recorded in the floristic Plots (Figure 16).

	Plot 1 (Woodland)		Plot 2 (Rushland)	
Co-ordinates	-33.941033	150.963241	-33.941399	150.963147
Bearing	280 ^o		225 ^o	
Approx tree canopy cover (%)	30		7 (<i>Melaleuca decora</i>) shrub	
Total number locally occurring native spp	27		7	
Locally occurring native spp occurring at >= 5% cover	<i>Adiantum aethiopicum, Cynodon dactylon, Eucalyptus fibrosa, Melaleuca decora, Melaleuca nodosa</i>		<i>Calochlaena dubia, Gahnia aspera, Melaleuca decora, Typha orientalis</i>	
Locally occurring native spp occurring at < 5% cover	<i>Arthropodium milleflorum, Bursaria spinosa, Clematis glycinoides, Centella asiatica, Denhamia silvestris, Dianella caerulea, Dichondra repens, Empodisma minus, Entolasia stricta, Gahnia aspera, Hibbertia aspera, Hydrocotyle laxiflora, Leucopogon juniperinus, Glycine tabacina, Goodenia ovata, Gonocarpus teucrioides, Ozothamnus diosmifolius, Parsonsia straminea, Polyscias sambucifolia, Plectranthus parviflorus, Pratia purpurascens, Passiflora herbertiana</i>		<i>Baumea juncea, Goodenia stelligera, Phylidrum lanuginosum, Persecaria decipiens</i>	

Table 1 – Summary of the abiotic environmental and biotic attributes recorded at sampled Plots at the site



Figure 16 - Sampled plots for floristic and structural attributes (20 x 20m; total red outlines) and functional attributes (total red plus total green outlined areas) at the subject site and surrounding bushland (Nearmap 2024)

1.3 Extent of land proposed to be impacted by development

The existing overgrown path in Stage 3, starting from the end of stage 1 in the north, extends for approximately 40m south, where a boardwalk will traverse approximately 30m over an area of Typha swamp, and continue over semi flooded Ironbark forest for the remaining 110m, before crossing an existing drainage channel to the west to east extension of Stage 2.

The total area of potential Castlereagh Ironbark Forest habitat affected by the proposed development over a distance of 63m in Stage 1 and Stage 2 is estimated at about 252m² or 0.025ha, and additionally, a distance of some 80m based on a 2.5m wide boardwalk development zone is estimated at 200m² or 0.02ha.

As such, the total area of Castlereagh Ironbark Forest that will be impacted is estimated at 0.0452ha (Figure 4A).

The total area of potential Typha Rushland habitat affected by the proposed boardwalk development in Stage 3 is estimated at about 55m² or 0.0055ha, based on a 2.5m wide boardwalk development over a distance of some 28m (Figure 4A).

As such, a total extent of 0.0507ha is included in the offset evaluation by the BAM Calculator.

The mapping of Biodiversity Value indicates that there is Biodiversity Value associated with the subject property (Figure 17), and biodiversity offsets would be required for the proposal (BAM 2020).

The greater plant community that occurs throughout the woodland/forest has been mapped by DPE and ground-truthed by the author, as 'Castlereagh Ironbark Forest' (PCT 3448) (DPE 2024).

In addition, the author assessed the small, non-naturally occurring rushland area within the development site to be 'Hunter Coast Sandplain Sedge Paperbark wetland' (PCT 3997).

This report will determine the number of Biodiversity Credits that may be required to offset the loss of 0.0452ha of potential 'Castlereagh Shale-Gravel Transition Forest' and 0.0055ha of 'Hunter Coast Sandplain Sedge Paperbark wetland', the offset to be paid under the NSW Biodiversity Offsets Agreement Management Scheme (BOAMS).

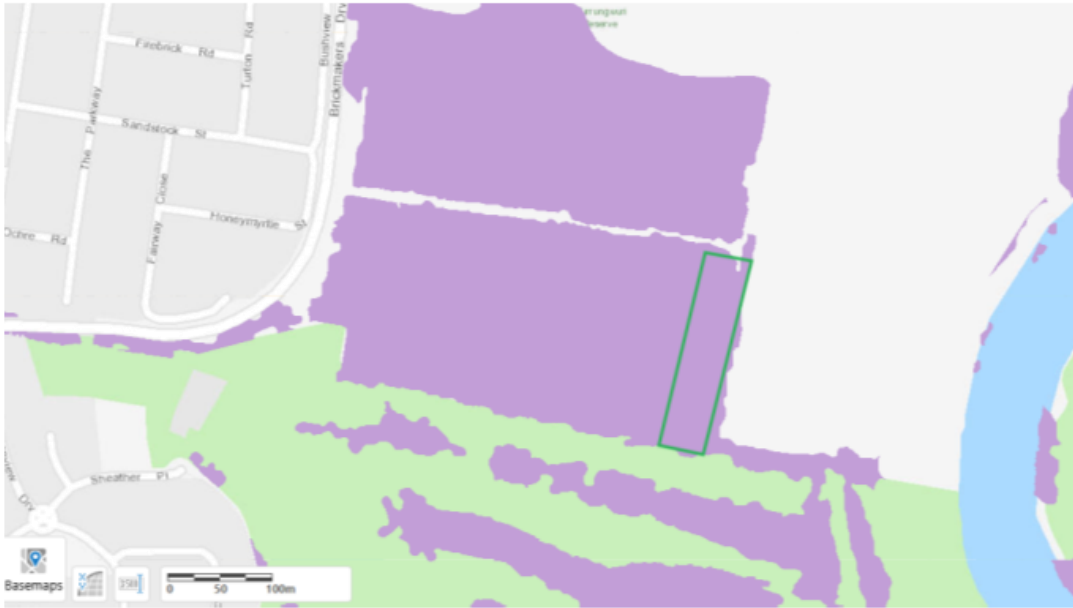


Figure 17- Biodiversity Value (BV) Map indicating biodiversity significance (purple shaded areas) within Stage 3 and sections of Stage 1 and Stage 2 (approximate area shown in green outline); as such this area was subject to offset calculations (Biodiversity Values Map) (DPE 2024)

1.4 Topography, geology and soils

The site of Stages 1, 2 & 3 occur on relatively level ground (Figures 5 -15).

The geology of the area at Moorebank appears to be the Ashfield Series of the Wianamatta Shale (Clark & Jones 1991). The lithology of these sediments includes black to dark grey claystone-siltstone and fine sandstone-siltstone laminite (Clark & Jones 1991).

The Soil Landscape of the subject area appears to be the residual Blacktown Soil Landscape Series (Bannerman & Hazelton 1989).

Soils formed from these landscapes include shallow to moderately deep hardsetting mottled texture contrast soils, red and brown podzolics on crests, grading to yellow podzolics on lower slopes and along drainage lines (Bannerman & Hazelton 1989).

1.5 Current database and mapping searches

Existing information on 'Threatened Flora of the Locality', defined as an area of 5km radius around the site, was accessed from the DPE Bionet Atlas of NSW Wildlife (online BioNet 2024), Review of Commonwealth DCCEE Environmental Protected Matters Search Tool for MNES records within an area of 5km radius around the site (March 2024) and RoTAP (Briggs and Leigh 1996) databases.

Other literature detailing regionally and locally threatened and significant flora and fauna, as well as plant communities of the study area, included NSW Scientific Committee Final Determinations (1996-2024), Benson and Howell (1994) and 'The Native Vegetation of the Sydney Metropolitan Catchment Management Authority Area' (OEH 2016).

1.6 Literature review

Information sources reviewed included the following:

Aerial Photograph Interpretation (API)

Relevant guidelines, including:

- DPE Biodiversity Assessment Method (BAM) (2020);
- NSW Guide to Surveying Threatened Plants (OEH 2016);
- 'Species credit' threatened bats and their habitats: NSW survey guide for the Biodiversity Assessment Method (OEH 2018);
- Threatened Biodiversity Survey and Assessment: Guidelines for Developments and Activities (Department of Environment and Conservation 2004);

- DPE Threatened Species, Populations and Ecological Communities website (2024);
- Commonwealth DCCEEW Species, Profile and Threats Database (2024);
- Threatened species survey and assessment guidelines: field survey methods for fauna: Amphibians (DEC 2009);
- NSW Guideline to Surveying Threatened Plants (OEH 2016b);
- Survey guidelines for Australia's threatened birds. Guidelines for detecting birds listed as threatened under the Environment Protection and Biodiversity Conservation Act 1999 (Commonwealth of Australia 2010a);
- Survey guidelines for Australia's threatened frogs. Guidelines for detecting frogs listed as threatened under the Environment Protection and Biodiversity Conservation Act 1999 (Commonwealth of Australia 2010c);
- Survey guidelines for Australia's threatened mammals. Guidelines for detecting mammals listed as threatened under the Environment Protection and Biodiversity Conservation Act 1999 (Commonwealth of Australia 2011);
- Survey guidelines for Australia's threatened orchids (2017);
- Guidelines for detecting bats listed as 'threatened' under the Environment Protection and Biodiversity Conservation Act 1999 (Commonwealth of Australia 2013).

2 LANDSCAPE FEATURES

2.1 IBRA Regions and Subregions

The subject site occurs within the Sydney Basin IBRA region and the Cumberland IBRA Subregion.

2.2 Mitchell Landscapes (NSW Landscape regions)

The landscape features of the subject site included in a 1500m buffer zone centred around the subject site occurs within the Ashfield Plains Mitchell landscape in the Cumberland IBRA subregion of the Sydney Basin IBRA Region.

2.3 Extent of native vegetation

The area of native vegetation cover within a 1,500 m buffer area surrounding the site is shown in Figure 18. It is estimated that the native vegetation cover within the 1500m buffer area to the subject site is 27% and this was used in the BAM Offsets calculations

2.4 Wetlands, Rivers, Streams and Estuaries

A stormwater drainage channel traverses the northern edge of the initial phase of Stage 2 and the lower (southern) edge of Stage 3 (Figure 7). Due to the man-made levee on the eastern boundary of the subject area, a Typha rushland swamp/wetland has formed in the initial development area of Stage 3 (Figure 14).

2.5 Connectivity

Landscapes that retain connections between patches of otherwise isolated areas of vegetation are more likely to maintain more numerous and more diverse populations of plant and animal species (Lindenmayer and Fischer 2006).

The proposed development will not reduce the cover of canopy trees in the site location as no trees are required to be removed during the construction of the boardwalk or widening of the existing remnant path. It is considered that any potential connectivity to the biodiversity corridor that currently exists in the area would not be significantly impacted.

2.6 Areas of Geological significance and soil hazard features

These features are not present on the subject land. The level areas that characterise the subject property are stabilised by vegetative cover and no soil creep is apparent.

2.7 Areas of Outstanding Biodiversity Value (AOBV)

AOBV are special areas that contain irreplaceable biodiversity values that are considered important to NSW, Australia or globally. No listed AOBV occur within the site or within a 1,500m area buffer around the subject site.

2.8 Site Context

2.8.1 Native vegetation cover

Native vegetation cover is calculated as a percentage cover occurring on the subject land and within the surrounding 1,500m buffer area.

Cover estimates are based on the cover of native woody and non-woody vegetation relative to the approximate benchmarks for the PCT considering the extent and condition of the vegetation.

The native vegetation cover within the 1500m buffer area is estimated at 189ha (27%) (Figure 18).

2.8.2 Patch size

Patch size is used to describe areas that include native vegetation with a gap of less than 100m from adjacent or surrounding areas of native vegetation that occur in moderate to good condition.

The patch size for the vegetation onsite is assessed as 186.45ha (Figure 18).

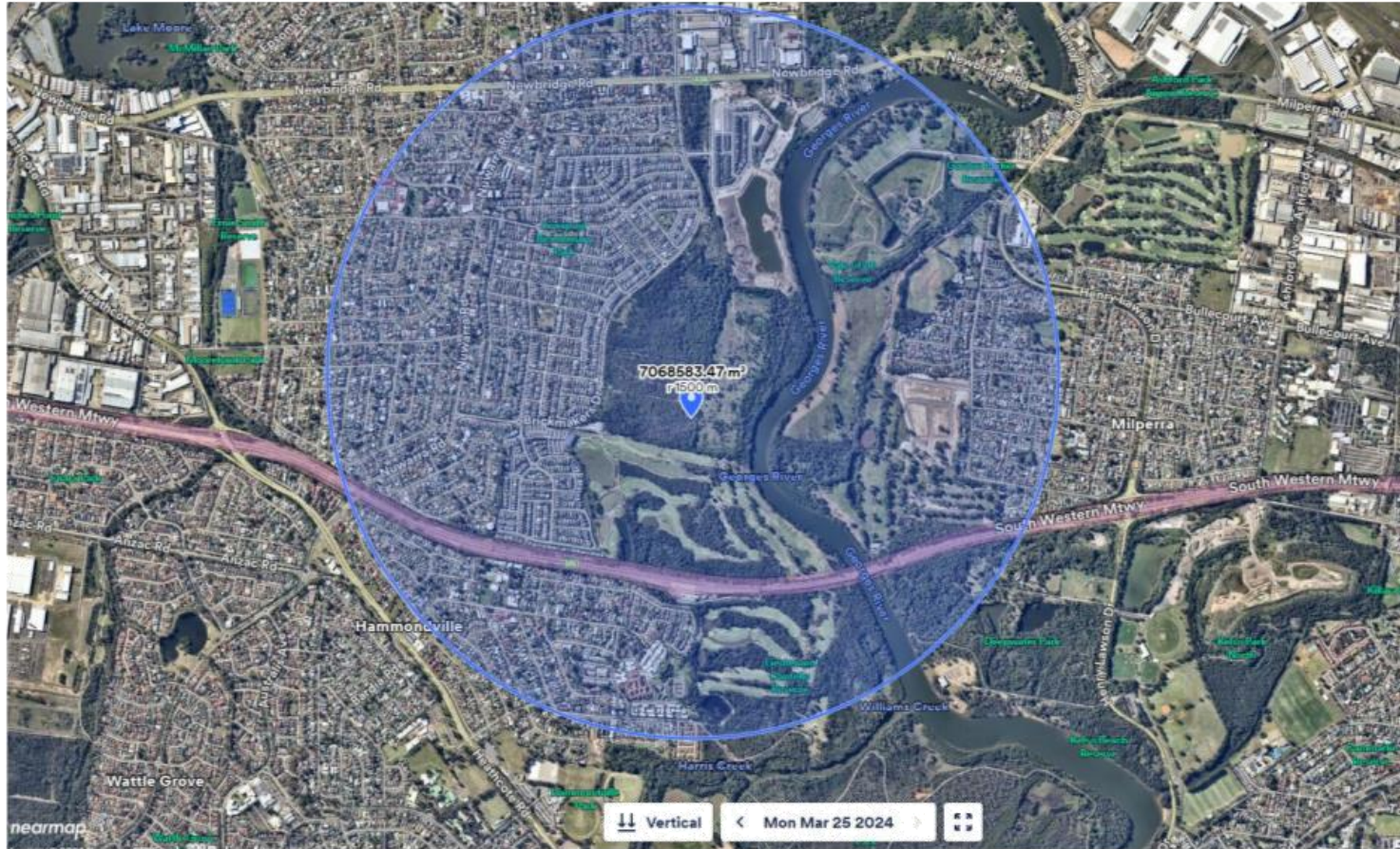


Figure 18 - Image of landscape features within 1500m radius centred around the subject site (blue circular outline) showing patches of vegetated areas along creek lines and associated reserves within the buffer zone is about 27% (Nearmap June 2024)

3 NATIVE VEGETATION

3.1 Native vegetation extent areas to be impacted within Stages, 1, 2 & 3

The total area of native vegetation cover within the Stage 1, 2 and 3 development area was estimated at about 98% of the total vegetated cover.

The extent of native vegetation intended for removal/trimming equates to about 507m² which includes mainly *Melaleuca decora*, *Melaleuca nodosa*, *Eucalyptus fibrosa*, *Calochlaena dubia* and *Typha orientalis* (Figures 12, 13, 14 & 15).

3.2 Plant Community Types (PCT's)

3.2.1 Plant Community Type mapped and PCT assessed as occurring at the site

Mapping by DPE (2024) has mapped the vegetation across the subject site as Castlereagh Ironbark Forest (PCT 3448) (Figure 19)

The author has also assessed there to be a small patch of Hunter Coast Sandplain Sedge Paperbark Wetland (PCT 3997) (previously PCT 1737: Typha Rushland) (Figure 14), within Stage 3, which has not been mapped by DPE.

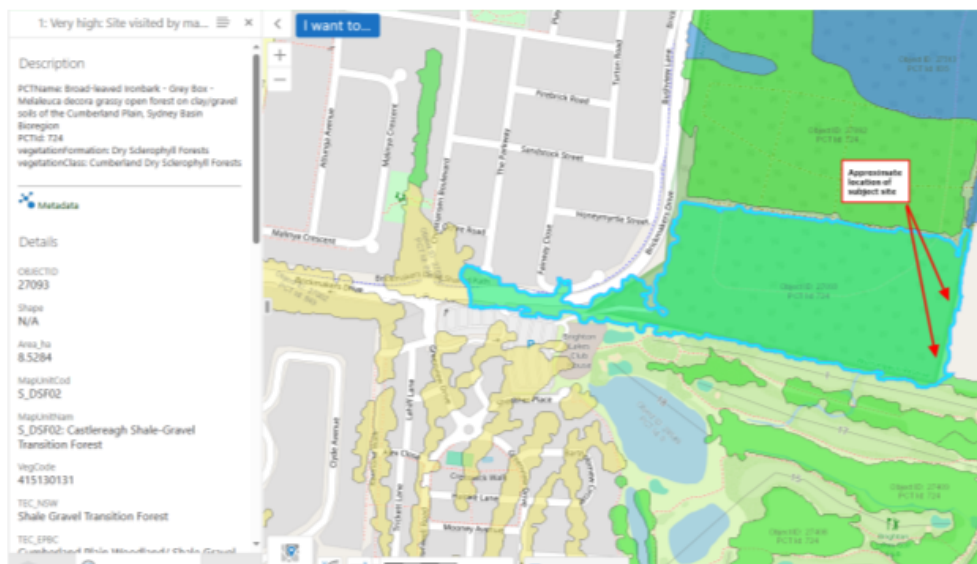


Figure 19 - mapping of ecological communities over the locality including the Study Area indicating the distribution of Castlereagh Ironbark Forest (PCT 3448) east of Brickmakers Road, Moorebank (Source: DPE mapping 2024 courtesy of Land and Property Information 2015)

3.2.1.1. PCT 3448: Castlereagh Ironbark Forest

BioNet Vegetation Classification - Community Profile Report (DPE 2024)

Plant Community Type ID (PCT ID): 3448 PCT

Name: Castlereagh Ironbark Forest

Classification Confidence Level: 2-High

Vegetation Description: A tall sclerophyll open forest with a dense mid-stratum of Melaleucas and a patchy ground layer of grasses and graminoids or a dense thicket of Melaleucas with emergent eucalypts that is found on the Cumberland Plain to the west of Sydney. It is one of a suite of forests that are associated with the subtle intergrade between clay-rich shale soil and the sandier substrates. The canopy almost always includes ironbark eucalypts (primarily *Eucalyptus fibrosa*), occasionally accompanied by stringybark eucalypts (*Eucalyptus sparsifolia*, *Eucalyptus oblonga* or *Eucalyptus globoidea*). The dense shrub to small tree layer almost always includes melaleucas and acacias of which *Melaleuca decora* and *Acacia falcata* are the most frequent. The smaller shrubs *Bursaria spinosa* and *Daviesia ulicifolia* are both common. The ground layer is a sparse cover of graminoids, forbs, twiners and a hardy fern. *Entolasia stricta* is almost always present while *Aristida vagans*, *Cheilanthes sieberi subsp. sieberi*, *Microlaena stipoides*, *Dianella revoluta*, *Lomandra multiflora subsp. multiflora*, *Lepidosperma laterale* and *Opercularia diphylla* are very frequent.

The ground layer may be depauperate in locations where the dense mid-stratum excludes light and suppresses plant growth. This PCT is associated with moderately fertile soils derived from Tertiary alluvial deposits, shale and ironstone gravels and residual soils derived from shale or from sandstone with enrichment from nearby shales. It is extensive around Castlereagh, Holsworthy and the catchment of the Cooks River where Melaleuca thickets are prevalent, possibly the result of human-induced changes to the original forest structure. There are smaller occurrences at Kemps Creek and near the shale sandstone interface in Wollondilly Shire.

This PCT has been extensively cleared and often occurs in small, fragmented patches. It typically occurs in a moist, warm climate at elevations below 150 metres asl, though it may reach 400 metres asl in the southern-most part of its range. The occurrences at higher elevation on the southern and western edge of the Cumberland Plain represent an extended interpretation of this PCT compared to previous studies.

This PCT has considerable floristic and habitat overlap with PCT 3321, with much gradation between these PCTs in the northern Holsworthy area. PCT 3321 differs in that *Eucalyptus punctata* and *Persoonia linearis* are more frequent, Melaleucas are rare and it is found on thin shales near the sandstone interface. At the sandier end of the shale-sandstone interface, this PCT grades into PCTs 3616 and 3619. Trees and shrubs that are more frequent in PCT 3616 include *Eucalyptus punctata*, *Persoonia linearis*, *Leptospermum trinervium*, *Lissanthe strigosa* and *Acacia linifolia*. *Corymbia gummifera* is very frequent in PCT 3619 which also includes sandstone heath species such as *Banksia spinulosa*, *Persoonia levis* and *Lambertia formosa* and only occasional soft grasses such as *Microlaena stipoides* and *Aristida vagans* which are very frequent in this PCT. With a

greater shale influence, this PCT grades into PCT 3320 which includes *Eucalyptus tereticornis* and *Eucalyptus moluccana* in its canopy and a more diverse suite of soft-leaved grasses and forbs.

Vegetation Formation: Dry Sclerophyll Forests (Shrub/grass sub-formation);

Vegetation Class: Cumberland Dry Sclerophyll Forests;

IBRA Bioregion(s): Sydney Basin;

IBRA Sub-region(s): Cumberland; Sydney Cataract; Sydney; Wollemi

Upper Stratum Species: *Eucalyptus fibrosa*; *Melaleuca decora*;

Mid Stratum Species: *Daviesia ulicifolia*; *Lissanthe strigosa*; *Bursaria spinosa subsp. spinosa*;

Ground Stratum Species: *Microlaena stipoides var. stipoides*; *Opercularia diphylla*; *Lomandra multiflora*; *Cheilanthes sieberi subsp. sieberi*; *Aristida vagans*; *Pratia purpurascens*; *Themeda australis*; *Wahlenbergia gracilis*; *Poranthera microphylla*; *Desmodium gunnii*; *Dichelachne micrantha*; *Goodenia hederacea*; *Lomandra filiformis*; *Dichondra repens*; *Brunonia australis*; *Dianella revoluta*; *Hypericum gramineum*; *Lepidosperma cf. laterale*; *Oxalis perennans*; *Panicum simile*;

TEC Assessed: Has associated TEC

TEC List:

ListStatus	ThreatStatus	FitStatus	TEC Name	Degree of TEC Fit
BC Act	Listed	E	(Part)	Cooks River/Castlereagh Ironbark Forest in the Sydney Basin Bioregion
BC Act	Listed	E	(Part)	Shale Gravel Transition Forest in the Sydney Basin Bioregion
EPBC Act	Listed	CE	(Part)	Cooks River/Castlereagh Ironbark Forest of the Sydney Basin Bioregion
EPBC Act	Listed	CE	(Part)	Cumberland Plain Shale Woodlands and Shale-Gravel Transition Forest

PCT Percent Cleared: 87.00

PCT Remaining: 2882ha

PCT Definition Status: Approved

As such, PCT 3448, Castlereagh Ironbark Forest, was assessed as the PCT to enter into the BAM calculator

3.2.1.2. PCT 3997: Hunter Coast Sandplain Sedge Paperbark Wetland

BioNet Vegetation Classification - Community Profile Report (DPE 2024)

Plant Community Type ID (PCT ID): 3997 PCT

Name: Hunter Coast Sandplain Sedge Paperbark Wetland

Classification Confidence Level: 2-High

Vegetation Description: A tall to very tall freshwater reedland occurring in poorly drained open or closed depressions in sandy environments with low relief on the Central Coast botanical division. The dense to mid-dense ground layer almost always includes *Pericaria strigosa*, very frequently with *Typha orientalis* and *Hypolepis muelleri*. Other reeds, sedges, ferns and herbs reflective of the wet or damp sandy soil commonly include *Phragmites australis*, *Carex appressa* and *Telmatoblechnum indicum*, occasionally with *Machaerina articulata*. A sparse tree layer is commonly present, consisting of *Melaleuca quinquenervia* and/or *Eucalyptus robusta*, or occasionally very sparse *Casuarina glauca*, however there is usually no woody shrub layer. On presently available information this PCT occurs on Quaternary siliceous sands with low relief, including freshwater swamps behind coastal barrier dunes, sandy alluvial deposits, and depressions in beach ridge deposits. Most known occurrences of this community are in disturbed landscapes that may have modified drainage. More survey work is required to confirm the relationships of this community to other PCTs and disturbance.

Vegetation Formation: Forested Wetlands;

Vegetation Class: Coastal Swamp Forests;

IBRA Bioregion(s): Sydney Basin, NSW North Coast

IBRA Sub-region(s): Wyong, Pittwater, Hunter, Upper Hunter;

Upper Stratum Species: *Melaleuca decora*;

Mid Stratum Species: *Baumea juncea*; *Calochlaena dubia*; *Gahnia apsera*; *Phylidrum laniginosum*; *Goodenia stelligera*;

Ground Stratum Species: None

TEC Assessed: Has associated TEC

TEC List:

ListStatus	ThreatStatus	FitStatus	TEC Name	Degree of TEC Fit
BC Act	Listed	E	(Part)	Swamp Sclerophyll Forest on Coastal Floodplains of the NSW North Coast, Sydney Basin and South Coast East Corner Bioregions
BC Act	Listed	E	(Part)	Sydney Freshwater Wetlands in the Sydney Basin Bioregion
EPBC Act	Listed	E	(Part)	Coastal Swamp Sclerophyll Forest of NSW and SE QLD

PCT Percent Cleared: 61.90

PCT Remaining: 8ha

PCT Definition Status: Approved

3.2.1.3. *Plot data used in BAM Calculator*

The area in Plots 1 & 2 (Figure 16) were subject to BAM analysis for a Vegetation Integrity Score that may require biodiversity offsets.

The data for both Plots are presented in Appendix 1.

The native species occurring in the plots are indicated in Table 1.

3.2.1.4. *Flora species occurring in plot*

The flora species complement and respective cover values are listed in Appendix 1 and Appendix 2.

3.2.1.5. *Fauna species and potential fauna habitat*

Natural tree canopy cover is relatively continuous to the north, west and south of the proposed area of impact with habitat suitable for arboreal and ground-dwelling species and species of avifauna. Only a small area of vegetation will be developed, and similarly only a small area of Typha rushland will be impacted with most of this potential community retained (Figures 3 & 4).

As there were not many flora species in flower at the time of survey, avifauna were sparse, only a few individuals of Noisy Minor and Little Wattlebird observed, however, when Paperbark species are in flower, a greater diversity of birds would be expected, including various parrot species etc.

Swamp Wallaby diggings were common and the skeleton of a young individual was observed, possibly taken by fox.

The Typha swamp is ideal habitat for amphibian species such as the common Eastern Froglet, and these were heard after rain at the time of survey.

3.3 Vegetation Integrity Assessment

3.3.1 Vegetation Zone

A vegetation zone is defined as an area of vegetation having the same PCT and occurring in a similar condition state.

Within Plot 1 (Figures 12 & 13), the vegetation is structurally and floristically very similar. The presence of Broad-leaved Ironbark, *Melaleuca decora* and Prickly Paperbark confirms the mapping of Castlereagh Ironbark Forest by DPE (2024) (Figures 12, 13 & 19).

Within Plot 2 (Figure 14), the vegetation is also structurally and floristically consistent. The presence of Cumbungi and emergent Prickly Paperbark indicates a vegetation community representing Hunter Coast Sandplain Sedge Paperbark Wetland (previously Typha rushland).

A total of 33 naturally-occurring native species were recorded in Plots 1 & 2 (Table 1; Appendix 1 & 2)

The general condition of the vegetation with regard to BAM analysis was regarded as 'Good' since the vegetation was species rich and with a relatively low incidence of weeds (Appendix 1 & 2).

The patch size for relatively continuous patches of native vegetation within the buffer area (within 100m of any adjacent patch) and aligned with the vegetation of the subject land is estimated at 186.45ha. This area was used for patch size in the BAM calculation.

3.3.2 Vegetation Integrity Score

Vegetation Integrity Scores were measured in each Plot using quantitative measures for species composition, structure and function, as indicated in Table 2 (BAM 2020).

Condition attributes use to assess composition of vegetation	Condition attributes use to assess structure within vegetation	Condition attributes use to assess functionality within vegetation
Tree richness	Tree cover	Number large trees
Shrub richness	Shrub cover	Tree regeneration potential
Grass and grass-like richness	Grass and grass-like cover	Tree stem size classes
Forb richness	Forb cover	Tree hollows
Fern richness	Fern cover	Total length of fallen logs
Other richness (Twining, Palms etc)	Other cover (Twining etc)	Litter cover
		High Threat Weed cover

Table 2 - Condition attributes for composition, structure and function at plots (Table 1; Figure 15) which were sampled for BAM analysis (from Table 2 in BAM 2020).

3.3.2.1. Plot 1 – PCT 3448

Plot 1 included trees of Broad-leaved Ironbark (*Eucalyptus fibrosa*), with the tall shrub species *Melaleuca decora* and *Melaleuca nodosa* also present in the assemblage in high frequency and cover.

A total of 9 shrub species occurred in the assemblage (Appendix 1 & 2). The plot was located as shown in Figure 16.

Table 3 tabulates the plot scores for the attributes listed in Table 2 for Plot 1.

PLOT 1 (Figure 16)						
Life-form	Tree	Shrub	Grass & Grass-like	Forb	Fern	Other
Counts for composition	1	9	4	9	1	4
Counts for cover (%)	30	75	14	11.5	15	3.5

Number large trees (>80cm DBH)	Tree regeneration (<5cm diam)	Presence of tree stem size classes (cm)					Length fallen logs (m)	Litter cover (%)	Tree Hollows	HTW (%)
		5-9	10-19	20-29	30-49	50-79				
0	present	no	yes	yes	yes	no	5	56	1	1.5

Table 3 - Plot 1 (Figure 15) scores for BAM attributes as listed in Table 2

Table 4 summarises the condition attributes for composition, structure and functionality of the biota in Plot 1 which were sampled for BAM analysis, with the resultant Vegetation Integrity Score (VIS) based on the area of **0.0507ha** impacted. The VIS is used to calculate the offset credits required and the costs incurred for clearing native vegetation in Stage 3.

PLOT 1 (Figure 16)				
ATTRIBUTE	COMPOSITION SCORE	STRUCTURE SCORE	FUNCTION SCORE	VEGETATION INTEGRITY SCORE (VIS)
	65.3	68.6	43.8	58.1

Table 4 - Condition attribute scores for composition, structure, function and VIS at Plot 1 for PCT 3448

3.3.2.2. Plot 2 – PCT 3997

Plot 2 consisted mostly of *Typha orientalis* with scattered, emergent *Meleuca decora* present and sedge species including *Baumea juncea* and *Gahnia aspera*.

The plot was located as shown in Figure 16.

Quantitative measures for species composition, structure and function attributes were derived from the intact vegetation within the plot as in the BAM (2020) as indicated in Table 2.

Table 5 tabulates the plot scores for the attributes listed in Table 2 for Plot 2.

PLOT 2 (Figure 16)						
Life-form	Tree	Shrub	Grass & Grass-like	Forb	Fern	Other
Counts for composition	0	1	1	3	1	0
Counts for cover (%)	0	7	90	7.1	15	0

Number large trees (>80cm DBH)	Tree regeneration	Presence of tree stem size classes (cm)					Length fallen logs (m)	Litter cover (%)	Tree Hollows	HTW (%)
		5-9	10-19	20-29	30-49	50-79				
0	Absent	no	no	no	no	no	0	25	0	0

Table 5 - Plot 2 (Figure 15) scores for BAM attributes as listed in Table 2

Table 6 summarises the condition attributes for composition, structure and functionality of the biota in Plot 2 which were sampled for BAM analysis, with the resultant Vegetation Integrity Score (VIS) based on the area of **0.005ha** impacted. The VIS is used to calculate the offset credits required and the costs incurred for clearing native vegetation in Stage 3.

PLOT 2 (Figure 16)				
ATTRIBUTE	COMPOSITION SCORE	STRUCTURE SCORE	FUNCTION SCORE	VEGETATION INTEGRITY SCORE (VIS)
	15.1	60.4	10.6	21.3

Table 6- Condition attribute scores for composition, structure, function and VIS at Plot 2 for PCT 3997

4 THREATENED SPECIES

4.1 Ecosystem Credit Species

Ecosystem credit species are those where the likelihood of occurrence of the species can be reasonably predicted by vegetation surrogates and features of the landscape, or for which targeted species surveys have a low probability of detection.

The Threatened Biodiversity Data Collection (TBDC) (BAM 2020) has identified 35 potential ecosystem credit species as predicted by vegetation surrogates and landscape features.

4.2 Species Credit Species (Candidate Species)

Species Credit Species (Candidate Species) are those where the likelihood of occurrence of the species, or potential suitable elements of the species habitat cannot be reliably predicted by vegetation surrogates and landscape features and can more reliably be detected by species surveys.

The TBDC has identified 12 potential candidate species and these are listed and addressed in the following Table 7.

In accordance with Section 5.3 of BAM (2020) a targeted species survey must be undertaken for a threatened candidate species that is likely to occur at the site based on the application of Steps 1 - 3 in Sub-sections 5.2.1 - 5.2.3 (BAM 2020).

The habitat features for breeding (such as caves, rocky overhangs and escarpments) are not present on the subject land that is proposed to be impacted.

The total area of proposed development in Stages 1, 2 & 3 is small at about 507m² in area (Figure 16) and is not considered to have any significant impacts on the vegetation, with no trees serving as potential habitat to be removed.

However, Table 7 lists all Species Credit Species (Candidate Species) listed in the TBDC and addresses their suitability to the habitat and likelihood of occurrence.

Table 7 –Candidate species assessment table for PCT 3448 and PCT 3997 occurring at 43 Brickmakers Road, Moorebank

SPECIES & COMMON NAME	DESCRIPTION/HABITAT REQUIREMENTS AND PREFERENCES (CONSTRAINTS) (from species profiles DPE 2024)	HABITAT SUITABILITY FROM DPE PROFILES; TDBC AND CALCULATOR TICK BOXES	HISTORICAL RECORDS (TO 20 YEARS PREVIOUS) (DPE 2024)	CANDIDATE SPECIES ASSESSMENT
PLANTS				
<i>Allocasuarina glareicola</i> Allocasuarina glareicola	Slender open shrub to 1 - 2m high. Found in open woodland with <i>Eucalyptus parramattensis</i> , <i>Eucalyptus fibrosa</i> , <i>Angophora bakeri</i> , <i>Eucalyptus sclerophylla</i> and <i>Melaleuca decora</i> . Common associated understorey species include <i>Melaleuca nodosa</i> , <i>Hakea dactyloides</i> , <i>Hakea sericea</i> , <i>Dillwynia tenuifolia</i> , <i>Micromyrtus minutiflora</i> , <i>Acacia elongata</i> , <i>Acacia brownei</i> , <i>Themeda australis</i> and <i>Xanthorrhoea minor</i> .	Primarily restricted to the Richmond (NW Cumberland Plain) district, but with an outlier population found at Voyager Point, Liverpool. Location at Moorebank unlikely.	No record within a 5km radius within the last 20 years.	Targeted searches did not locate any individuals of this species. No further surveys required
<i>Deyeuxia appressa</i> Deyeuxia appressa	An erect perennial shrub to 0.9m high. A highly restricted endemic species with only 2 specimens found pre 1942, one of them being on the Georges River south of Bankstown. May be extinct in the wild due to development in the area.	Limited knowledge of suitability due to lack of specimens.	No records occur in locality within last 60 years	Targeted searches did not locate any individuals of this species. No further surveys required
<i>Hibbertia fumana</i> Hibbertia fumana	A low shrub or sub-shrub with many branches at the base and branches also well branched. Foliage is small (~3 mm), hairy and slender, decurrent or nearly so onto the branches and with revolute margins. The flowers are pedunculate, with single flowers terminal on the stems, the peduncle elongating in fruit. The calyx is hairy on the outside and glabrous within. Petals are broadly bilobed, yellow, 5-7 stamens are clustered to one side of the twinned, hairy ovaries. Flowers are of the order of 10-12 mm across.	Species is known to occur in a long intergrade between Castlereagh Scribbly Gum Woodland and Castlereagh Ironbark Forest. Also recently found associated with aeolian sand deposits. Species has been found to occur in a variety of structural habitats including open areas, disturbed sites and also within thick ground cover dominated by a heavy cover of sedges, rushes and grasses.	Nearest records about 3.5km to the south-west near Chatham Village.	Targeted searches did not locate any individuals of this species. No further surveys required

Attachment 5

		Community composition is noted to include <i>Eucalyptus sideroxylon</i> , <i>E. fibrosa</i> , <i>E. parramattensis</i> and <i>E. sclerophylla</i> , with <i>Melaleuca decora</i> .		
<i>Hibbertia</i> sp. Bankstown <i>Hibbertia</i> sp. Bankstown	A prostrate shrub with spreading, hairless, wiry branches up to 40cm in length. Flowers from October to December.	Habitat may be potentially suitable. Endemic to NSW with only one known population at Bankstown airport. The remnant population at the site and soil type are consistent with an inferred pre-settlement cover of Castlereagh Ironbark Forest although some remnant vegetation at and near the site (along the channel in particular) suggests Castlereagh Scribbly Gum Woodland is equally valid. <i>Hibbertia</i> sp. Bankstown has been observed to flower from October to December, with seed setting from October to January. Most <i>Hibbertia</i> species are primarily pollinated by bees, but many have specialised mechanisms requiring particular bee species, beetles or syrphid flies.	218 records found in locality within last 20 years, mostly in and around Bankstown Airport, 3kms to the north-east.	Targeted searches did not locate any individuals of this species. No further surveys required
<i>Micromyrtus minutiflora</i> <i>Micromyrtus minutiflora</i>	Spreading shrub to 1.5m tall, occurs on Tertiary alluvium with clay and gravel sediments, and in sandy-clay soils.	Restricted to a narrow band of woodland in the old floodplain of the Castlereagh-Richmond area (Castlereagh Woodlands).	No records occur in locality within last 20 years	Targeted searches did not locate any individuals of this species. No further surveys required

<i>Rhodamnia rubescens</i> Scrub Turpentine	Shrub or small tree to 25m high with reddish/brown, fissured bark. Leaves are strongly 3-veined, long (5-10cm) and narrow (2-5cm), with a darker green, sparsely hairy upper surface compared to the lower. Typically occurs in coastal regions and occasionally extends inland onto escarpments with high rainfall. Mostly found in littoral, warm temperate and subtropical rainforest and wet sclerophyll forest on volcanic and sedimentary soils.	Habitat not suitable.	1 record found in locality in last 20 years at Georges Hall.	Habitat not suitable. Targeted searches did not locate any individuals of this species. No further surveys required
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SPECIES & COMMON NAME	DESCRIPTION/HABITAT REQUIREMENTS AND PREFERENCES (CONSTRAINTS) (from species profiles DPE 2022)	HABITAT SUITABILITY FROM DPE PROFILES; TDBC AND CALCULATOR TICK BOXES	HISTORICAL RECORDS (TO 20 YEARS PREVIOUS) (DPE 2024)	CANDIDATE SPECIES ASSESSMENT
ANIMALS				
<i>Anthochaera phyrgia</i> Regent Honeyeater	The species inhabits dry open forest and woodland, particularly Box-Ironbark woodland, and riparian forests of River Sheoak. Regent Honeyeaters inhabit woodlands that support a significantly high abundance and species richness of bird species. These woodlands have significantly large numbers of mature trees, high canopy cover and abundance of mistletoes. Every few years non-breeding flocks are seen foraging in flowering coastal Swamp Mahogany and Spotted Gum forests, particularly on the central coast and occasionally on the upper north coast. Birds are occasionally seen on the south coast. The Regent Honeyeater is a generalist forager, although it feeds mainly on the nectar from a relatively small number of eucalypts that produce high volumes of nectar. Key eucalypt species include Mugga Ironbark, Yellow Box, White Box and Swamp Mahogany.	Habitat may be suitable	No records within 5km radius of subject land	May occasionally forage at the site when eucalypts in flower, though all trees will be retained, so species foraging not significantly impacted. Mapped areas distribution of species not recorded at Moorebank (BOAMS). No further surveys required

	Flowering of associated species such as Thin-leaved Stringybark Eucalyptus eugenioides and other Stringybark species, and Broad-leaved Ironbark E. fibrosa can also contribute important nectar flows at times. Nectar and fruit from the mistletoes Amyema miquelii, A. pendula and A. cambagei are also utilised. When nectar is scarce lerp and honeydew can comprise a large proportion of the diet. Insects make up about 15% of the total diet and are important components of the diet of nestlings.			
Lathamus discolor Swift Parrot	On the mainland they occur in areas where eucalypts are flowering profusely or where there are abundant lerp (from sap-sucking bugs) infestations which may occur on Blackbutt. Winter migrant to coastal NSW where they feed in the following trees; Swamp Mahogany (<i>E. robusta</i>), Forest Redgum (<i>E. tereticornis</i>), Spotted Gum (<i>Corymbia maculata</i>), Red Bloodwood (<i>Corymbia gummifera</i>). Breed in Tasmania in Tasmanian Blue Gum (Eucalyptus globulus)	Adjacent forest may contain eucalypt species that may be suitable for foraging, however, no eucalypts in flower at the time of survey. No trees showed any evidence of lerp infestations. Breed in Tasmania, so excluded as a candidate species for breeding at the site.	Total of 8 records in locality over last 20 years. Nearest about 2.3km to the south-east near Panania	May occasionally forage at the site when eucalypts are flowering, though all trees will be retained, so species foraging not significantly impacted. Mapped areas distribution of species not recorded at Moorebank (BOAMS). No further surveys required
Calidris ferruginea Curlew Sandpiper	A migratory shore bird that breeds in Siberia and arrives in Australia for non-breeding season. It generally occupies littoral and estuarine habitats, and is mainly found in intertidal mudflats of sheltered coasts. It can also occur in non-tidal swamps and lagoons. It forages in or at the water's edge, feeding on worms, molluscs, crustaceans and some seeds.	Habitat is unlikely to be suitable	One record found within 5km in the last 20 years on the southern side of the M5.	Targeted searches did not locate any individuals of this species. No further surveys required
Chalinolobus dwyeri Large-eared Pied Bat	These bats roost in shallow caves in escarpments, particularly in sandstone and forage in remnant native dry and wet open forests, woodlands and rainforests.	No roosting or breeding habitat (caves, cliffs, rocky escarpments etc) occur at subject site.	No records occur within last 20 years	May forage beneath the forest canopy at the site and adjacent woodland, though all trees will be retained, so species foraging not significantly impacted.

				No further surveys required.
<p><i>Miniopterus australis</i> Little Bent-winged Bat</p>	<p>Habitat in moist eucalypt forest, rainforest, vine thicket, wet and dry sclerophyll forest, Melaleuca swamps, dense coastal forests and banksia scrub. Generally found in well-timbered areas. Little Bentwing-bats roost in caves, tunnels, tree hollows, abandoned mines, stormwater drains, culverts, bridges and at night forage for small insects beneath the canopy of densely vegetated habitats. No breeding habitat onsite</p>	<p>No roosting or breeding habitat (caves, cliffs, rocky escarpments etc) occur at subject site.</p>	<p>Total of 6 records across the landscape, most to the east of the Georges River</p>	<p>May forage beneath the forest canopy at the site and adjacent woodland, though all trees will be retained, so species foraging not significantly impacted.</p> <p>No further surveys required.</p>
<p><i>Miniopterus orianae oceanensis</i> Large Bent-winged Bat</p>	<p>This sub species of Bentwing Bat occurs from Cape York to central Vic. Occurs in wet and dry sclerophyll forests and rainforests. Roost within man-made structures. Known roost sites include caves, disused mines, storm-water drains, culverts and buildings. However maternity roosts occur in sandstone or limestone cave systems. Will form scattered smaller colonies, mostly within 300km of the larger maternity cave (Churchill 1998). Active all year round, foraging mostly on moths above the tree canopy. Feeds over large areas of land and has been reported to travel up to 70 km in one night (Dwyer 1995). No breeding habitat onsite.</p>	<p>No roosting or breeding habitat (caves, cliffs, rocky escarpments etc) occur at subject site.</p>	<p>Total of 26 records occur across the locality, the closest associated with a water body about 830m to the north-east</p>	<p>May forage above the canopy at the site and adjacent woodland, though all trees will be retained, so species foraging not significantly impacted.</p> <p>No further surveys required</p>

4.3 Description of impacts

4.3.1 Direct impacts to subject site

The proposed pathway envelope in Stage 1, 2 and 3 of the development is estimated at about 507m² (or 0.0507ha) (Figure 16) of which about 0.0452ha is described as Castlereagh Ironbark Forest (PCT 3448) and 0.005ha described as Hunter Coast Sandplain Sedge Paperbark Wetland (Typha Rushland) (PCT 3997).

Some regenerating saplings of locally-occurring native Broad-leaved Ironbark may be removed/trimmed along the existing pathway to widen it and to construct the boardwalk. The boardwalk may be configured to wind around mature trees of Broad-leaved Ironbark to minimise particular significant elements of the vegetation (As shown in Figure 20) (Appendix 1).



Figure 20 - Example boardwalk construction that would be used winding through individuals of trees that would be used in the current proposal

It is assessed that some small regenerating shrubs and ground covers will be removed/trimmed, including Honey Myrtle, Common Maidenhair, Prickly Beard-heath and Blackthorn. (Appendix 1). Some mature trees and shrubs may also be removed but the winding boardwalk construction will endeavor to avoid these individuals where possible.

A very small patch of Cumbungi will likely die off once the boardwalk is built over the top of it, and no individuals of *Melaleuca decora* will be impacted across this rushland.

4.3.2 Potential for runoff, erosion and sedimentation during construction

Construction activities could potentially encourage soil erosion and increase local sediment wash into the stormwater channel that occurs adjacent to the development sites (Figure 15), as well as into the Typha rushland (Figure 14). Sediment fences and placement of hay bales along the edges of the construction footprint may reduce these impacts.

Though unlikely, accidental leaks, oil spills, fuel, cement or other substances entering this drainage channel could also act to pollute stream waters.

A certified Construction Environment Management Plan (CEMP) should be provided with the approved application prior to issue of the Construction Certificate to address any of these potential issues.

4.3.3 Biodiversity Credits

The principal vegetation community occurring as component of the native vegetation at the subject site is Castlereagh Ironbark Forest, an ecological community that is listed as Endangered on registers of the BC Act (2016), though only a small area of 0.0507ha is proposed for clearing (Figures 12, 13, 15 & 16).

This assessment (prepared using the BAM-C Offsets Calculator) has determined that one (1) ecosystem credit should be required to offset impacts to the impact to 0.0507ha of this community.

A secondary vegetation community occurring as a component of the native vegetation at the subject site is Hunter Coast Sandplain Sedge Paperbark Wetland, and ecological community that is listed as Endangered on registers of the BC Act (2016), though only a very small area of 0.005ha is proposed for clearing (Figures 14 & 16).

The assessment has determined that one (1) ecosystem credit should be required to offset impacts to the disturbance of 0.005ha of Hunter Coast Sandplain Sedge Paperbark Wetland.

Therefore, a **total of two (2) ecosystem credits** are required to offset the impacts from the development of the pathway through Stage 3 of the proposal.

4.3.4 Serious and Irreversible Impacts (SAII)

Species and ecological communities with a 'very high' biodiversity risk weighting are considered to be a potential serious and irreversible impact (SAII). These 'potential SAII entities' are identified by the BAM calculator (BAM 2020).

The determination of serious and irreversible impacts on biodiversity values is to be made by the consent authority in accordance with the principles set out in the BC Regulation. To assist the consent authority, the guidance document 'Guidance to Assist a Decision Maker to determine a serious and irreversible impact' includes criteria that enable the application of the four principles set out in clause 6.7 of the BC Regulation. These criteria provide a guide to identify the species and ecological communities that are likely to be the subject of serious and irreversible impacts.

These four principles include the following (BC Regulation 2018):

An impact is to be regarded as serious and irreversible if it is likely to contribute significantly to the risk of a threatened species or ecological community becoming extinct because:

- (a) it will cause a further decline of the species or ecological community that is currently observed, estimated, inferred or reasonably suspected to be in a rapid rate of decline, or
- (b) it will further reduce the population size of the species or ecological community that is currently observed, estimated, inferred or reasonably suspected to have a very small population size, or
- (c) it is an impact on the habitat of the species or ecological community that is currently observed, estimated, inferred or reasonably suspected to have a very limited geographic distribution, or
- (d) the impacted species or ecological community is unlikely to respond to measures to improve its habitat and vegetation integrity and therefore its members are not replaceable. (3

For the purpose of this clause, a decline of a species or ecological community is a continuing or projected decline in:

- (a) an index of abundance appropriate to the taxon, or
- (b) the geographic distribution and habitat quality of the species or ecological community.

PCT 3448 in the Sydney Basin Bioregion is listed as a threatened entity with about 87% of its distribution cleared and only 13% remaining (about 2881ha), including within conservation reserves.

There is about 2881ha of this community retained within the Sydney Basin Bioregion. The relatively small area of the ecological community to be cleared represents a decrease of about 0.002% of the 2881ha of the Castlereagh Ironbark Forest community that is retained throughout the Sydney Basin Bioregion (DPE 2024), and it is considered that the biodiversity offset would adequately compensate for this very small decrease in extent of the community, that occurs as a small regenerating stand of the community in the locality and in the wider regional area.

PCT 3997 in the Sydney Basin Bioregion is listed as a threatened entity, with about 62% of its distribution cleared and only 38% remaining (about 8ha) but is a component of a wider distribution of Coastal Freshwater Wetlands that occurs in the Sydney Basin Bioregion of which 480 ha is conserved in reserves and 3700ha occurs extant in the Bioregion (OEH 2016).

The relatively small area of the ecological community to be cleared represents a decrease of about 0.0001% of the 3700ha of Coastal Freshwater Wetlands, of which the Hunter Coast Sandplain Sedge Paperbark Wetland community is a component, that is retained throughout the Sydney Basin and NSW North Coast Bioregion (OEH 2016, DPE 2024). It is considered that the biodiversity offset would adequately compensate for this very small decrease in extent of the community.

4.3.5 Potential direct impacts

4.3.5.1. *Removal of vegetation and potential habitat*

The impacts would include the removal of 0.0507ha of Castlereagh Ironbark Forest and 0.005ha of potential Hunter Coast Sandplain Sedge Paperbark Wetland, the former assessed as being in regenerating good condition (Figures 12, 13 & 14).

4.3.5.2. *Potential for runoff, sedimentation and erosion during construction*

Even though the ground surfaces of the subject land are relatively level, construction activities may potentially lead to some soil erosion and some increase in sediment load into the drainage channel and wetland.

The potential for accidental leaks/spills of oil, fuel, cement or other substances entering the drainage channel and wetland could potentially pollute ground water. Sediment fences and hay bales installed along the construction footprint and downslope contours from construction activities would serve to reduce potential erosion of land surfaces and decrease the sediment wash.

An approved Construction Environment Management Plan (CEMP) should be prepared for the proposal and be provided with the approved application prior to issue of the Construction Certificate to address these potential issues.

4.3.5.3. *Potential temporary noise, dust, excessive lighting and vibration disturbance during construction*

The potential effects of temporary but excessive noise, dust, bright lighting and vibration disturbance during construction activities upon potential fauna are difficult to predict.

Potential impacts may include negative effects on predator-prey interactions and changes to roosting and breeding behaviours in the short term.

An approved Construction Environment Management Plan (CEMP) must be prepared for the proposal and be provided with the approved application prior to issue of the Construction Certificate to address these potential issues.

4.3.6 Indirect impacts

Indirect impacts occur when the proposal or activities relating to the construction or operation of the proposal may affect adjacent or proximal areas of native vegetation, threatened ecological communities or threatened species habitat beyond the subject site.

Potential indirect impacts to flora and fauna may include hydrological changes to the surface water-runoff flow. The boardwalk structure would allow most of the water derived from rainfall to naturally flow through and below the structure and into surrounding vegetated areas, and as such, little variation in water run-off from the constructed boardwalk would be expected.

As such, additional hard surface areas created as a result of the proposed boardwalk construction would be expected to potentially result in minimal changes to the current hydrological regime.

4.3.7 Prescribed and uncertain impacts

Prescribed impacts on biodiversity values includes any potential impacts that are not a result of direct vegetation clearing or construction development that have been prescribed by the Biodiversity Conservation Regulation (2017), these listed in Table 8 as follows:

Attributes or features of the habitat	Potential impacts	Actions to alleviate or ameliorate potential impacts
Species using caves, cliffs, karsts or crevices. Includes potential roosting sites for cave-dwelling microchiropterans (Figure 13B)	None, as these natural features do not occur at or in the vicinity of the subject site	Not applicable
Habitat of threatened species associated with rocks	Not applicable	Not applicable
Habitat of threatened species associated with man-made structures such as drainage pipes	The boardwalk structure would allow most of the water derived from rainfall to naturally flow through and below the structure and into surrounding vegetated areas, and as such, little variation in water run-off from the constructed boardwalk would be expected	Not applicable
Habitat of threatened species associated with non-native vegetation	Not applicable	Not applicable
Connectivity of habitats within and between allotments facilitating movement of species across their range	The potential impacts are small and would not affect the connectivity of natural bushland occurring adjacent to the development areas	Not applicable
Movement of threatened species required to maintain life cycles	The potential impacts are small and would not affect the connectivity of natural bushland occurring adjacent to the development areas	Not applicable, no life cycles of threatened flora or fauna would be compromised by the development
Hydrological regimes required to sustain threatened species	Not applicable	Not applicable

Table 8 - List of potential prescribed impacts which may occur as a result of proposed development

4.3.8 Avoidance/minimisation of impacts

Minimisation of impacts has been achieved by preserving the established canopy vegetation and construction of the 2.5m wide winding boardwalk (winding around mature trees) (Figures 4B, 4C & 20) creating minimal disturbance/removal of existing trees and shrubs.

5 IMPACT SUMMARY

5.1 Serious and irreversible impacts (SAIL)

OEH (2017) 'Guidance to Assist a Decision-maker to Determine a Serious and Irreversible Impact' lists the ecological communities and species that are 'potential serious and irreversible impact (SAIL) entities'.

Castlereagh Ironbark Forest (PCT 3448) in the Sydney Basin Bioregion is listed as an endangered ecological community listed on registers of the BC Act (2016).

It is estimated that about 2881ha of this community occurs extant within the Sydney Basin Bioregion, including 28.2ha that occurs in the reserved area of the SMCMA (OEH 2016). It is estimated that up to 87% of its natural distribution has been removed (DPE 2024).

The community at the subject site is in a regenerative phase of development with a VI Score of 51.2 (Table 4) a qualification critical to its conservation status and to its assessment as to whether the removal of a small area would constitute a SAIL. This small area of the ecological community represents a decrease of only 0.002% of the 2881ha of the community that is retained throughout the Sydney Basin Bioregion (DPE 2024), and it is considered that the biodiversity offset would compensate for this small decrease in extent of the patch of Castlereagh Ironbark Forest community that occurs in the locality and in the wider regional area.

Hunter Coast Sandplain Sedge Paperbark Wetland (PCT 3997) is also listed as an endangered ecological community. It is estimated that about 21ha of this community still exists within Sydney Basin and NSW North Coast, with up to 62% of its natural distribution removed (DPE 2024).

The community at the subject site has a VI Score of 19.5 (Table 6). The loss of the small area in Stage 3 represents a decrease of 0.0001% of the total community described as Coastal Freshwater Wetlands, and it is considered that the biodiversity offset would also compensate for this small loss.

5.2 Impacts that require an Offset

Vegetation Zone (Description)	PCT	Extent of area impacted	Current Vegetation Integrity Score (VIS)	Future Vegetation Integrity Score	Number of Ecosystem credits required
Small patch of Castlereagh Ironbark Forest	3448	0.0507	58.1	0	1
Small patch of Swamp Sclerophyll Forest	3997	0.012	21.3	0	1
Total Ecosystem Credits					2

Table 8 - summarises the impact to areas of PCT 3448 & PCT 3997 that require an offset.

6 BIODIVERSITY CREDIT REPORT (LIKE FOR LIKE)

One (1) credit are assessed as having been generated with the impacts on 0.0507ha of a patch of regenerating Castlereagh Ironbark Forest ecological community supporting small saplings of native trees, the vegetation occurring in good condition (Figures 12, 13 & 15).

The vegetation is assessed as having a moderate floristic, structural and functional integrity in the canopy tree, shrub and ground strata. There is a relatively high composition of natural species in the assemblage, a relatively low spread of tree DBH sizes with a high degree of regeneration occurring along the unformed, overgrown track (Figure 12 & 15) though only moderate functional aspects to the current regenerating vegetation to provide foraging, sheltering or breeding habitat opportunity for any fauna.

One (1) credit is assessed has having been generated with the loss of 0.005ha of a patch of Hunter Coast Sandplain Sedge Paperbark Wetland represented by a healthy stand of Typha rushland (Figure 14).

A total of two (2) credits have been generated for the terminal section o Stage 3, the initial section of Stage 2 and the entire section of Stage 3 of the development at a linear section of Council Land at Wurrungwuri Reserve accessed from 43 Brickmakers Drive, Moorebank.

The Biodiversity Credit Report for the proposal is as follows:

DA-344/2024 - LOT 304 NEWBRIDGE ROAD, MOOREBANK
 85 BRICKMAKERS DRIVE, MOOREBANK
 NEW BRIGHTON GOLF COURSE AND CLUB, MOOREBANK
 WURRUNGWURI RESERVE AND 85 BRICKMAKERS DRIVE, MOOREBANK
 Biodiversity Development Assessment Report



BAM Biodiversity Credit Report (Like for like)

Proposal Details

Assessment Id	Proposal Name	BAM data last updated *
00047572/BAAS18125/24/00048042	NEW BRIGHTON GOLF COURSE	14/03/2024
Assessor Name	Assessor Number	BAM Data version *
PETER STRICKER	BAAS18125	67
Proponent Names	Report Created	BAM Case Status
SAKAWAT HOSSAIN	09/05/2024	Finalised
Assessment Revision	Assessment Type	Date Finalised
0	Part 4 Developments (Small Area)	09/05/2024
BOS entry trigger	* Disclaimer: BAM data last updated may indicate either complete or partial update of the BAM calculator database. BAM calculator database may not be completely aligned with Bionet.	
BOS Threshold: Biodiversity Values Map		

Potential Serious and Irreversible Impacts

Name of threatened ecological community	Listing status	Name of Plant Community Type/ID
Cooks River/Castlereagh Ironbark Forest in the Sydney Basin Bioregion	Endangered Ecological Community	3448-Castlereagh Ironbark Forest
Species		
Nil		

Additional Information for Approval

Assessment Id	Proposal Name	Page 1 of 4
00047572/BAAS18125/24/00048042	NEW BRIGHTON GOLF COURSE	



BAM Biodiversity Credit Report (Like for like)

PCT Outside Ibra Added

None added

PCTs With Customized Benchmarks

PCT
No Changes

Predicted Threatened Species Not On Site

Name
No Changes

Ecosystem Credit Summary (Number and class of biodiversity credits to be retired)

Name of Plant Community Type/ID	Name of threatened ecological community	Area of impact	HBT Cr	No HBT Cr	Total credits to be retired
3448-Castlereagh Ironbark Forest	Cooks River/Castlereagh Ironbark Forest in the Sydney Basin Bioregion	0.1	1	0	1
3997-Hunter Coast Sandplain Sedge Paperbark Wetland	Swamp Sclerophyll Forest on Coastal Floodplains of the New South Wales North Coast, Sydney Basin and South East Corner Bioregions	0.0	0	1	1

3448-Castlereagh Ironbark Forest	Like-for-like credit retirement options					
	Name of offset trading	Trading group	Zone	HBT	Credits	IBRA region

ITEM 02

DA-344/2024 - LOT 304 NEWBRIDGE ROAD, MOOREBANK
 85 BRICKMAKERS DRIVE, MOOREBANK
 NEW BRIGHTON GOLF COURSE AND CLUB, MOOREBANK
 WURRUNGWURI RESERVE AND 85 BRICKMAKERS DRIVE, MOOREBANK
 Biodiversity Development Assessment Report

Attachment 5



BAM Biodiversity Credit Report (Like for like)

	group					
	Cooks River/Castlereagh Ironbark Forest in the Sydney Basin Bioregion This includes PCT's: 3448	-	3448_GOOD	Yes	1	Cumberland, Burragorang, Pittwater, Sydney Cataract, Wollemi and Yengo. or Any IBRA subregion that is within 100 kilometers of the outer edge of the impacted site.
3997-Hunter Coast Sandplain Sedge Paperbark Wetland	Like-for-like credit retirement options					
	Name of offset trading group	Trading group	Zone	HBT	Credits	IBRA region



BAM Biodiversity Credit Report (Like for like)

	Swamp Sclerophyll Forest on Coastal Floodplains of the New South Wales North Coast, Sydney Basin and South East Corner Bioregions This includes PCT's: 3272, 3906, 3983, 3985, 3986, 3988, 3989, 3990, 3995, 3997, 3998, 4000, 4001, 4004, 4006, 4009, 4013, 4019, 4020, 4021, 4044, 4047, 4057	-	3997_GOOD	No	1 Cumberland, Burragorang, Pittwater, Sydney Cataract, Wollemi and Yengo. or Any IBRA subregion that is within 100 kilometers of the outer edge of the impacted site.
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Species Credit Summary

No Species Credit Data

Credit Retirement Options

Like-for-like credit retirement options

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Appendix 1a: Field Data for Plot 1

Species	Cover	Abundance
<i>Adiantum aethiopicum</i>	15	100
<i>Arthropodium milleflorum</i>	0.5	5
<i>Bursaria spinosa</i>	3	5
<i>Centella asiatica</i>	1	5
<i>Clematis glycinoides</i>	0.5	5
<i>Cynodon dactylon</i>	10	1000
<i>Denhamia silvestris</i>	0.5	2
<i>Dianella caerulea</i>	1	5
<i>Dichondra repens</i>	5	20
<i>Empodisma minus</i>	1	50
<i>Entolasia stricta</i>	2	50
<i>Eucalyptus fibrosa</i>	30	5
<i>Gahnia aspera</i>	1	20
<i>Glycine tabacina</i>	1	20
<i>Gonocarpus teucroides</i>	1	20
<i>Goodenia ovata</i>	1	5
<i>Hibbertia aspera</i>	1	10
<i>Hydrocotyle laxiflora</i>	1	10
<i>Leucopogon juniperinus</i>	3	10
<i>Melaleuca decora</i>	15	10
<i>Melaleuca nodosa</i>	50	40
<i>Ozothamnus diosmifolius</i>	1	3
<i>Parsonsia straminea</i>	1	5
<i>Passiflora herbertiana</i>	1	3
<i>Plectranthus parviflorus</i>	1	5
<i>Polyscias sambucifolia</i>	0.5	3
<i>Pratia purpurascens</i>	1	50

Covers	Trees	Shrubs	Forb	Grass	Fern	Other	Total Native	High Threat	Total Exotic
# spp	1	9	9	4	1	4	28	2	2
Sum Cover	30	75	11.5	14	15	3.5	149	1.5	1.5

Zone	Easting	Northing	Orientation
56	33.941033	150.963241	280 ⁰

BAM Attributes 600m ² plot										
Stem classes (count)							Hollows	Length of logs (m)	Litter cover	Rock
80+	50-79	30-49	20-29	10-14	5-9	<5				
0	0	3	3	3	0	0	1	5	56	0

Appendix 1b: Field Data for Plot 2

Species	Cover	Abundance
<i>Baumea juncea</i>	3	30
<i>Calochlaena dubia</i>	15	30
<i>Gahnia aspera</i>	5	10
<i>Goodenia stelligera</i>	2	10
<i>Phylidrum laniginosum</i>	0.1	10
<i>Typha orientalis</i>	90	>1000

Covers	Trees	Shrubs	Forb	Grass	Fern	Other	Total Native	High Threat	Total Exotic
# spp	0	1	2	3	1	0	7	0	0
Sum Cover	0	7	2.1	98	15	0	122.1	0	0

Zone	Easting (1)	Northing (1)	Orientation
56	33.941399	150.963147	225 ⁰

BAM Attributes 600m ² plot										
Stem classes (count)							Hollows	Length of logs (m)	Litter cover	Rock
80+	50-79	30-49	20-29	10-14	5-9	<5				
0	0	0	0	0	0	0	0	0	30	0

Appendix 2: Floristic species assemblage recorded in Plots 1 & 2 (each comprising quadrat 20 x 20m) in Stage 3 of the proposed development

KEY
Status
* Exotic species
HTE - High Threat Weed (DPE 2024)
Vegetation
Likely elements of Castlereagh Ironbark Forest & Hunter Coast Sandplain Sedge Paperbark Wetland
Relative percentage cover (% cover in various strata)

STATUS & life-form	SCIENTIFIC NAME	COMMON NAME	SPECIES WITHIN	SPECIES WITHIN
			PLOT 1 (FOREST)	PLOT 2 (WETLAND)
	FILICOPSIDA			
	Dicksoniaceae			
Fern	<i>Calochlaena dubia</i>	Soft Bracken		15
	Pteridaceae			
Fern	<i>Adiantum aethiopicum</i>	Common Maidenhair	15	
	MAGNOLIOPSIDA: MAGNOLIDAE			
	Apiaceae			
Forb	<i>Centella asiatica</i>	Pennywort	1	
Forb	<i>Hydrocotyle laxiflora</i>	Stinking Pennywort	1	
	Apocynaceae			
Other	<i>Parsonsia straminea</i>	Common Silkpod	1	
	Araliaceae			
Shrub	<i>Polyscias sambucifolia</i>	Elderberry Panax	0.5	
	Asteraceae			
Shrub	<i>Ozothamnus diosmifolius</i>	White Dogwood	1	
HTW	<i>Senecio madagascariensis</i>	Fireweed	0.5	

STATUS & life-form	SCIENTIFIC NAME	COMMON NAME	SPECIES WITHIN PLOT 1 (FOREST)	SPECIES WITHIN PLOT 2 (WETLAND)
Shrub	Celastraceae <i>Denhamia silvestris</i>	Orangebark	0.5	
Forb	Convolvulaceae <i>Dichondra repens</i>	Kidney Weed	5	
Shrub	Dilleniaceae <i>Hibbertia aspera</i>		1	
Shrub	Ericaceae <i>Leucopogon juniperinus</i>	Prickly Beard-heath	3	
Other	Fabaceae: Faboideae <i>Glycine tabacina</i>	Love Creeper	1	
Shrub	Goodeniaceae <i>Goodenia ovata</i>	Hop Goodenia	1	
Forb	<i>Goodenia stelligera</i>			2
Forb	Haloragaceae <i>Gonocarpus teucrioides</i>	Germander Raspwort	1	
Forb	Lamiaceae <i>Plectranthus parviflorus</i>	Cockspur	1	
Forb	Lobeliaceae <i>Pratia purpurascens</i>	Whiteroot	1	
Tree	Myrtaceae <i>Eucalyptus fibrosa</i>	Broad-leaved Ironbark	30	
Shrub	<i>Melaleuca decora</i>	White Feather Honey-Myrtle	15	7
Shrub	<i>Melaleuca nodosa</i>	Ball Honey-Myrtle	50	
Other	Passifloraceae <i>Passiflora herbertiana</i>	Native Passionfruit	1	
Shrub	Pittosporaceae <i>Bursaria spinosa</i>	Blackthorn	3	
Other	Ranunculaceae <i>Clematis glycinoides</i>	Headache Vine	0.5	

STATUS & life-form	SCIENTIFIC NAME	COMMON NAME	SPECIES WITHIN PLOT 1 (FOREST)	SPECIES WITHIN PLOT 2 (WETLAND)
	MAGNOLOPSIDA: LILIDAE			
	Asphodeliaceae			
Forb	<i>Dianella caerulea</i>	Blue Flax Lily	1	
	Asparagaceae			
Forb	<i>Arthropodium milleflorum</i>	Pale Vanilla Lily	0.5	
HTW	<i>Asparagus asparagoides</i>	Bridal-veil Creeper	1	
	Cyperaceae			
Grass-like	<i>Baumea juncea</i>			3
Grass-like	<i>Gahnia aspera</i>		1	5
	Poaceae			
Grass	<i>Cynodon dactylon</i>	Couch	10	
Grass	<i>Entolasia stricta</i>	Wiry Panic	2	
	Phylidraceae			
Forb	<i>Phylidrum laniginosum</i>	Frogsmouth		0.1
	Restionaceae			
Grass-like	<i>Empodisma minus</i>	Spreading Rope-rush	1	
	Typhaceae			
Grass-like	<i>Typha orientalis</i>	Cumbungi		90

Appendix 3 - BAAS Profile for P Stricker



Planning,
Industry &
Environment

CERTIFICATE OF ACCREDITATION AS A BIODIVERSITY ASSESSMENT METHOD ASSESSOR under the *Biodiversity Conservation Act 2016 (NSW)*

BAM Assessor		
Peter Stricker		
Accreditation number	Accreditation date (Date of issue)	Expiry Date of
BAAS18125	17 July 2021	17 July 2024

The person named above is accredited under section 6.10 of the *Biodiversity Conservation Act 2016 (NSW) (BC Act)* as a Biodiversity Assessment Method Assessor to apply the Biodiversity Assessment Method in connection with the preparation of biodiversity stewardship site assessment reports, biodiversity development assessment reports and biodiversity certification assessment reports pursuant to Part 6 of the BC Act.

The accreditation is in force until and including the Expiry Date. The accreditation is subject to the conditions set out in the *Accreditation Scheme for the Application of the Biodiversity Assessment Method*, under the BC Act, and the conditions specified on the reverse of this certificate.

LUCIAN MCELWAIN
 Manager Ecosystem Programs
 Department of Planning, Industry & Environment

NOTES

- DPIE maintains a register of Accredited Biodiversity Assessment Method (BAM) Assessors accessible from the DPIE website.
- The BAM Assessor's accreditation expires on the Expiry Date unless renewed in accordance with the *Accreditation Scheme for the Application of the Biodiversity Assessment Method*. It is the BAM Assessor's responsibility to monitor the Expiry Date of their accreditation, and apply for any renewal with sufficient time for the application to be processed prior to the Expiry Date.
- Words and expressions used in this accreditation instrument and which are also used in the Act have the same meaning.

Appendix 3 - BAM Summary Reports



BAM Credit Summary Report

Proposal Details

Assessment Id	Proposal Name	BAM data last updated *
00047572/BAAS18125/24/00048042	NEW BRIGHTON GOLF COURSE	14/03/2024
Assessor Name	Report Created	BAM Data version *
PETER STRICKER	09/05/2024	67
Assessor Number	BAM Case Status	Date Finalised
BAAS18125	Finalised	09/05/2024
Assessment Revision	Assessment Type	BOS entry trigger
0	Part 4 Developments (Small Area)	BOS Threshold: Biodiversity Values Map

* Disclaimer: BAM data last updated may indicate either complete or partial update of the BAM calculator database. BAM calculator database may not be completely aligned with Bionet.

Assessment Id	Proposal Name
00047572/BAAS18125/24/00048042	NEW BRIGHTON GOLF COURSE

DA-344/2024 - LOT 304 NEWBRIDGE ROAD, MOOREBANK
 85 BRICKMAKERS DRIVE, MOOREBANK
 NEW BRIGHTON GOLF COURSE AND CLUB, MOOREBANK
 WURRUNGWURI RESERVE AND 85 BRICKMAKERS DRIVE, MOOREBANK
 Biodiversity Development Assessment Report



BAM Credit Summary Report

Ecosystem credits for plant communities types (PCT), ecological communities & threatened species habitat

Zone	Vegetation zone name	TEC name	Current Vegetation integrity score	Change in Vegetation integrity (loss / gain)	Area (ha)	Sensitivity to loss (Justification)	Species sensitivity to gain class	BC Act Listing status	EPBC Act listing status	Biodiversity risk weighting	Potential SAIL	Ecosystem credits
Castlereagh Ironbark Forest												
1	3448_GO OD	Cooks River/Castlereagh Ironbark Forest in the Sydney Basin Bioregion	58.1	58.1	0.05	Population size	High Sensitivity to Gain	Endangered Ecological Community	Not Listed	2.00	True	1
											Subtotal	1
Hunter Coast Sandplain Sedge Paperbark Wetland												
2	3997_GO OD	Swamp Sclerophyll Forest on Coastal Floodplains of the New South Wales North Coast, Sydney Basin and South East Corner Bioregions	21.3	21.3	0.01	Biodiversity Conservation Act listing status	High Sensitivity to Gain	Endangered Ecological Community	Not Listed	2.00		1
											Subtotal	1
											Total	2

DA-344/2024 - LOT 304 NEWBRIDGE ROAD, MOOREBANK
 85 BRICKMAKERS DRIVE, MOOREBANK
 NEW BRIGHTON GOLF COURSE AND CLUB, MOOREBANK
 WURRUNGWURI RESERVE AND 85 BRICKMAKERS DRIVE, MOOREBANK
 Biodiversity Development Assessment Report



BAM Biodiversity Credit Report (Variations)

Proposal Details

Assessment Id	Proposal Name	BAM data last updated *
00047572/BAAS18125/24/00048042	NEW BRIGHTON GOLF COURSE	14/03/2024
Assessor Name	Assessor Number	BAM Data version *
PETER STRICKER	BAAS18125	67
Proponent Name(s)	Report Created	BAM Case Status
SAKAWAT HOSSAIN	09/05/2024	Finalised
Assessment Revision	Assessment Type	Date Finalised
0	Part 4 Developments (Small Area)	09/05/2024
BOS entry trigger	* Disclaimer: BAM data last updated may indicate either complete or partial update of the BAM calculator database. BAM calculator database may not be completely aligned with Bionet.	
BOS Threshold: Biodiversity Values Map		

Potential Serious and Irreversible Impacts

Name of threatened ecological community	Listing status	Name of Plant Community Type/ID
Cooks River/Castlereagh Ironbark Forest in the Sydney Basin Bioregion	Endangered Ecological Community	3448-Castlereagh Ironbark Forest
Species		
Nil		

Additional Information for Approval

PCT Outside Ibra Added
 None added

Assessment Id	Proposal Name
00047572/BAAS18125/24/00048042	NEW BRIGHTON GOLF COURSE



BAM Biodiversity Credit Report (Variations)

PCTs With Customized Benchmarks

PCT

No Changes

Predicted Threatened Species Not On Site

Name

No Changes

Ecosystem Credit Summary (Number and class of biodiversity credits to be retired)

Name of Plant Community Type/ID	Name of threatened ecological community	Area of impact	HBT Cr	No HBT Cr	Total credits to be retired
3448-Castlereagh Ironbark Forest	Cooks River/Castlereagh Ironbark Forest in the Sydney Basin Bioregion	0.1	1	0	1.00
3997-Hunter Coast Sandplain Sedge Paperbark Wetland	Swamp Sclerophyll Forest on Coastal Floodplains of the New South Wales North Coast, Sydney Basin and South East Corner Bioregions	0.0	0	1	1.00

3448-Castlereagh Ironbark Forest	Like-for-like credit retirement options					
	Class	Trading group	Zone	HBT	Credits	IBRA region
	Cooks River/Castlereagh Ironbark Forest in the Sydney Basin Bioregion This includes PCT's: 3448	-	3448_GOO D	Yes	1	Cumberland, Burragorang, Pittwater, Sydney Cataract, Wollemi and Yengo. or Any IBRA subregion that is within 100 kilometers of the outer edge of the impacted site.
Variation options						
Formation	Trading group	Zone	HBT	Credits	IBRA region	



BAM Biodiversity Credit Report (Variations)

	Dry Sclerophyll Forests (Shrub/grass sub-formation)	Tier 3 or higher threat status	3448_GOOD	Yes (including artificial)	1	IBRA Region: Sydney Basin, or Any IBRA subregion that is within 100 kilometers of the outer edge of the impacted site.
3997-Hunter Coast Sandplain Sedge Paperbark Wetland	Like-for-like credit retirement options					
	Class	Trading group	Zone	HBT	Credits	IBRA region
	Swamp Sclerophyll Forest on Coastal Floodplains of the New South Wales North Coast, Sydney Basin and South East Corner Bioregions This includes PCT's: 3272, 3906, 3983, 3985, 3986, 3988, 3989, 3990, 3995, 3997, 3998, 4000, 4001, 4004, 4006, 4009, 4013, 4019, 4020, 4021, 4044, 4047, 4057	-	3997_GOOD	No	1	Cumberland, Burragorang, Pittwater, Sydney Cataract, Wollemi and Yengo. or Any IBRA subregion that is within 100 kilometers of the outer edge of the impacted site.
	Variation options					
Formation	Trading group	Zone	HBT	Credits	IBRA region	
Forested Wetlands	Tier 3 or higher threat status	3997_GOOD	No	1	IBRA Region: Sydney Basin, or Any IBRA subregion that is within 100 kilometers of the outer edge of the impacted site.	

Species Credit Summary

Assessment Id
00047572/BAAS18125/24/00048042

Proposal Name
NEW BRIGHTON GOLF COURSE

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BAM Candidate Species Report

Proposal Details

Assessment Id 00047572/BAAS18125/24/00048042	Proposal Name NEW BRIGHTON GOLF COURSE	BAM data last updated * 14/03/2024
Assessor Name PETER STRICKER	Report Created 09/05/2024	BAM Data version * 67
Assessor Number BAAS18125	Assessment Type Part 4 Developments (Small Area)	BAM Case Status Finalised
Assessment Revision 0	Date Finalised 09/05/2024	BOS entry trigger BOS Threshold: Biodiversity Values Map

* Disclaimer: BAM data last updated may indicate either complete or partial update of the BAM calculator database. BAM calculator database may not be completely aligned with Bionet.

List of Species Requiring Survey

Name	Presence	Survey Months
<i>Allocasuarina glareicola</i> Allocasuarina glareicola	No (surveyed)	<input type="checkbox"/> Jan <input type="checkbox"/> Feb <input checked="" type="checkbox"/> Mar <input type="checkbox"/> Apr <input type="checkbox"/> May <input type="checkbox"/> Jun <input type="checkbox"/> Jul <input type="checkbox"/> Aug <input type="checkbox"/> Sep <input type="checkbox"/> Oct <input type="checkbox"/> Nov <input type="checkbox"/> Dec <input type="checkbox"/> Survey month outside the specified months?
<i>Deyeuxia appressa</i> Deyeuxia appressa	No (surveyed) *Survey months are outside of the months specified in Bionet.	<input type="checkbox"/> Jan <input type="checkbox"/> Feb <input checked="" type="checkbox"/> Mar <input type="checkbox"/> Apr <input type="checkbox"/> May <input type="checkbox"/> Jun <input type="checkbox"/> Jul <input type="checkbox"/> Aug <input type="checkbox"/> Sep <input type="checkbox"/> Oct <input type="checkbox"/> Nov <input checked="" type="checkbox"/> Dec <input checked="" type="checkbox"/> Survey month outside the specified months?
<i>Hibbertia fumana</i> Hibbertia fumana	No (surveyed) *Survey months are outside of the months specified in Bionet.	<input type="checkbox"/> Jan <input type="checkbox"/> Feb <input checked="" type="checkbox"/> Mar <input type="checkbox"/> Apr <input type="checkbox"/> May <input type="checkbox"/> Jun <input type="checkbox"/> Jul <input type="checkbox"/> Aug <input type="checkbox"/> Sep <input checked="" type="checkbox"/> Oct <input checked="" type="checkbox"/> Nov <input checked="" type="checkbox"/> Dec <input checked="" type="checkbox"/> Survey month outside the specified months?



BAM Candidate Species Report

<i>Hibbertia sp. Bankstown</i> Hibbertia sp. Bankstown	No (surveyed) *Survey months are outside of the months specified in Bionet.	<input type="checkbox"/> Jan <input type="checkbox"/> Feb <input checked="" type="checkbox"/> Mar <input type="checkbox"/> Apr <input type="checkbox"/> May <input type="checkbox"/> Jun <input type="checkbox"/> Jul <input type="checkbox"/> Aug <input type="checkbox"/> Sep <input type="checkbox"/> Oct <input type="checkbox"/> Nov <input type="checkbox"/> Dec <input checked="" type="checkbox"/> Survey month outside the specified months?
<i>Micromyrtus minutiflora</i> Micromyrtus minutiflora	No (surveyed)	<input type="checkbox"/> Jan <input type="checkbox"/> Feb <input checked="" type="checkbox"/> Mar <input type="checkbox"/> Apr <input type="checkbox"/> May <input type="checkbox"/> Jun <input type="checkbox"/> Jul <input type="checkbox"/> Aug <input type="checkbox"/> Sep <input type="checkbox"/> Oct <input type="checkbox"/> Nov <input type="checkbox"/> Dec <input type="checkbox"/> Survey month outside the specified months?
<i>Rhodamnia rubescens</i> Scrub Turpentine	No (surveyed)	<input type="checkbox"/> Jan <input type="checkbox"/> Feb <input checked="" type="checkbox"/> Mar <input type="checkbox"/> Apr <input type="checkbox"/> May <input type="checkbox"/> Jun <input type="checkbox"/> Jul <input type="checkbox"/> Aug <input type="checkbox"/> Sep <input type="checkbox"/> Oct <input type="checkbox"/> Nov <input type="checkbox"/> Dec <input type="checkbox"/> Survey month outside the specified months?

Threatened species Manually Added

None added

Threatened species assessed as not on site

Refer to BAR for detailed justification

Common name	Scientific name	Justification in the BAM-C
Curlw Sandpiper	<i>Calidris ferruginea</i>	Habitat constraints
Large Bent-winged Bat	<i>Miniopterus orianae oceanensis</i>	Habitat constraints
Large-eared Pied Bat	<i>Chalinolobus dwyeri</i>	Habitat constraints
Little Bent-winged Bat	<i>Miniopterus australis</i>	Habitat constraints
Regent Honeyeater	<i>Anthochaera phrygia</i>	Habitat constraints
Swift Parrot	<i>Lathamus discolor</i>	Habitat constraints



BAM Predicted Species Report

Proposal Details

Assessment Id	Proposal Name	BAM data last updated *
00047572/BAAS18125/24/00048042	NEW BRIGHTON GOLF COURSE	14/03/2024
Assessor Name	Report Created	BAM Data version *
PETER STRICKER	09/05/2024	67
Assessor Number	Assessment Type	BAM Case Status
BAAS18125	Part 4 Developments (Small Area)	Finalised
Assessment Revision	BOS entry trigger	Date Finalised
0	BOS Threshold: Biodiversity Values Map	09/05/2024

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Threatened species reliably predicted to utilise the site. No surveys are required for these species. Ecosystem credits apply to these species.

Common Name	Scientific Name	Vegetation Types(s)
Australasian Bittern	Botaurus poiciloptilus	3997-Hunter Coast Sandplain Sedge Paperbark Wetland
Australian Painted Snipe	Rostratula australis	3997-Hunter Coast Sandplain Sedge Paperbark Wetland
Black Bittern	Ixobrychus flavicollis	3448-Castlereagh Ironbark Forest 3997-Hunter Coast Sandplain Sedge Paperbark Wetland
Black Falcon	Falco subniger	3448-Castlereagh Ironbark Forest 3997-Hunter Coast Sandplain Sedge Paperbark Wetland
Black-chinned Honeyeater (eastern subspecies)	Melithreptus gularis	3448-Castlereagh Ironbark Forest
Black-necked Stork	Ephippiorhynchus asiaticus	3448-Castlereagh Ironbark Forest 3997-Hunter Coast Sandplain Sedge Paperbark Wetland
Brown Treecreeper (eastern subspecies)	Climacteris picumnus victoriae	3448-Castlereagh Ironbark Forest 3997-Hunter Coast Sandplain Sedge Paperbark Wetland
Curlew Sandpiper	Calidris ferruginea	3997-Hunter Coast Sandplain Sedge Paperbark Wetland
Diamond Firetail	Stagonopleura guttata	3448-Castlereagh Ironbark Forest

Assessment Id	Proposal Name	Page 1 of 3
00047572/BAAS18125/24/00048042	NEW BRIGHTON GOLF COURSE	



BAM Predicted Species Report

Dusky Woodswallow	Artamus cyanopterus cyanopterus	3448-Castlereagh Ironbark Forest 3997-Hunter Coast Sandplain Sedge Paperbark Wetland
Eastern Coastal Free-tailed Bat	Micronomus norfolkensis	3448-Castlereagh Ironbark Forest
Eastern Osprey	Pandion cristatus	3448-Castlereagh Ironbark Forest 3997-Hunter Coast Sandplain Sedge Paperbark Wetland
Flame Robin	Petroica phoenicea	3448-Castlereagh Ironbark Forest
Gang-gang Cockatoo	Callocephalon fimbriatum	3448-Castlereagh Ironbark Forest 3997-Hunter Coast Sandplain Sedge Paperbark Wetland
Grey-headed Flying-fox	Pteropus poliocephalus	3448-Castlereagh Ironbark Forest
Large Bent-winged Bat	Miniopterus orianae oceanensis	3448-Castlereagh Ironbark Forest
Little Bent-winged Bat	Miniopterus australis	3448-Castlereagh Ironbark Forest
Little Eagle	Hieraaetus morphnoides	3448-Castlereagh Ironbark Forest 3997-Hunter Coast Sandplain Sedge Paperbark Wetland
Little Lorikeet	Glossopsitta pusilla	3448-Castlereagh Ironbark Forest 3997-Hunter Coast Sandplain Sedge Paperbark Wetland
Painted Honeyeater	Grantiella picta	3997-Hunter Coast Sandplain Sedge Paperbark Wetland
Regent Honeyeater	Anthochaera phrygia	3448-Castlereagh Ironbark Forest 3997-Hunter Coast Sandplain Sedge Paperbark Wetland
Rosenberg's Goanna	Varanus rosenbergi	3448-Castlereagh Ironbark Forest
Scarlet Robin	Petroica boodang	3448-Castlereagh Ironbark Forest
South-eastern Glossy Black-Cockatoo	Calyptorhynchus lathami lathami	3448-Castlereagh Ironbark Forest 3997-Hunter Coast Sandplain Sedge Paperbark Wetland
South-eastern Hooded Robin	Melanodryas cucullata cucullata	3997-Hunter Coast Sandplain Sedge Paperbark Wetland
Speckled Warbler	Chthonicola sagittata	3448-Castlereagh Ironbark Forest
Spotted Harrier	Circus assimilis	3448-Castlereagh Ironbark Forest 3997-Hunter Coast Sandplain Sedge Paperbark Wetland
Spotted-tailed Quoll	Dasyurus maculatus	3448-Castlereagh Ironbark Forest 3997-Hunter Coast Sandplain Sedge Paperbark Wetland
Square-tailed Kite	Lophoictinia isura	3448-Castlereagh Ironbark Forest



BAM Predicted Species Report

Square-tailed Kite	Lophoictinia isura	3997-Hunter Coast Sandplain Sedge Paperbark Wetland
Superb Fruit-Dove	Ptilinopus superbus	3997-Hunter Coast Sandplain Sedge Paperbark Wetland
Swift Parrot	Lathamus discolor	3448-Castlereagh Ironbark Forest 3997-Hunter Coast Sandplain Sedge Paperbark Wetland
Varied Sittella	Daphoenositta chrysoptera	3448-Castlereagh Ironbark Forest 3997-Hunter Coast Sandplain Sedge Paperbark Wetland
White-bellied Sea-Eagle	Haliaeetus leucogaster	3448-Castlereagh Ironbark Forest 3997-Hunter Coast Sandplain Sedge Paperbark Wetland
White-throated Needle-tail	Hirundapus caudacutus	3448-Castlereagh Ironbark Forest 3997-Hunter Coast Sandplain Sedge Paperbark Wetland
Yellow-bellied Shearwater	Saccolaimus flaviventris	3448-Castlereagh Ironbark Forest

Threatened species Manually Added

None added

Threatened species assessed as not within the vegetation zone(s) for the PCT(s)

Refer to BAR for detailed justification

Common Name	Scientific Name	Justification in the BAM-C



BAM Vegetation Zones Report

Proposal Details

Assessment Id	Assessment name	BAM data last updated *
00047572/BAAS18125/24/00048042	NEW BRIGHTON GOLF COURSE	14/03/2024
Assessor Name	Report Created	BAM Data version *
PETER STRICKER	09/05/2024	67
Assessor Number	Assessment Type	BAM Case Status
BAAS18125	Part 4 Developments (Small Area)	Finalised
Assessment Revision	Date Finalised	BOS entry trigger
0	09/05/2024	BOS Threshold: Biodiversity Values Map

* Disclaimer: BAM data last updated may indicate either complete or partial update of the BAM calculator database. BAM calculator database may not be completely aligned with Bionet.

Vegetation Zones

#	Name	PCT	Condition	Area	Minimum number of plots	Management zones
1	3448_GOOD	3448-Castlereagh Ironbark Forest	GOOD	0.05	1	

Assessment Id	Proposal Name
00047572/BAAS18125/24/00048042	NEW BRIGHTON GOLF COURSE

ITEM 02

DA-344/2024 - LOT 304 NEWBRIDGE ROAD, MOOREBANK
 85 BRICKMAKERS DRIVE, MOOREBANK
 NEW BRIGHTON GOLF COURSE AND CLUB, MOOREBANK
 WURRUNGWURI RESERVE AND 85 BRICKMAKERS DRIVE, MOOREBANK
 Biodiversity Development Assessment Report

Attachment 5



BAM Vegetation Zones Report

2	3997_GOOD	3997-Hunter Coast Sandplain Sedge Paperbark Wetland	GOOD	0.01	1
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Assessment Id
00047572/BAAS18125/24/00048042

Proposal Name
NEW BRIGHTON GOLF COURSE

Page 2 of 2

ITEM 02

DA-344/2024 - LOT 304 NEWBRIDGE ROAD, MOOREBANK
85 BRICKMAKERS DRIVE, MOOREBANK
NEW BRIGHTON GOLF COURSE AND CLUB, MOOREBANK
WURRUNGWURI RESERVE AND 85 BRICKMAKERS DRIVE, MOOREBANK
Biodiversity Development Assessment Report

Attachment 5

Department of Planning and Environment



Contact: Department of Planning and Environment-Water
Phone: 1300081047
Email: waterlicensing.servicedesk@dpie.nsw.gov.au

Our ref: IDAS-2024-10599
Your ref: DA-344/2024

6 September 2024

The General Manager
LIVERPOOL CITY COUNCIL
33 MOORE STREET LIVERPOOL 2170

Attention: Jason Marshall

Uploaded to the ePlanning Portal

Dear Sir/Madam

Re: IDAS-2024-10599 - Request for additional information
Dev Ref: DA-344/2024
Description: Construction of a Footpath and Boardwalk to be used for public recreation
Location: Lot 3, DP1278607, BRICKMAKERS DRIVE MOOREBANK 2170
Lot 21, DP1207736, 43 BRICKMAKERS DRIVE MOOREBANK 2170
Lot 5, DP1193300, 43 BRICKMAKERS DRIVE MOOREBANK 2170
Lot 4, DP1193300, 43 BRICKMAKERS DRIVE MOOREBANK 2170
Lot 304, DP1118048, NEWBRIDGE ROAD MOOREBANK 2170
Lot 2, DP1193300, NUWARRA ROAD MOOREBANK 2170

The Department of Planning and Environment-Water has reviewed documents for the above development application. An initial review of the material provided indicates that additional information relevant to issuing General Terms of Approval is needed in order for the Department of Planning and Environment-Water to complete the assessment.

Department of Planning and Environment-Water requests that Council stop the clock as of the date of this letter.

The following additional information is required:

- The position of the boardwalk should be outside the Vegetated Riparian Zone (VRZ). The width of the VRZ within the riparian corridor for the 7th-order stream is 40 m (from the highest bank of the stream) on each side of the watercourse. However, you can undertake non-riparian corridor works or development within the outer 50% of a VRZ, as long as they offset this activity by connecting an equivalent area to the RC within the development site.
- Please provide a Vegetation Management Plan (VMP) following the guidelines.
- Please provide long/cross sections of the proposed outlet including the river cross-section following the guidelines.
- Please see the link for the guidelines: [Guidelines for controlled activity approvals | NSW Government Water](#)

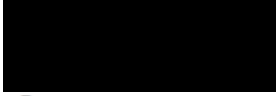
Clause 67 of the Regulation allows the department to specify a reasonable period within which the information requested must be provided. In this case, the department considers 28 days from the date of this letter as a reasonable period of time within which the requested information must be provided.

The applicant should notify the department, in writing, of their intent to provide the requested information or to arrange for a suitable period to supply this information.

Please direct any questions or correspondence to Hasan Momotaz at hasan.momotaz@dpie.nsw.gov.au, and cc waterlicensing.servicedesk@dpie.nsw.gov.au.

ITEM 02 DA-344/2024 - LOT 304 NEWBRIDGE ROAD, MOOREBANK
85 BRICKMAKERS DRIVE, MOOREBANK
NEW BRIGHTON GOLF COURSE AND CLUB, MOOREBANK
WURRUNGWURI RESERVE AND 85 BRICKMAKERS DRIVE, MOOREBANK
Attachment 6 DPE-Water Request for Further Information

Yours Sincerely



For
Patrick Pahlow
Team Leader
Licensing and Approvals
Department of Planning and Environment-Water



Ref No.: DA-344/2024
 Contact: Jason Marshall
 Ph: 02 8711 7787
 Date: 23 December 2024

NEW BRIGHTON GOLF CLUB LTD
 43 BRICKMAKERS DRIVE
 MOOREBANK NSW 2170

REQUEST FOR ADDITIONAL INFORMATION

(In accordance with the provisions under Section 36 and 104 of the *EP&A Regulations 2021*)

- ADDRESS:** LOT 304 NEWBRIDGE ROAD MOOREBANK NSW 2170
 NEW BRIGHTON GOLF COURSE & CLUB 43 BRICKMAKERS
 DRIVE MOOREBANK NSW 2170
 NEW BRIGHTON GOLF COURSE BRICKMAKERS DRIVE
 MOOREBANK NSW 2170
 LOT 2 BRICKMAKERS DRIVE MOOREBANK NSW 2170
 NEW BRIGHTON GOLF COURSE 43 BRICKMAKERS DRIVE
 MOOREBANK NSW 2170
 WURRUNGWURI RESERVE 85 BRICKMAKERS DRIVE
 MOOREBANK NSW 2170
- DESCRIPTION:** CONSTRUCTION OF A FOOTPATH AND BOARDWALK TO
 BE USED FOR PUBLIC RECREATION

Council has reviewed all information submitted for DA-344/2024 and requests additional information is provided as outlined below, in order for the application to be further assessed.

1. VOLUNTARY PLANNING AGREEMENT

The DA is inconsistent with the existing VPA for the site. Determination of the application by way of approval or deferred commencement will not be considered until such time that a Letter of Offer is submitted to and accepted by Council seeking a Deed of Variation for the following amendments to the current VPA:

- Cycleway alignment change:** A VPA Deed of Variation is required to facilitate the revised cycleway route through 85 Brickmakers Drive (fire trail).
- Contamination issues:** To address asbestos contamination, land dedication is to be replaced with a public access easement. This would enable the New Brighton Golf Club to retain ownership and address encroachment concerns, thereby alleviating Council's liability for contamination and related issues.

A draft Section 88B instrument should be submitted alongside the revised submission indicating the proposed wording and location of the proposed easement for Council's review.

The Deed of Variation should be progressed as a soon as possible to formalise the revised alignment and public access arrangement.

Other Matters – VPA/Contributions Response

In addition to the need for a Deed of Variation to the VPA, the below additional matters have been raised by Council's VPA/Contributions referral.

Vegetation Management Plan

As DA344/2024 is for the 'proposed Works to be undertaken on the land', Item 2(a) Preparation of a Vegetation Management Plan to the satisfaction of Council that defines planting offsets required as a consequence of any possible clearing works must be provided to Council.

Shared Path Along Georges River

Whilst it is noted that the sequencing of the stages is immaterial and therefore interchangeable (due to varying construction timeframes and potential obstacles), it is preferable if 'Stage 2' of the DA be directly matching with Item 1(a) of the VPA. This allows for better monitoring of the completion of works.

Given the ongoing asbestos contamination issues with the land, it is preferable if this is delivered last as 'Stage 3'.

The above is to be addressed through the updated information submitted to Council in response to this RFI. Should the DA be approved, conditions of consent would be imposed ensuring that any design, timing, and completion of the works align with the provisions of VPA9 (New Brighton Golf Club, Brickmakers Drive, Moorebank) and any subsequent Deed of Variations.

2. ENVIRONMENTAL HEALTH

Site contamination

According to the Statement of Environmental Effects, the proposed development is for the construction of a foreshore shared path to connect Brickmakers Drive with the Georges River and provide a pedestrian pathway along its frontage to the M5. It is noted that the reports titled Brighton Lakes Recreation & Golf Club Preliminary Site Investigation Reference No. S11609R01 43 Brickmakers Drive Moorebank, NSW 2170 prepared by Hibbs & Associates Pty Ltd dated 6th May 2021 and Brighton Lakes Recreation & Golf Club Additional Site Investigation Reference No. S12556R01 43 Brickmakers Drive Moorebank, NSW 2170 prepared by Hibbs & Associates Pty Ltd dated 29th May 2023 do not assess the suitability of the entire footprint of the development.

In particular, sufficient information is not currently available to assess the suitability of Stage 1, Stage 3 and a section of Stage 2 of the proposed development from a contaminated land perspective. Based upon the limited information available, the Applicant has not provided the consent authority with sufficient information to determine whether the entirety of the land to be developed is contaminated, is suitable in its contaminated state for the development or requires remediation before the land is used for its intended purpose.

Furthermore, a Preliminary Site Investigation may be required of the northern section of the proposal if it involves a change of use to carry out development for recreational purposes on land where there is no knowledge (or incomplete knowledge) as to whether development for a purpose referred to in Table 1 to the contaminated land planning guidelines has been carried out. It is the Applicant's responsibility to provide

the consent authority with sufficient information to address Clause 4.6 of State Environmental Planning Policy (Resilience and Hazards) 2021.

In this regard, the applicant shall engage the services of a suitably qualified environmental consultant to prepare or review and certify a Stage 1 Preliminary Site Investigation for the northern section of the proposed development. The Preliminary Site Investigation shall comply with applicable guidelines made or approved by the NSW EPA under the Contaminated Land Management Act 1997 and identify all past and present potentially contaminating activities; identify potential contamination types; discuss the site condition; provide a preliminary assessment of site contamination; and assess the need for further investigations.

Where contaminating activities are suspected or known to have occurred, or if site history is incomplete, it may be necessary for the suitably qualified environmental consultant to prepare or review and certify a Stage 2 Detailed Site Investigation. This investigation shall give regard to the potential effects of any contaminants on public health, the environment and building structures and shall meet the sampling density outlined in the NSW EPA sampling design guidelines for contaminated land (2022).

If the Stage 2 Detailed Site Investigation indicates that the site poses unacceptable risks to human health or the environment, a Remedial Action Plan (RAP) shall be prepared or reviewed and certified by a suitably qualified environmental consultant in accordance with applicable guidelines made or approved by the NSW EPA under the Contaminated Land Management Act 1997. In these circumstances, the Remedial Action Plan shall be referred to the consent authority for review.

Contaminated site reports shall be prepared or reviewed and certified by a suitably qualified environmental consultant who is certified under either the Environment Institute of Australia and New Zealand's Certified Environmental Practitioner (Site Contamination) scheme (CEnvP(SC)) or the Soil Science Australia Certified Professional Soil Scientist Contaminated Site Assessment and Management (CPSS CSAM) scheme.

3. LAND DEVELOPMENT ENGINEERING

The following additional information is requested by the referral officer:

1. The section of shared path / fire trail is proposed to be constructed with Crusher Dust wearing course. This surface is not suitable for all bicycles and can become a hazard in certain conditions. This section must be constructed with a reinforced concrete pavement to Council Specifications.

2. Indicate a 2.5m link to the existing cycleway on the western side of Brickmakers Drive.



3. Provide a draft Line marking and Signage Plan for the works.
4. Provide consistent legends on each Layout plan. Label proposed shared path rather than footpath and provide items in the legend for the section of path around the basin.
5. Provide Details of the reinforced open invert channel crossing.
6. Indicate turf to base of open swale drain.
7. Part of the shared path will run along a fairway. Please advise what warnings or precautions are proposed to keep path users safe from Golf balls?

4. NATURAL ENVIRONMENT FLORA & FAUNA

The following additional information is requested by the referral officer:

- Revised plans that contain clear and consistent details regarding the trees to be removed
- A current BDAR that is prepared by an accredited assessor.

The submitted BDAR is not current and the accreditation of the author has since lapsed. The new BDAR should also consider the threatened plant *Epacris purpurascens* var. *purpurascens* given its close proximity to the works.

- The SEE should address section 2.8 and 2.10 of the State Environmental Planning Policy (Resilience and Hazards) 2021.

5. LANDSCAPE

Provide a landscape plan and arborist report to supplement the application.

Alternatively, please contact Council's Acting Landscape Assessment Officer, Ryan Mossman, to discuss a site visit to assess the site and impact on vegetation in person.

6. URBAN DESIGN AND PUBLIC DOMAIN

To further assess the proposal, we require clarification on several key aspects. Firstly, regarding the connection to Brickmakers Drive, please confirm responsibility for

providing the pedestrian/shared path connection to ensure seamless linkage to the surrounding area.

Additionally, the below design recommendations and additional information is requested:

- At least three types of finishes and materials have been proposed across the shared paths, including a crusher dust wearing course for the fire trail section. To enhance consistency, it is recommended to unify the materials, particularly for the fire trail section, as it will be widely used by the public. A smoother, more durable surface is preferred to improve accessibility and ensure better performance in wet weather conditions.
- Detailed layout plans for the entire shared path network must be provided. These plans should include line markings for pedestrian and cycle paths, safety barriers (around sharp bends & height differences), wayfinding signage, fire trail signposting, lighting at key locations and any other relevant infrastructure to ensure safe and effective usage of the cycleway.
- The shared path including line markings should be designed in accordance with the Cycleway Design Toolbox – Movement and Place guidelines to ensure consistency and safety for all users.
- A detailed Public Domain and Landscape Plan must be prepared, including aspects such as the immediate context, tree removal, proposed landscaping, treatment of batters (hardscape or softscape), and potential connections to surrounding areas.

When designing the interface with the golf course, please provide detailed considerations for visibility, safety, and passive surveillance to ensure a harmonious and secure coexistence.

Lastly, we request the development and submission of a management plan incorporating usage timing and Crime Prevention Through Environmental Design (CPTED) measures.

7. PLANNING

Plans

Plans are to be updated to clearly indicate lot boundaries for all properties near to the works. Several drawings do not show the boundaries of Lot 2 DP 1278607 and it is not clear whether any works (including batter) would encroach into this lot.

Aboriginal archaeological potential

Figure 8 of Part 2.15 of LDCP 2008 identifies the site as being within an area of potential Aboriginal archaeological sensitivity. This is not addressed adequately within the submitted documentation, which should be supported by a due diligence investigation.

8. NSW DEPARTMENT OF CLIMATE CHANGE, ENERGY, THE ENVIRONMENT AND WATER (DCCEEW) -WATER

The following additional information is required:

- The position of the boardwalk should be outside the Vegetated Riparian Zone (VRZ). The width of the VRZ within the riparian corridor for the 7th-order stream is 40m (from the highest bank of the stream) on each side of the water course. However, you can undertake non-riparian corridor works or development within the outer 50% of a VRZ, as long as they offset this activity by connecting an equivalent area to the RC within the development site.
- Please provide a Vegetation Management Plan (VMP) following the guidelines.
- Please provide long/cross sections of the proposed outlet including the river cross-section following the guidelines.
- Please see the link for the guidelines: [Guidelines for controlled activity approvals | NSW Government Water](#)

It is recommended when addressing the above, the requirements of the NSW Rural Fire Service letter dated 11 October 2024 be considered. This letter is available on the NSW Planning Portal.

All supporting documentation, including plans, reports, and the Statement of Environmental Effects, must be updated to reflect all required changes.

SUMMARY

In response, Council is affording three (3) options to progress the application, as follows:

1. Prepare and submit further supporting information/amendments to [the NSW Planning Portal](#), addressing the matters as raised. If amended plans are submitted for assessment, an additional processing fee will apply in accordance with Council's adopted fees and charges. Based on the value of works, the amount payable is \$154.00; or
2. Request that the current proposal proceed to determination in its current form, which would likely result in refusal of the application; or
3. Withdraw the application. Should you wish to withdraw the application, you must correspond with Council in writing, to which you will be entitled to a partial refund of fees paid.

ITEM 02 DA-344/2024 - LOT 304 NEWBRIDGE ROAD, MOOREBANK
85 BRICKMAKERS DRIVE, MOOREBANK
NEW BRIGHTON GOLF COURSE AND CLUB, MOOREBANK
WURRUNGWURI RESERVE AND 85 BRICKMAKERS DRIVE, MOOREBANK
Attachment 7 Council's Request for Additional Information Dated 23 December 2024

To enable Council to process the application as efficiently as possible, you are requested to action the above by the **16th of January**. We request your confirmation that this timeframe is achievable or to otherwise outline the time needed for you to respond adequately.

Noting the scale of additional information required, should you conclude that significantly greater time is required to adequately respond to this RFI, it is our recommendation that you withdraw the application and resubmit at a later date with all additional information included. Council will not grant significant extensions to the timeframe referred to above.

If a response is not received within the above time period, the application will be determined on the basis of the available information, which may result in refusal of the application.

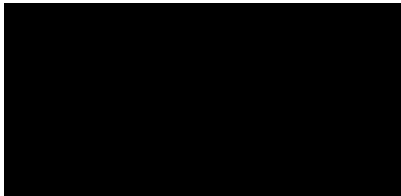
General Notes

It is important to label the documents in line with Councils electronic filing naming convention *i.e. DA Number – Additional Information – Site Plan – XXX Address.pdf*

To track the progress of your application, please visit <https://eplanning.liverpool.nsw.gov.au/> and click on "Track an Application". The ePlanning portal also contains other relevant information including an online mapping system and access to frequently requested planning information. Alternatively, please visit [the NSW Planning Portal](#).

If you have any further enquiries, please contact Jason Marshall on the abovementioned contact details.

Yours faithfully



Jason Marshall
Development Assessment

LIVERPOOL DEVELOPMENT CONTROL PLAN 2008 **COMPLIANCE TABLES**

LDCP 2008 - Part 1 General Controls for all Development			
Development Control	Provision	Comment	Complies
Section 2. Tree Preservation	Controls relating to the preservation of trees	The sites are currently vacant and there is minimal vegetation.	Complies
Section 3. Landscaping and Incorporation of Existing Trees	Controls relating to landscaping and the incorporation of existing trees.	Landscaping plan provided for street tree planting as part of the DA.	Complies
Section 4 Bushland and Fauna Habitat Preservation	Controls relating to bushland and fauna habitat preservation	The site is mapped as bio-certified land and is not mapped as environmentally sensitive land. As such, further assessment on flora and fauna is not required.	Complies
Section 5. Bush Fire Risk	Controls relating to development on bushfire prone land.	The sites are mapped as bushfire prone land. General Terms of Approval have been provided by the NSW Rural Fire Service. Which will form conditions of consent.	Complies with conditions
Section 6. Water Cycle Management	Stormwater runoff shall be connected to Council's drainage system by gravity means. A stormwater drainage concept plan is to be submitted.	This aspect has been reviewed by Council's Land Development Engineering Section, who have raised no issues with the proposal, subject to conditions.	Complies
Section 7. Development Near Watercourse	If any works are proposed near a water course, the Water Management Act 2000 may apply, and you may be required to seek controlled activity approval from the NSW Office of Water.	The proposal is not within 40m of a watercourse and a controlled activity approval from DPE – Water is not required.	N/A
Section 8. Erosion and Sediment Control	Erosion and sediment control plan to be submitted.	Conditions of consent will be imposed to ensure that erosion and sediment controls measures are implemented.	Complies with conditions
Section 9. Flooding Risk	Provisions relating to development on flood prone land.	The site is not affected by overland flows or mainstream flooding. Council's Floodplain Engineering Section have reviewed the application and are satisfied with the development subject to conditions.	Complies with conditions

Section 10. Contaminated Land Risk	Provisions relating to development on contaminated land.	As per SEPP (Resilience and Hazards) 2021, contamination and remediation addressed as part of the parent Development Consent DA-1004/2015. The development is considered acceptable, and the sites are suitable for the future residential use of the land. Standard conditions of consent will be applied for any unexpected finds.	Complies with conditions
Section 11. Salinity Risk	Provisions relating to development on saline land.	Development to comply with the NCC requirements, which will form part of conditions of consent.	Complies with conditions
Section 12. Acid Sulphate Soils	Provisions relating to development on acid sulphate soils	The development site is not identified as containing acid sulphate soils.	N/A
Section 13. Weeds	Provisions relating to sites containing noxious weeds.	The site is not identified as containing noxious weeds.	N/A
Section 14. Demolition of Existing Development	Provisions relating to demolition works	No demolition proposed.	N/A
Section 15. On Site Sewage Disposal	Provisions relating to OSMS.	OSMS is not proposed and the site is connected to sewer.	N/A
Section 16. Aboriginal Archaeology	An initial investigation must be carried out to determine if the proposed development or activity occurs on land potentially containing an item of aboriginal archaeology.	The development site is not mapped as a potential area containing Aboriginal archaeology. Aboriginal Cultural Heritage assessed as part of the parent DA and conditions of consent will be applied for any unexpected finds.	Complies with conditions
Section 17. Heritage and Archaeological Sites	Provisions relating to heritage sites.	The development site is not identified as a heritage item or located within close proximity to a heritage item.	N/A
Section 20. Car Parking and Access	This section of the DCP specifies requirements in relation to vehicular access and car parking.	The proposed subdivision will result in allotments of an area capable of providing complying car parking and access to each lot, being rear loaded to Bartle Lane.	Complies
Section 21. Subdivision of Land and Buildings	The development site is identified as having a minimum subdivision lot size of 300m ² .	All lots have a minimum lot size above 300sqm.	Complies
	Minimum Lot width: In R1 Zones where minimum lot size is 300m ² (Area 2), minimum lot width is 8m	All lots have a minimum width above 8m. Minimum width is 9.13m.	Complies
	Subdivision of land involving the creation of lots less than	See justification below.	Considered Acceptable

	300sqm or less than 10m lot width shall include the dwelling house as part of the development application.		
<p>Justification</p> <p>The development proposes lots which meet the minimum lot size and width, however as some lots are below 10m in width, the DCP requires dwellings to be built on these lots. The proposed development does not provide for dwellings as part of this application, however, is considered to be satisfactory given the circumstances. The proposal provides for lots which are rear loaded to Bartle Lane and provide vehicular access to the allotments through garages which are oriented toward this laneway. This in turn allows for a less garage dominated frontage and can allow for passive surveillance to the main dwelling frontage, creating a more functional, safe and attractive environment for residents. This also provides for better amenity for occupants with larger or an increased number of north facing rooms as opposed to half a garage in the frontage. Further, as this application is also within one of Liverpool's growth areas, Edmondson Park, as opposed to an established area, smaller widths are more typical, such as what is required in Austral/ Leppington, where lots can be 9m in width without any dwelling design included. Additionally, the lots taper from a minimum of 9.13m to a width of 10m or greater due to the shape of the parent lots. As such, the proposed development is consistent with the objectives of this Section of the DCP and is considered acceptable in the circumstances.</p>			
	All new streets shall be a minimum 18m wide, unless specified elsewhere in Part 2 of this DCP.	Streets are existing.	N/A
	Legal easements of width as determined by the Council Codes and Specifications are to be provided over stormwater drains and watercourses.	Appropriate stormwater drainage servicing will be made to the development. Council's Land Development Engineering Section have reviewed the proposal and are satisfied with stormwater subject to conditions.	Complies with conditions
	New development will be required to extend augment and meet the full cost of water and sewerage reticulations, as arranged with Sydney Water within developments / subdivisions plus the cost of connecting to existing services.	The application was referred to Sydney Water and they are satisfied with the proposal subject to conditions.	Complies with conditions
	Electricity services are to be extended to the development / subdivision and in accordance with the requirements of Integral Energy and at full cost to the development.	Electricity servicing will be conditioned as part of consent. The proposal was also referred to Endeavour Energy who are satisfied with the proposal subject to conditions.	Complies with conditions
	Street lighting shall be designed by the applicant to AS1158 and the development will be required	Conditions will be applied regarding street lighting adequacy for the proposed development.	Complies with conditions

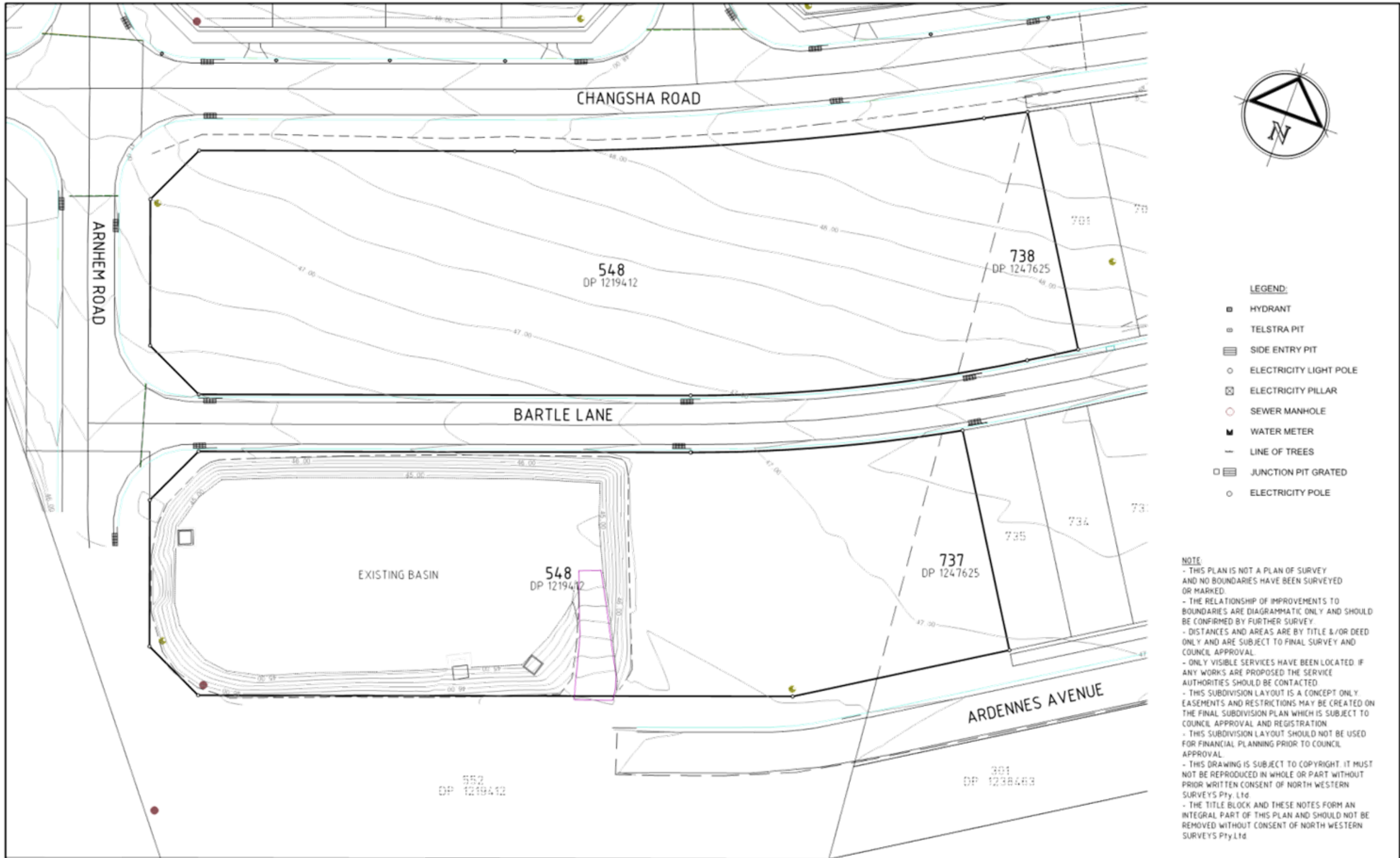
	to meet the full cost of street lighting installation.		
	The development will be required to provide for telephone facilities within the design. Where underground electricity is used, underground telephone facilities are also to be provided by the development.	Telecommunication servicing to the new allotments will be conditioned.	Complies with conditions
	One street tree shall be planted for each allotment created.	Street trees are proposed and are deemed acceptable for the proposed development, subject to conditions.	Complies with conditions
Section 22 and Section 23. Water Conservation and Energy Conservation	New dwellings, are to demonstrate compliance with State Environmental Planning Policy – Building Sustainability Index (BASIX).	The application does not propose the construction of new dwellings.	N/A
Section 25. Waste Disposal and Re-use Facilities	Provisions relating to waste management during construction and on-going waste.	Waste not expected from proposed works, however, will be conditioned to ensure a waste management plan is provided prior to CC due to excavation works.	Complies by condition
Section 26. Outdoor Advertising and Signage	Provisions relating to signage.	No signage proposed	N/A
Section 27. Social Impact Assessment	Provisions relating to social impact.	Social impact comment is not required.	N/A

Consideration of LDCP 2008, Part 2.11 Development in Edmondson Park

The table below provides an assessment of the proposal in relation to the relevant sections of Part 2.11 of the Liverpool DCP 2008.

DEVELOPMENT CONTROL	PROPOSAL	COMMENT
PART 2.11 – LAND SUBDIVISION AND DEVELOPMENT IN EDMONDSON PARK		
1.1 INDICATIVE LAYOUT To be in accordance with Figure 2 of the DCP	The road network is existing and is satisfactory for the proposal.	Complies
2.1 STREET NETWORK AND ACCESS Subdivision plans must indicate street type.	The proposed subdivision will not be carrying out any road construction, however verge works, including footpath paving and street tree planting, will be carried out in the road reserves. Conditions will be applied regarding these works.	Complies
2.2 PEDESTRIAN AND CYCLEWAY NETWORK	As above, footpath paving will be provided for the development and will be conditioned in the consent.	Complies with conditions

Plans indicating non-vehicular connections and links in residential areas		
2.3 STREETSCAPE AND STREET TREES Minimum of two trees per six metres of frontage	Landscaping plan provided for street tree planting as part of the application which is satisfactory, subject to conditions.	Complies with conditions
2.4 OPEN SPACE Provision of open space within the Edmondson Park precinct	The proposal does not incorporate any provisions for public open space.	N/A
2.5 ENVIRONMENTAL MANAGEMENT Protection of vegetation and riparian corridors	The site does not have any significant vegetation which requires protection and there are no riparian corridors and waterways over the site.	N/A
2.6 WATER CYCLE MANAGEMENT Appropriate management of stormwater quality and quantity	The proposed stormwater system for the site complies with the requirements of this section of the DCP. This aspect has been reviewed by Council's Land Development Engineering Section, who have raised no issues subject to conditions.	Complies by conditions
2.7 CONTAMINATION Potential for contamination to be assessed.	As per SEPP (Resilience and Hazards) 2021, contamination and remediation addressed as part of the parent Development Consent DA-1004/2015. The development is considered acceptable, and the sites are suitable for the future residential use of the land. Standard conditions of consent will be applied for any unexpected finds.	Complies with conditions

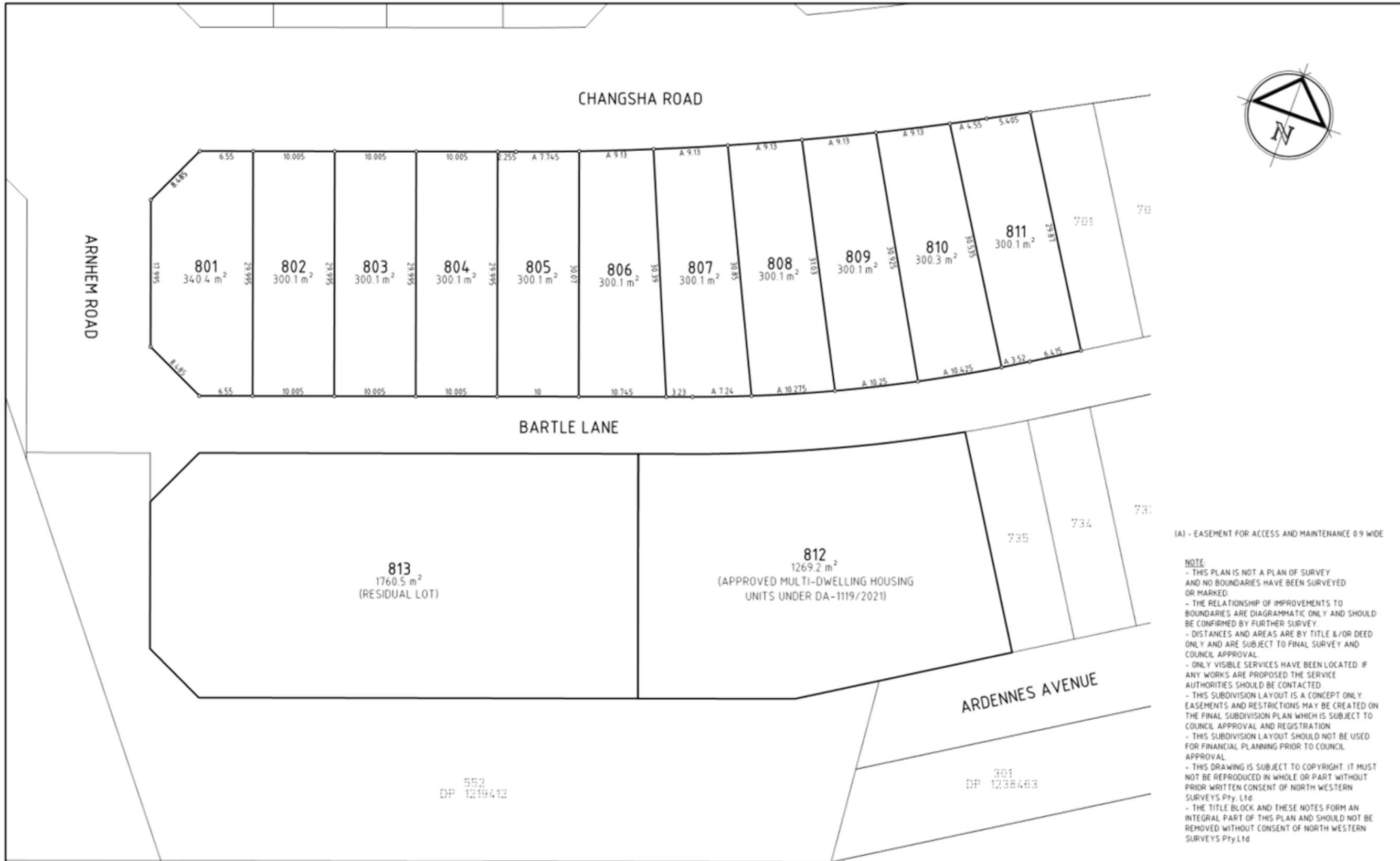


- LEGEND:**
- HYDRANT
 - ⊖ TELSTRA PIT
 - ▬ SIDE ENTRY PIT
 - ELECTRICITY LIGHT POLE
 - ⊠ ELECTRICITY PILLAR
 - SEWER MANHOLE
 - WATER METER
 - LINE OF TREES
 - JUNCTION PIT GRATED
 - ELECTRICITY POLE

NOTE:

- THIS PLAN IS NOT A PLAN OF SURVEY AND NO BOUNDARIES HAVE BEEN SURVEYED OR MARKED.
- THE RELATIONSHIP OF IMPROVEMENTS TO BOUNDARIES ARE DIAGRAMMATIC ONLY AND SHOULD BE CONFIRMED BY FURTHER SURVEY.
- DISTANCES AND AREAS ARE BY TITLE &/OR DEED ONLY AND ARE SUBJECT TO FINAL SURVEY AND COUNCIL APPROVAL.
- ONLY VISIBLE SERVICES HAVE BEEN LOCATED IF ANY WORKS ARE PROPOSED THE SERVICE AUTHORITIES SHOULD BE CONTACTED.
- THIS SUBDIVISION LAYOUT IS A CONCEPT ONLY. EASEMENTS AND RESTRICTIONS MAY BE CREATED ON THE FINAL SUBDIVISION PLAN WHICH IS SUBJECT TO COUNCIL APPROVAL AND REGISTRATION.
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- THE TITLE BLOCK AND THESE NOTES FORM AN INTEGRAL PART OF THIS PLAN AND SHOULD NOT BE REMOVED WITHOUT CONSENT OF NORTH WESTERN SURVEYS Pty Ltd.

PLAN REV.	DESCRIPTION	DATE	SITE	 <p>NORTH WESTERN SURVEYS LAND DEVELOPMENT CONSULTANTS PHONE (02) 9831 2040 EMAIL nws@nwsurveys.com.au WEBSITE www.nwsurveys.com.au</p>	<p>• SURVEYING CIVIL ENGINEERING PROJECT MANAGEMENT SUPERINTENDENCY WATER SERVICING COORDINATION</p>	<p>TITLE PLAN OF PROPOSED SUBDIVISION</p>	SURVEYED:	PROJECT MANAGER:	
01	UPDATE PLAN	22/02/2024	LOTS 548 IN DP 1219412 AND 737-738 IN DP 1247625 CHANGSHA ROAD, EDMONDSON PARK L.G.A. LIVERPOOL				A.S.	JOHN ATTARD	
00	ORIGINAL ISSUE	16/02/2021	THIS DRAWING IS SUBJECT TO COPYRIGHT. IT MUST NOT BE REPRODUCED IN WHOLE OR PART WITHOUT PRIOR WRITTEN CONSENT OF NORTH WESTERN SURVEYS Pty Ltd.				DRAFTED:	PLAN DATE:	PLAN
							N.H.	22/02/2024	1
							SCALE @ A2:	PLAN REV:	
							1:300	01	
							GRID/DATUM:	PROJECT REFERENCE:	
							M.G.A.	17390/203-DA	



(A) - EASEMENT FOR ACCESS AND MAINTENANCE 0.9 WIDE

NOTE:
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PLAN REV.	DESCRIPTION	DATE	SITE LOT 624 IN A SUBDIVISION OF LOTS 548 IN DP 1219412 AND 737-738 IN DP 1247625 CHANGSHA ROAD, EDMONDSON PARK L.G.A. LIVERPOOL THIS DRAWING IS SUBJECT TO COPYRIGHT. IT MUST NOT BE REPRODUCED IN WHOLE OR PART WITHOUT PRIOR WRITTEN CONSENT OF NORTH WESTERN SURVEYS Pty. Ltd.	NORTH WESTERN SURVEYS LAND DEVELOPMENT CONSULTANTS PHONE (02) 9831 2040 EMAIL nws@nwsurveys.com.au WEBSITE www.nwsurveys.com.au	+ SURVEYING CIVIL ENGINEERING PROJECT MANAGEMENT SUPERINTENDENCY WATER SERVICING COORDINATION	TITLE	PROJECT MANAGER	SURVEYED:	PLAN	
02	AMENDED TO COUNCILS REQUIREMENTS	13/09/2024				PLAN OF PROPOSED SUBDIVISION	JOHN ATTARD	A.S.	13/09/2024	1
01	AMENDED TO COUNCILS REQUIREMENTS	6/08/2024						N.H.	13/09/2024	
00	ORIGINAL ISSUE	14/03/2024						SCALE @ A2: 1:300	PLAN REV: 02	
							GRID/DATUM:	PROJECT REFERENCE:		
							M.G.A.	17390/208-DA		
							THIS PLAN MUST NOT BE USED FOR CONSTRUCTION UNLESS SIGNED AS APPROVED BY PRINCIPAL CERTIFYING AUTHORITY			

**CONCEPT ENGINEERING PLAN
FOR PROPOSED SUBDIVISION OF LOT 624 IN A SUBDIVISION OF LOTS 548
IN DP 1219412, 737 & 738 IN DP 1247625
CHANGSHA ROAD, EDMONDSON PARK, NSW
L.G.A. LIVERPOOL**

Plan List Table			
Plan Number	Plan Title	REV	REV DATE
GENERAL			
001	FACE SHEET	01	04/10/2024
002	CONSTRUCTION NOTES	01	04/10/2024
SEDIMENT & EROSION CONTROL			
001	SEDIMENT & EROSION CONTROL PLAN	01	04/10/2024
002	SEDIMENT & EROSION CONTROL NOTES	01	04/10/2024
ENGINEERING PLANS			
001	PLAN OF PROPOSED WORKS	01	04/10/2024
DRAINAGE			
001	LATONMENT PLAN	01	04/10/2024
MISCELLANEOUS WORKS			
001	LANDSCAPING PLAN	01	04/10/2024



LOCALITY PLAN

CLIENT PROJECT [REDACTED]	 <p>NORTH WESTERN SURVEYS LAND DEVELOPMENT CONSULTANTS</p> <p>• SURVEYING • CIVIL ENGINEERING • PROJECT MANAGEMENT • SUPERINTENDENCY • WATER SERVICING COORDINATION</p> <p>PHONE: (02) 9831 2042 EMAIL: nws@nwsurveys.com.au WEBSITE: www.nwsurveys.com.au</p>	<p>APPROVED COMPANY ISO 9001 Quality Management System QMS</p>	 <p>DIAL BEFORE YOU DIG www.1100.com.au</p> <p>PROJECT REFERENCE 17390-DA2</p>	PLAN 001
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GENERAL NOTES

- G1. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH LIVERPOOL COUNCIL'S ENGINEERING DESIGN AND ENGINEERING CONSTRUCTION SPECIFICATIONS AND TO THE REQUIREMENTS OF THE CERTIFYING AUTHORITY.
- G2. PLANS TO BE READ IN CONJUNCTION WITH COUNCIL'S WORK SPECIFICATIONS AND DEVELOPMENT CONSENT CONDITIONS.
- G3. ALL LEVELS SHALL BE TAKEN FROM ESTABLISHED BENCH MARKS (AND) AND NOT FROM CENTRE LINE SURVEY PEGS. SEE CIVIL WORKS PLAN FOR BENCH MARK ORIGIN.
- G4. PRIOR TO THE COMMENCEMENT OF ANY EARTHWORKS, AND AFTER THE ROAD CENTRE LINES HAVE BEEN PEGGED AND/OR PERMANENTLY MARKED, THE SITE MUST BE INSPECTED BY COUNCIL'S REPRESENTATIVE AND THE APPLICANT'S REPRESENTATIVE TO IDENTIFY AND APPROPRIATELY MARK.
- G5. INSPECTIONS BY CERTIFYING AUTHORITY ARE REQUIRED AT BUT NOT LIMITED TO THE FOLLOWING STAGES AND THE WORKS APPROVED PRIOR TO CONTINUANCE OF ANY FUTURE WORK.
 - (a) FOLLOWING INSTALLATION OF EROSION AND SEDIMENT CONTROL STRUCTURES/MEASURES
 - (b) PRIOR TO BACKFILLING PIPELINES, SUBSOIL DRAINS AND DAMS.
 - (c) PRIOR TO CASTING OF PITS AND OTHER CONCRETE STRUCTURES, INCLUDING KERB AND GUTTER BUT FOLLOWING PLACEMENT OF FOOTINGS, FORMWORK, AND REINFORCEMENT
 - (d) PRIOR TO PLACEMENT OF SUB-BASE AND ALL SUBSEQUENT PAVEMENT LAYERS. A PROOF ROLLER TEST OF EACH PAVEMENT LAYER IS REQUIRED.
 - (e) FORMWORK PRIOR TO POURING CONCRETE IN PARKING AREA FOR FOOTPATH CROSSING AND OTHER ASSOCIATED WORK.
 - (f) PRIOR TO BACKFILLING PUBLIC UTILITY CROSSINGS IN ROAD RESERVES.
 - (g) FINAL INSPECTIONS AFTER ALL WORKS ARE COMPLETED AND WORKS AS EXECUTED PLANS HAVE BEEN SUBMITTED TO COUNCIL.
- G6. NO TREES ARE TO BE REMOVED UNLESS APPROVAL IS GRANTED BY COUNCIL'S LANDSCAPE COMPLIANCE OFFICER OR AS AUTHORIZED BY DEVELOPMENT CONSENT.
- G7. MAKE SMOOTH JUNCTIONS WITH EXISTING WORKS.
- G8. NO WORK IS TO BE CARRIED OUT ON COUNCIL PROPERTY OR ADJOINING PROPERTIES WITHOUT THE WRITTEN PERMISSION FROM THE OWNER'S.
- G9. GUIDE PISTS WITH ATTACHED REFLECTIONS TO BE PLACED WHERE DIRECTED.
- G10. THE CONTRACTOR SHALL TAKE ALL DUE CARE THAT ONLY THE ABSOLUTE MINIMUM OF AREA FOR CONSTRUCTION IS USED AND THAT NO UNNECESSARY DAMAGE IS DONE TO THE EXISTING VEGETATION. TRENCH EXCAVATION IN LOTS SHALL BE KEPT TO A MINIMUM AND NO TRACKED MACHINERY SHALL BE USED FOR THAT PURPOSE.
- G11. VEHICULAR ACCESS AND ALL UTILITIES/SERVICES ARE TO BE MAINTAINED AT ALL TIMES TO ADJOINING PROPERTIES AFFECTED BY CONSTRUCTION.
- G12. ALL RUBBISH, BUILDINGS, SHEDS AND FENCES TO BE REMOVED TO SATISFACTION OF COUNCIL'S ENGINEER.
- G13. ALL EXISTING SERVICES SHALL BE ADJUSTED AS NECESSARY TO THE REQUIREMENTS OF THE RELEVANT AUTHORITY AND AT THE DEVELOPER'S EXPENSE.
- G14. CONTRACTOR SHALL TAKE ALL REASONABLE CARE TO PROTECT EXISTING SERVICES. THE COST OF REPAIRING ANY DAMAGE CAUSED TO SUCH ASSETS IN THE VICINITY OF THE LAND AS A RESULT OF CONSTRUCTION WORKS SHALL BE MET IN FULL BY THE CONTRACTOR.
- G15. COUNCIL ENGINEERS HAVE DISCRETION TO VARY, AS CONSIDERED NECESSARY, THE ENGINEERING REQUIREMENTS IN RESPECT OF A PARTICULAR SUBDIVISION OR DEVELOPMENT HAVING REGARD TO THE SITE CONTEXT.
- G16. CONTRACTORS ARE TO ENSURE STRUCTURAL CERTIFICATION FOR CONSTRUCTION OF MAJOR AND NON-STANDARD STRUCTURES. ALL STRUCTURAL WORKS ARE TO BE INSPECTED AND CERTIFIED BY A QUALIFIED ENGINEER.
- G17. ALL RETAINING WALLS OVER 900mm REQUIRE STRUCTURAL CERTIFICATION.
- G18. SERVICES SHOWN ON THESE PLANS ARE NOT GUARANTEED COMPLETE OR CORRECT AND HAVE BEEN LOCATED FROM INFORMATION SUPPLIED BY THE RELEVANT AUTHORITY AND FIELD INVESTIGATION. PRIOR TO COMMENCEMENT OF EXCAVATION, FOR PROPOSED AND EXISTING SERVICES, CONTRACTOR MUST CONTACT DIAL BEFORE YOU DIG PH: 190.

EARTHWORKS NOTES

- E1. EARTHWORKS ARE TO BE CARRIED OUT TO THE SATISFACTION OF THE COUNCIL. UNSUITABLE MATERIALS ARE TO BE REMOVED FROM ROADS AND LOTS PRIOR TO FILLING. THE CONTRACTOR IS TO ARRANGE AND MAKE AVAILABLE COMPACTION TESTING RESULTS FOR ALL AREAS THAT CONTAIN FILL IN EXCESS OF 200mm.
- E2. BEFORE PLACEMENT OF FILL ON STRIPPED AREAS COMMENCES COUNCIL APPROVAL MUST BE OBTAINED. ONLY FILL FROM A SITE APPROVED BY THE SITE GEOTECHNICAL ENGINEER SHOULD BE USED. FILL USED SHOULD BE FREE FROM ALL BUILDING MATERIALS, ROCKS, STUMPS, ORGANIC MATTER AND ANY CONTAMINATION.
- E3. COMPACTION OF EARTHWORKS SHALL CONTINUE UNTIL A DRY DENSITY RATIO OF 15% FOR SITE FILLING AND 10% FOR ROAD PAVEMENT SUBGRADES HAS BEEN ACHIEVED IN ACCORDANCE WITH TEST METHOD A510/95.3.3 OR AS 109/5.1.1. THE CONTROL TESTING OF EARTHWORKS SHALL BE IN ACCORDANCE WITH THE GUIDELINES IN AS 3798. GUIDELINES ON EARTHWORKS FOR COMMERCIAL AND RESIDENTIAL DEVELOPMENTS, WHERE IT IS PROPOSED TO USE TEST METHOD A510/95.4.1 TO DETERMINE THE FIELD DENSITY, A SAND REPLACEMENT METHOD SHALL BE USED TO CONFIRM THE RESULTS.
- E4. THE SUITABLE QUALIFIED GEOTECHNICAL ENGINEER SHALL HAVE A LEVEL 1 RESPONSIBILITY FOR ALL FILLING AS DEFINED IN APPENDIX B AS 3798. GUIDELINES ON EARTHWORKS FOR COMMERCIAL AND RESIDENTIAL DEVELOPMENTS, AND AT THE END OF THE WORKS SHALL CONFIRM THE EARTHWORKS COMPLY WITH THE REQUIREMENTS OF THE SPECIFICATION AND DRAWINGS BY WRITTEN NOTIFICATION.
- E5. IN AREAS TO BE FILLED WHERE THE SLOPE OF THE NATURAL SURFACE EXCEEDS 1:1.5, BENCHES ARE TO BE CUT TO PREVENT SLIPPING OF THE PLACED FILL MATERIAL AS REQUIRED BY THE COUNCIL.
- E6. ALL BATTERS ARE TO BE SCARPED TO A DEPTH OF 50mm TO ASSIST WITH ADHESION OF TOP SOIL TO BATTER FACE.
- E7. LOTS SHALL BE EVEN GRADED AT MINIMUM 1% TO PREVENT PONDING. 100 YEAR FLOW PATHS TO BE FORMED AT TIME OF CONSTRUCTION AND SHOWN ON WORK AS EXECUTED DRAWINGS.
- E8. ALL EXCESS MATERIALS SHOULD NOT LEAVE SITE UNLESS APPROVED BY THE SUPERINTENDENT.
- E9. PROVIDE MINIMUM 150mm AND MAXIMUM 300mm TOPSOIL ON FOOTPATHS, FILLED AREAS AND ALL OTHER AREAS DISTURBED DURING CONSTRUCTION. TOPSOILED AREAS TO BE STABILISED WITH APPROVED VEGETATION A MAXIMUM OF 14 DAYS AFTER TOPSOILING AND ARE TO BE WATCHED TO ENSURE GERMINATION AND ESTABLISH VIGOROUS GROWTH.
- E10. THE CONTRACTOR SHALL CONTROL SEDIMENTATION, EROSION AND POLLUTION DURING CONSTRUCTION IN ACCORDANCE WITH THE REQUIREMENTS OF THE CURRENT EDITION OF 'MANAGING URBAN STORMWATER: SOILS AND CONSTRUCTION' PRODUCED BY LANDCOM.
- E11. A MINIMUM 1 METRE WIDE CONTINUOUS STRIP OF CLOUT GRASS SHALL BE PLACED BEHIND THE BACK OF ALL KERBS AND OTHER CONCRETE STRUCTURES IMMEDIATELY AFTER THE COMPLETION OF THE FOOTPATH GRADING OR OTHER ELEMENTS AS APPLICABLE, AND SHALL BE MAINTAINED AND REPLACED AS REQUIRED DURING THE CONSTRUCTION MAINTENANCE PERIOD.

ROADWORKS NOTES

- R1. SUBGRADES AND SUB BASES ARE TO BE COMPACTED IN ACCORDANCE WITH COUNCIL'S CONSTRUCTION SPECIFICATION.
- R2. PAVEMENT DEPTH IS SUBJECT TO SOIL TESTS. RESULTS AND DESIGNS SHALL BE SUBMITTED TO COUNCIL FOR APPROVAL PRIOR TO SUBGRADE INSPECTION.
- R3. SUBSOIL DRAINS TO BE PROVIDED ON BOTH SIDES OF ROADS (EXCEPT WHERE THERE IS STORMWATER DRAINAGE) FLOWING POINTS WITH COVERS MAX. 150mm AND MARKED 'SS' ON KERB. A MINIMUM OF 3 METERS OF SUBSOIL DRAINAGE SHALL BE LAD INTO THE UPSTREAM SIDE OF COUNCIL PITS.
- R4. SUBGRADE IN ROCK IS TO BE RIPPED, SCARIFIED, SPREAD AND COMPACTED TO A MINIMUM DEPTH OF 100mm BELOW THE FINISHED SUBGRADE LEVEL.
- R5. WHERE KERB AND GUTTER IS LAD BY THE USE OF A KERB AND GUTTER MACHINE THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE TAKING AND TESTING OF CORE SAMPLES, FORWARDING TEST RESULTS TO COUNCIL, AND REMOVAL OF KERB AND GUTTER. ALL AT HIS OWN EXPENSE, WHERE THE MINIMUM STRENGTH IS NOT ACHIEVED IN ACCORDANCE WITH COUNCIL'S STANDARD SPECIFICATIONS.
- R6. VEHICULAR CROSSINGS SHALL BE ON LOW SIDE OF LOTS OR WHERE SPECIFIED BY COUNCIL'S ENGINEER. DRIVEWAYS / LAYBACKS TO HAVE MINIMUM 1 METER CLEARANCE FROM POWER AND LIGHT POLES, PIT LINTELS AND STORMWATER DRAINS, AND A METRES CLEARANCE FROM KERB RETURN TANGENT POINT. STANDARD RESIDENTIAL VEHICULAR CROSSINGS ARE TO BE 4.0 METRES WIDE AT KERB AND GUTTER.
- R7. 75 X 50mm GALVANISED STEEL KERB OUTLETS TO BE PLACED IN ALL KERB TYPES ON LOW SIDE OF LOTS. PROVIDE SUITABLE ADAPTOR TO ALLOW CONNECTION OF 90mm DIAMETER STORMWATER PIPE.
- R8. UNLESS PERAMBULATOR CROSSINGS ARE TO BE PROVIDED IN ALL KERB RETURN AND WHERE REQUIRED BY COUNCIL, CONTRACTOR TO CONFIRM LOCATION BEFORE THE LAYING OF KERBS.
- R9. SERVICE CONDUITS TO BE PLACED AS DIRECTED BY ALL PUBLIC UTILITY AUTHORITIES INCLUDING INTEGRAL ENERGY, TELSTRA AND SYDNEY WATER. CONDUITS TO BE LAD CLEAR OF VEHICULAR CROSSINGS.
- R10. WATER CONDUITS SHALL BE PROVIDED TO SUIT WATER MAIN LOCATIONS, AND MARKED 'W' ON KERB.
- R11. CONDUITS SHALL BE PROVIDED & LOCATED TO THE SATISFACTION OF INTEGRAL ENERGY, TELSTRA, NBN AND JEMENA 1 TO BE MARKED 'E', 'T' AND 'G' ON KERB AT THE DEVELOPER'S EXPENSE.
- R12. ELECTRICAL CONDUITS TO BE LOCATED BY THE CONTRACTOR. POSITION AND HEIGHT SURVEY INFORMATION TO BE PROVIDED TO ENGAGE/ON ENERGY STANDARDS.
- R13. PROPOSED UTILITIES AND SERVICES CROSSING EXISTING ROADS SHALL BE PROVIDED FOR USING A TRENCHLESS TECHNIQUE SO AS NOT TO DAMAGE THE EXISTING SURFACE. ALL SERVICE CONDUITS UNDER ROADS MUST BE LAD TO A MINIMUM DEPTH OF 750mm.
- R14. CONCRETE FOOTPATH CONSTRUCTION IS TO BE BONDED WITH COUNCIL. PENDING COMPLETION OF UTILITY/SERVICES AND SURROUNDING DWELLINGS.
- R15. ALL TEMPORARY ROADS MUST BE TEMPORARILY SEALED WITH A SINGLE COAT FLUSH SEAL.
- R16. ALL PERMANENT ROADS MUST BE SEALED WITH A SINGLE COAT FLUSH SEAL AND 50mm OF AC TO BE APPLIED IN TWO 25mm THICK LAYERS. THE FINAL AC LAYER IS TO BE AC10 AND IS TO BE BONDED WITH COUNCIL AND PLACED FOLLOWING APPROVAL FROM COUNCIL.
- R17. AT THE COMPLETION OF ROAD WORKS, ALL DRAINAGE PITS CAPTURING SURFACE WATER SHALL BE PROVIDED WITH APPROVED SILT TRAP DEVICES.
- R18. SIGNPOSTING AND LINE MARKING SHALL CONFORM TO AS 1742.2 'TRAFFIC CONTROL DEVICES FOR GENERAL USE: RAISED RETRO-REFLECTIVE PAVEMENT MARKERS TO CONFORM TO AS 1986 'RETRO-REFLECTIVE MATERIALS AND DEVICES FOR ROAD TRAFFIC CONTROL PURPOSES'. ALL ARROWS AND KERB FACE ON CENTRAL ISLANDS OF ROUNDABOUTS AND ALL OTHER ISLANDS TO BE DELINEATED BY REFLECTIVE WHITE MARKING. INSTALLATION SHALL OCCUR IN ACCORDANCE WITH THE PLAN APPROVED BY THE LOCAL TRAFFIC COMMITTEE.
- R19. PROVISION IS TO BE MADE FOR MAINTAINING TRAFFIC FLOW AT ALL TIMES. A TRAFFIC CONTROL PLAN IS TO BE CERTIFIED BY AN ACCREDITED RMS WORK SITE TRAFFIC CONTROL DESIGNER AND SUBMITTED TO COUNCIL. THIS TRAFFIC PLAN MUST THEN BE IMPLEMENTED TO THE SATISFACTION OF AN ACCREDITED RMS WORK SITE TRAFFIC CONTROLLER PRIOR TO COMMENCEMENT OF WORK.
- R20. SUITABLE WARNING SIGNS AND BARRICADES ARE TO BE PROVIDED TO AUSTRALIAN STANDARDS AND AS DIRECTED.
- R21. ALL INTERNAL ROAD NAMES ARE PRELIMINARY AND SHALL BE SUBJECT TO COUNCIL APPROVAL.
- R22. ALL LOT AND HOUSE NUMBERS MUST BE STENCILED ON KERB FACE.
- R23. STREET SIGNS TO COUNCIL STANDARD MUST BE INSTALLED BY THE CONTRACTOR.

STORMWATER NOTES

- S1. ALL PIPES TO BE SPIGOT AND SOCKET, RUBBER RING JOINTED.
- S2. ALL LONGITUDINAL PIPELINES IN ROADS MUST BE LOCATED UNDER KERB AND GUTTER AND BE BACKFILLED WITH APPROVED GRANULAR MATERIAL UNLESS OTHERWISE APPROVED BY THE COUNCIL ENGINEER.
- S3. DRAINAGE LINES MUST BE BACKFILLED WITH APPROVED GRANULAR MATERIAL IN TRAFFICABLE AREAS. THREE (3) METERS OF SUBSOIL DRAINAGE WRAPPED IN GEOTEXTILE STOCKING MUST BE PROVIDED TO ALL DOWNSTREAM PITS.
- S4. ALL PIPELINES ARE TO BE LAD IN TRENCH CONDITIONS (TYPE B BEDDING).
- S5. ALL PROPOSED SITS PITS ARE TO BE CONSTRUCTED IN CONCRETE CAST IN SITS. PLASTIC OR BRICK PITS ARE NOT ACCEPTABLE. COUNCIL MAY CONSIDER PRE-CAST UNITS IF THE UNITS ARE PLACED ON A SOLID BASE OF GRAVEL OR CONCRETE OF 75mm THICK AND BACKFILL UP TO HALF OF THE DEPTH OF THE PIT SURROUND WITH CONCRETE.
- S6. CONDUIT TRENCHES, SUBSOIL DRAINS AND STORMWATER DRAINAGE LINES TO BE BACKFILLED WITH APPROVED GRANULAR MATERIAL FOR BOTH TRAFFICABLE AND NON TRAFFICABLE AREAS. CONDUIT TRENCHES TO BE GRADED AT A MINIMUM OF ONE PERCENT (1%) GRADE TO EITHER SUBSOIL OR STORMWATER DRAINAGE LINES.
- S7. ALL GULLY PITS TO COUNCIL'S STANDARD AND LINTELS CENTRALLY PLACED AT 140 PITS.
- S8. LENGTH OF LINTEL SHOWN INDICATES CLEAR LENGTH OF OPENING.
- S9. ALL PITS MUST BE BENCHED AND STREAMLINED. PROVIDE 50 TO REINFORCEMENT AND GALVANISED STEP IRONS IN ALL PITS OVER 1/2-METRES DEEP AS MEASURED FROM THE TOP OF GRATE TO THE INVERT OF THE PIT.
- S10. CONCRETE IS TO HAVE MINIMUM COMPRESSIVE STRENGTH OF 30MPa AT 28-DAYS UNLESS OTHERWISE APPROVED BY THE COUNCIL ENGINEER.
- S11. ALL INTERALLOTMENT DRAINAGE MUST HAVE A MINIMUM PIPE DIAMETER OF 75mm AND A MINIMUM GRADE OF 1% UNLESS OTHERWISE APPROVED BY THE COUNCIL ENGINEER.
- S12. ALL INTERALLOTMENT DRAINAGE LINES MUST BE LAD CENTRALLY WITHIN DRAINAGE EASEMENTS. INSPECTION PITS MUST BE PROVIDED AT ALL CHANGES OF GRADE AND DIRECTION.
- S13. INTERALLOTMENT DRAINAGE LINES MUST BE INSTALLED AFTER SYDNEY WATER SEWERAGE LINES HAVE BEEN INSTALLED WHERE SEWER IS PROPOSED ADJACENT TO INTERALLOTMENT DRAINAGE LINES.
- S14. ALL PLANS (BOTH DESIGN AND MADE) ARE TO CLEARLY DELINEATE THE EXTENT/LOCATION OF FLOOD LINES INCLUDING THE 5% AEP, 1% AEP AND PPM.
- S15. ADEQUATE PROVISION IS TO BE MADE TO PREVENT SCOURING AND SEDIMENTATION FOR ALL DRAINAGE WORKS IN ACCORDANCE WITH COUNCIL'S REQUIREMENTS.
- S16. PIT LINTELS ARE TO BE STENCILED WITH APPLICABLE DISTINCTION STENCIL AVAILABLE FROM COUNCIL.
- S17. CATCH DRAINS MUST BE CONSTRUCTED AS REQUIRED BY THE APPROVED PLANS OR THE PRINCIPAL CERTIFYING AUTHORITY.
- S18. SOIL AND WATER MANAGEMENT PLANS ARE TO BE PREPARED FOR ALL DISTURBED SITES AND ADHERED TO AT ALL TIMES DURING THE CONSTRUCTION AND MAINTENANCE PERIODS.

LEGEND OF LINES AND SYMBOLS			
DESCRIPTION	EXISTING	PROPOSED	FUTURE
UTILITY - ELECTRICAL			
UTILITY - GAS			
UTILITY - SEWER			
UTILITY - TELEPHONS			
UTILITY - WATER			
UTILITY - NBN			
UTILITY - OPTICAL FIBRE			
UTILITY - DRAINAGE			
CONTOUR LINES & LABEL			
LOT NUMBER & BOUNDARY			
EASEMENT			
LIMIT OF WORKS			
ROAD CENTERLINE & DRAINAGE			
KERB & GUTTER / ROLL TOP KERB			
ROAD PAVEMENT			
FOOTPATH			
BATTER			
TABLE DRAIN			
RETAINING WALL			

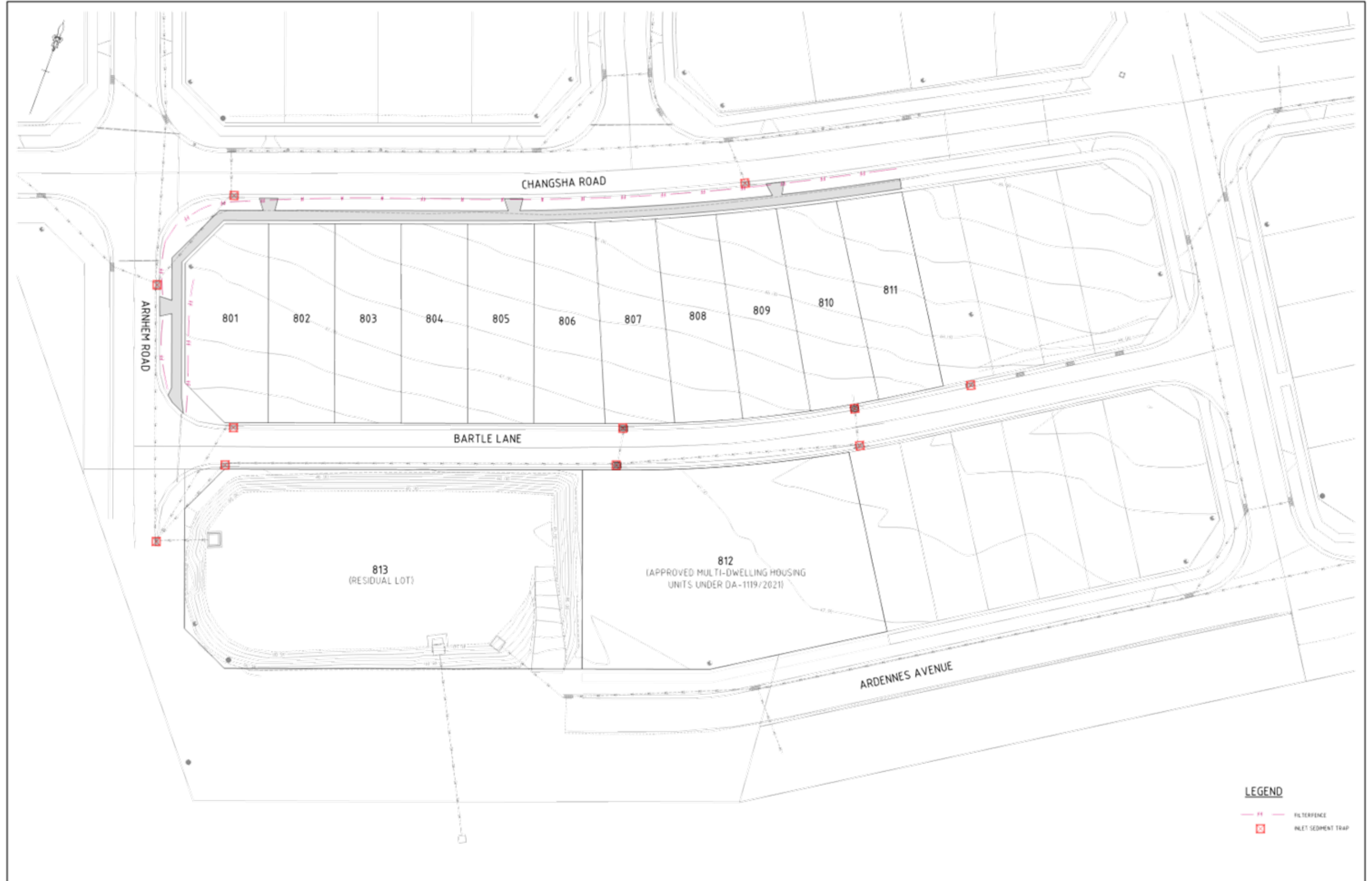
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03	AMENDED FOR COUNCIL RFI	04/12/2024	-	S.D.	-	-	VERTICAL SCALE (1:100):	[REDACTED]	LOT 624 IN A SUBDIVISION OF LOTS 548 IN DP 1219412, 737 & 738 IN DP 1247625	JOHN ATTARD
02	AMENDED TO COUNCIL'S REQUIREMENTS	13/09/2024	-	N.H.	-	-			CHANGSHA ROAD EDMONDSON PARK L.G.A. LIVERPOOL	002
01	AMENDED TO COUNCIL'S REQUIREMENTS	06/08/2024	-	N.H.	-	-				03
00	ORIGINAL ISSUE FOR DA	14/03/2024	D.G.	N.H.	-	-				17390-DA2

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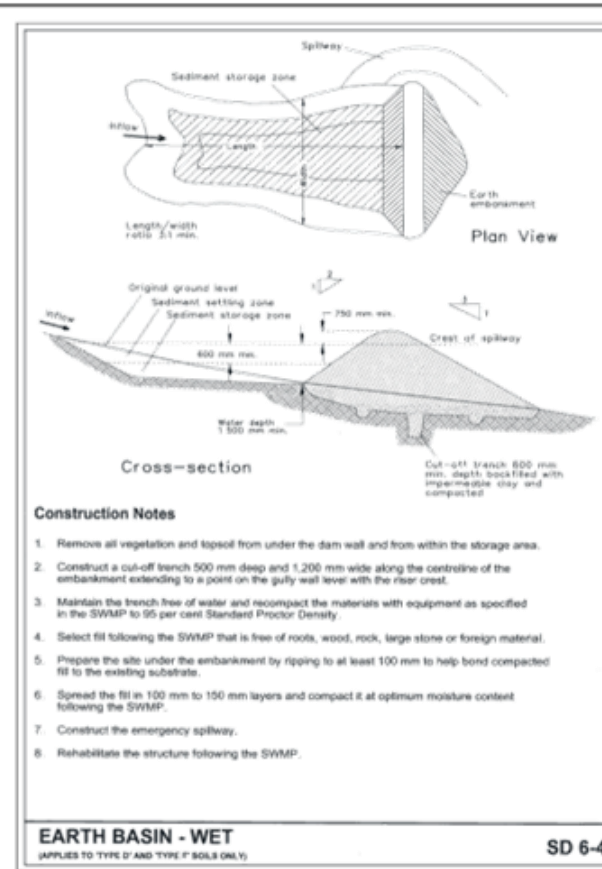
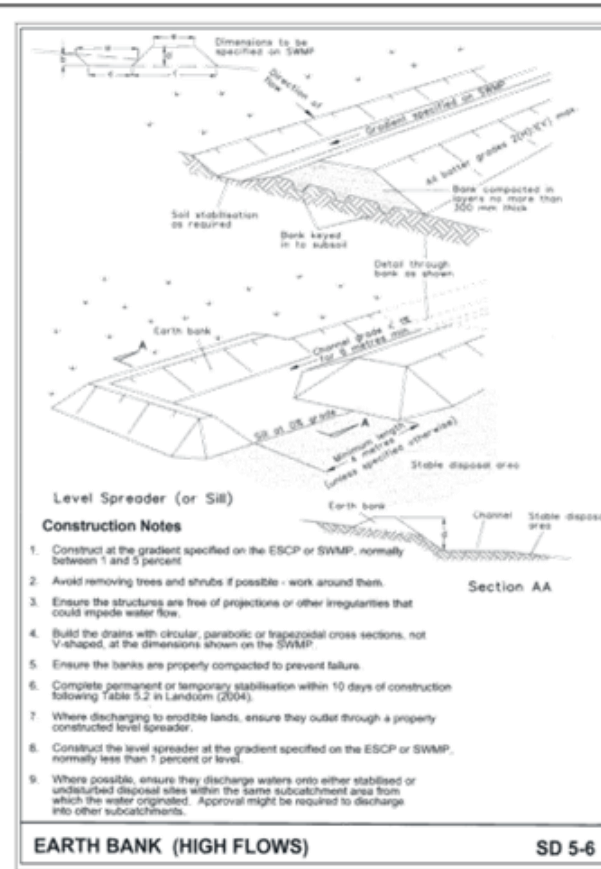
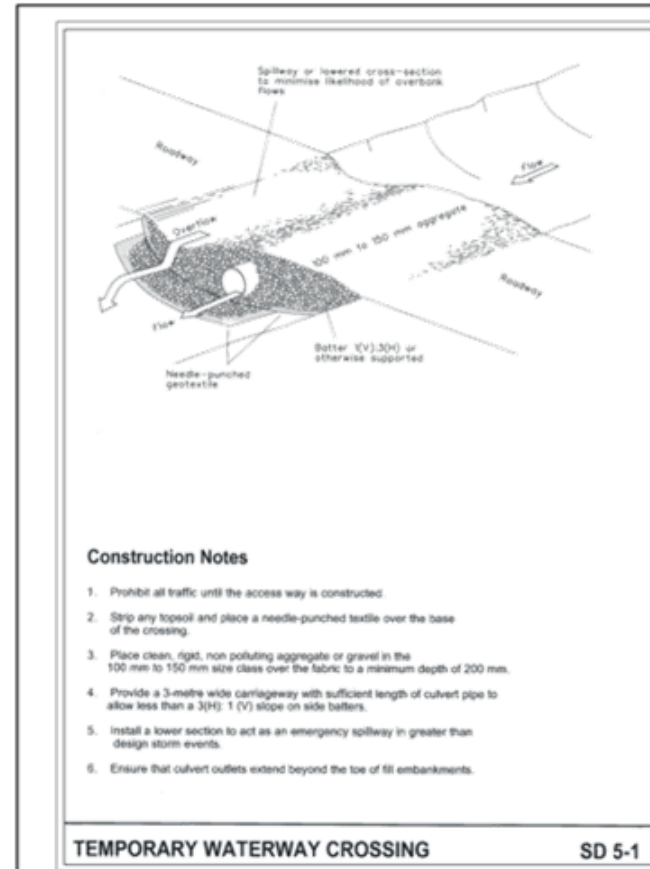




LEGEND

- - - FILTER FENCE
- INLET SEDIMENT TRAP

PLAN REV.	DESCRIPTION	DATE	DESIGN	DRAFT	DESIGN CHECK	DRAFT CHECK	HORIZONTAL SCALE (M@1): 1:250 SCALE 1:250 (A3) VERTICAL SCALE (M@1): - SCALE 1:500 (A3)	CLIENT/PROJECT	SITE	COMPANY	SERVICES	TITLE	PROJECT MANAGER
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02	AMENDED TO COUNCILS REQUIREMENTS	13/09/2024	-	N.H.	-	-						04/12/2024	PLAN
01	AMENDED TO COUNCILS REQUIREMENTS	6/08/2024	-	N.H.	-	-						03	101
00	ORIGINAL ISSUE FOR DA	14/03/2024	D.G.	N.H.	-	-							PROJECT REFERENCE: 17390-DA2



EROSION CONTROL MEASURES

1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION SERVICE OF N.S.W.
2. TOPSOIL FROM ALL AREAS TO BE DISTURBED, SHALL BE STOCKPILED AND LATER REAPPLIED TO AID RE-VEGETATION IN LOCATIONS WHERE SHOWN ON THIS SHEET.
3. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILISED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
4. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL PITS, CONSISTING OF A 300mm WIDE x 300mm DEEP TRENCH FOR PIT LOCATIONS SEE SEDIMENT & EROSION CONTROL PLAN.
5. ALL TAIL-OUT DRAINS SHALL BE GRASSED AND TRAPEZOIDAL IN SECTION. MAY BALES BE PLACED AS A SEDIMENTATION CONTROL DEVICE WHERE REQUIRED.
6. VEHICULAR TRAFFIC SHALL BE CONTROLLED DURING DEVELOPMENT CONFIRMING ACCESS, WHERE POSSIBLE, TO PROPOSED OR EXISTING ROAD ALIGNMENTS. AREAS TO BE LEFT UNDISTURBED SHALL BE MARKED OFF.
7. ROADS SHALL BE PAVED AS EARLY AS POSSIBLE AFTER FORMATION.
8. DISTURBANCE OF VEGETATION SHALL BE LIMITED TO FILL AREAS, ROADWAYS AND DRAINAGE LINES. NO LOT GRADING IN UNDISTURBED AREAS WITHOUT CONSULTATION WITH COUNCILS ENGINEER SHALL BE CARRIED OUT.
9. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
10. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 80% FULL OF SOLID MATERIALS INCLUDING DURING THE MAINTENANCE PERIOD.
11. A MINIMUM 1 METRE WIDE CONTINUOUS STRIP OF TOUGH GRASS SHALL BE PLACED BEHIND THE BACK OF ALL HERBS AND OTHER CONCRETE STRUCTURES IMMEDIATELY AFTER THE COMPLETION OF THE FOOTPATH GRADING OR OTHER ELEMENTS AS APPLICABLE, AND SHALL BE MAINTAINED AND REPLACED AS REQUIRED DURING THE CONSTRUCTION MAINTENANCE PERIOD.
12. PIT GUARDS SHALL BE INSTALLED AROUND DRAINAGE PITS AT THE COMPLETION OF ROAD WORKS.
13. ALL STOCKPILES AREAS AND STOCKPILES TO BE STABILISED WITHIN 14 DAYS.
14. 1 METRE WIDE TURNING AROUND ALL SURFACE INLET PITS.
15. DUST CONTROL MEASURES TO BE IMPLEMENTED WHEN REQUIRED DURING CONSTRUCTION BY USE OF WATER CARTS TO KEEP SOIL MOIST TO MINIMISE THE CREATION OF DUST NUISANCE.

STOCKPILE NOTES

1. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREAS WHERE WATER MAY CONCENTRATE.
2. IF STOCKPILES ARE TO BE IN PLACE FOR LONGER THAN 30 DAYS THEN THEY SHALL BE STABILISED BY COVERING WITH MULCH OR WITH TEMPORARY VEGETATION.
3. FOLLOWING CONSTRUCTION, TOPSOIL SHALL BE REAPPLIED TO A MINIMUM DEPTH OF 100mm ON THE BARE SOIL SURFACES AND REVEGETATE AS SHOWN BELOW.

GRASS SEED SPECIES
WHERE THE AREAS ARE TO BE REVEGETATED PERMANENTLY, THE FOLLOWING GRASS SEED SPECIES SHOULD BE SHOWN AT THE RATES INDICATED:

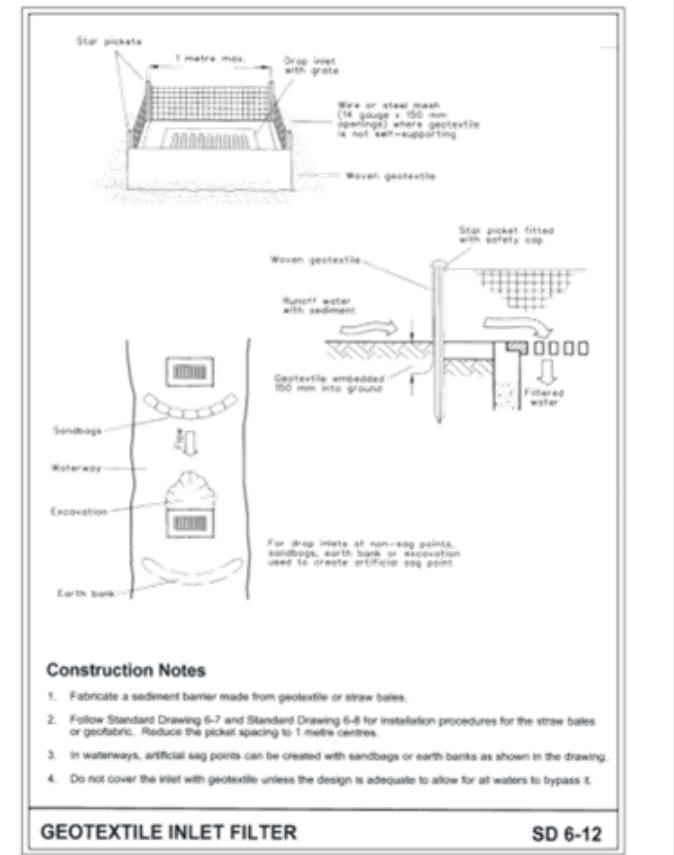
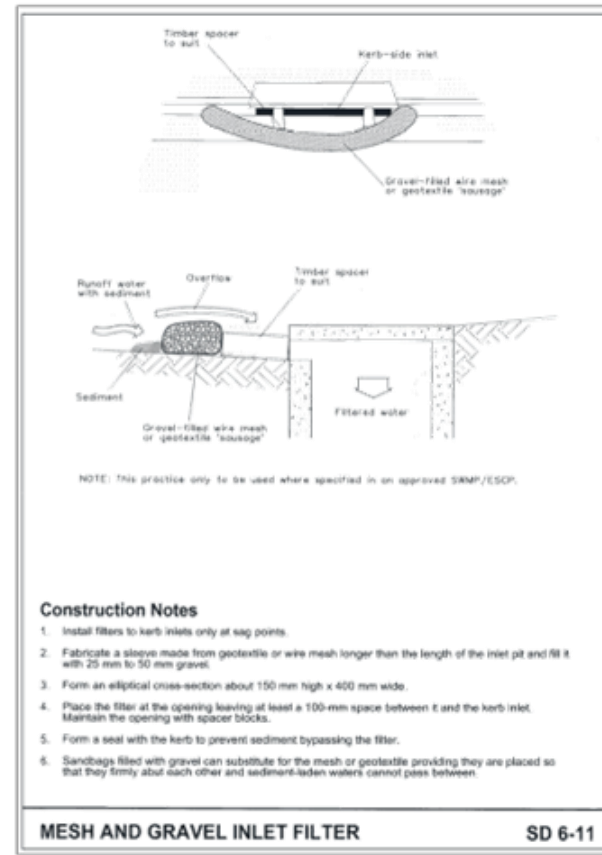
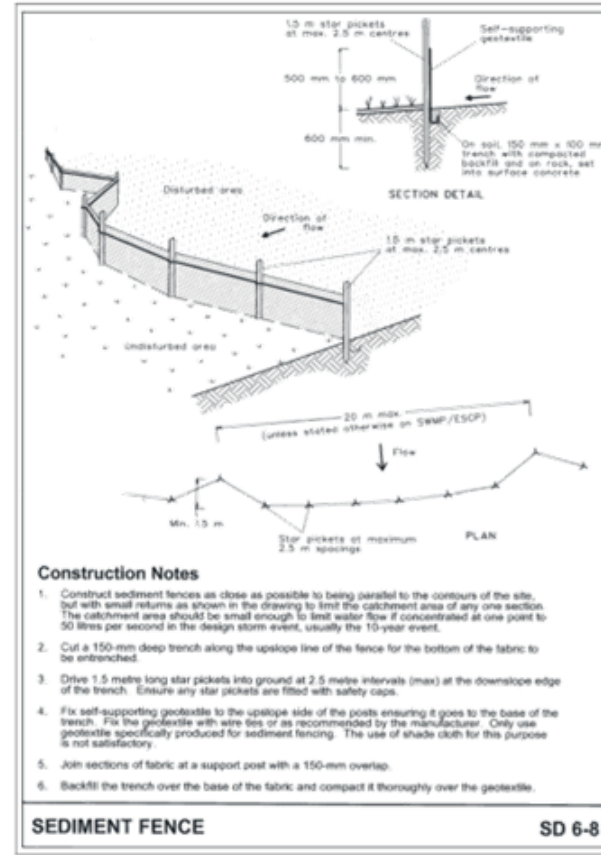
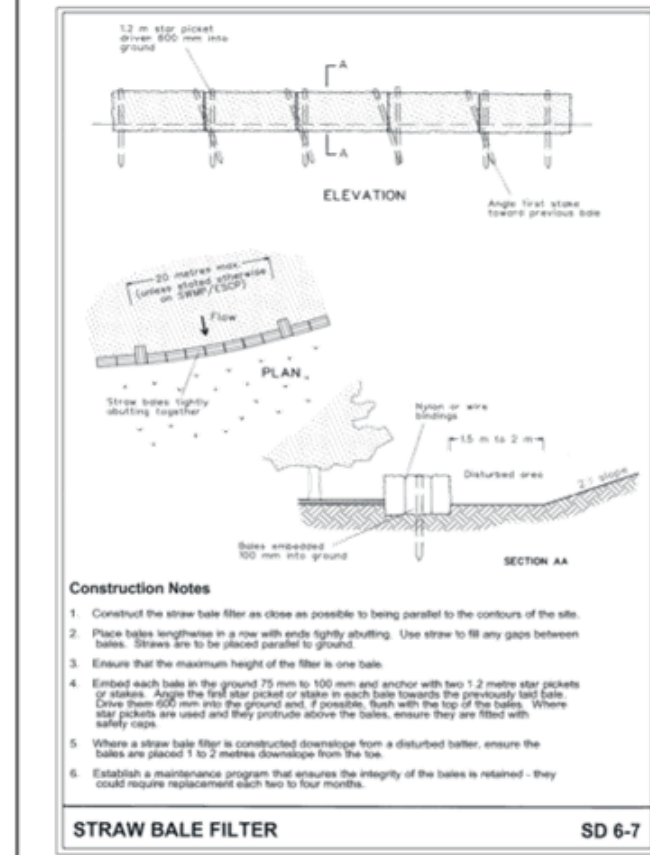
	AUTUMN/WINTER	kg/ha	SPRING/SUMMER	kg/ha
RYE, CORN OR OATS	15		JAPANESE PELLLET	24
SUNHEMRA RYEGRASS	10		WHIMPERA RYEGRASS	8
WHITE CLOVER	5		RED CLOVER	5
RED CLOVER	5		WHITE CLOVER	5
			COUCH	8

IF THE AREAS ARE SOWN IN THE AUTUMN/WINTER PERIOD, IT MAY BE NECESSARY TO OVERSOW IN THE SPRING/SUMMER PERIOD WITH THAT MIXTURE CONTAINING A PERENNIAL GRASS MIXTURE (eg. COUCH). ALSO AT SOWING AN APPROPRIATE FERTILISER SHALL BE APPLIED EVENLY AT A RATE OF 250kg/ha HAVING AN ANALYSIS OF 10.3% NITROGEN, PHOSPHORIC ACID, POTASH COMPOUND.

CONTRACTOR SHALL MAINTAIN GRASS COVER UNTIL ALL WORKS HAVE BEEN COMPLETE INCLUDING THE MAINTENANCE PERIOD, BY FREQUENT WATERING AND MOWING WHERE REQUIRED.

SEDIMENTATION CONTROL DEVICES

1. ALL HAY BALES SHALL BE BOUND WITH WIRE. HAY BALES SHALL BE PLACED END TO END IN A SINGLE ROW AND EMBEDDED INTO THE SOIL TO A DEPTH OF 100mm. EACH BALE SHALL BE SECURELY ANCHORED WITH TWO STEEL STAKES DRIVEN 600mm INTO THE GROUND AND LOCATED ON THE BALE CENTRELINE.
2. A FILTER FENCE SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR SIMILAR) BETWEEN POSTS AT 3m CENTRES - MAXIMUM FABRIC SHALL BE BURIED 200mm ALONG ITS LOWER EDGE.



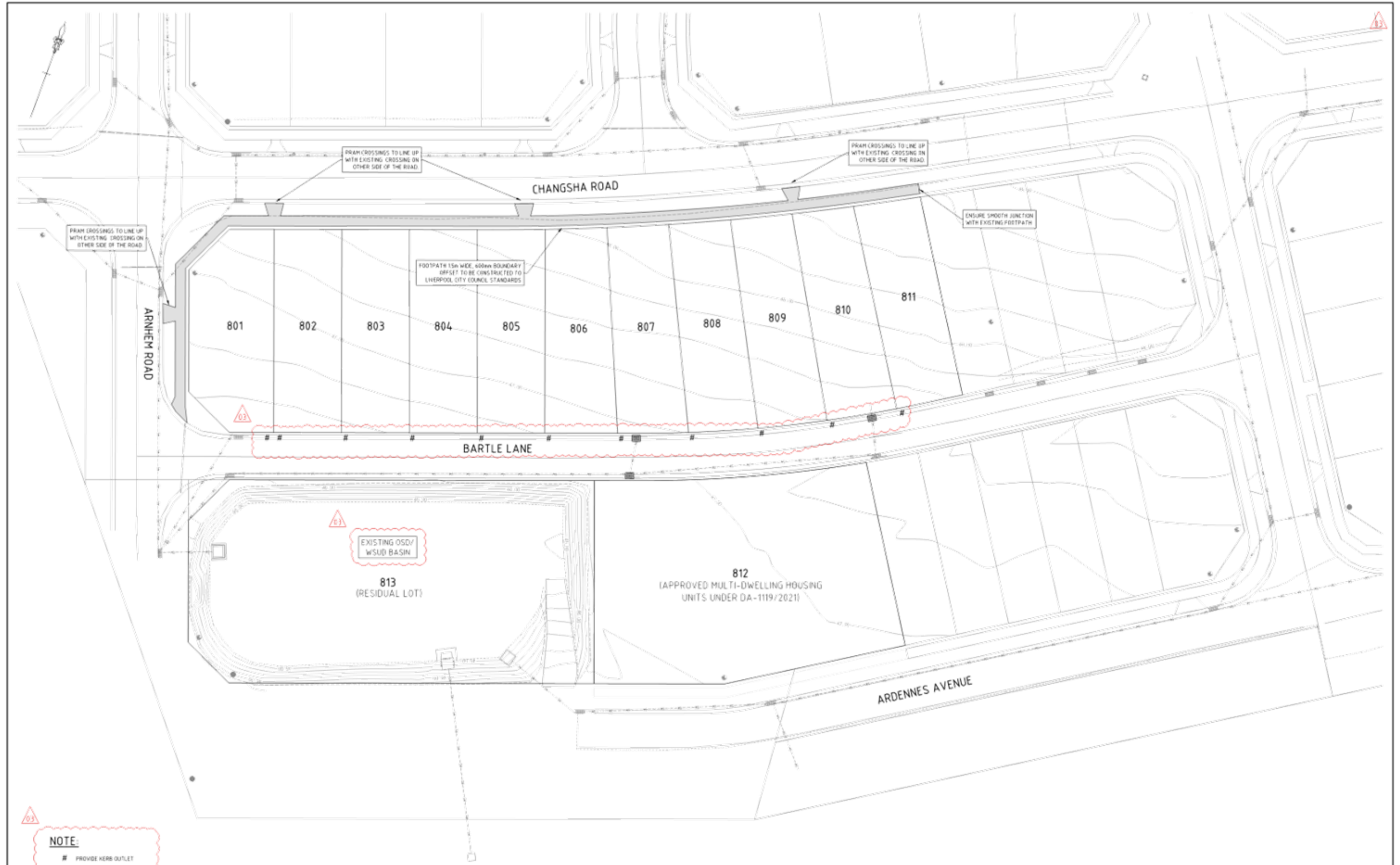
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03	AMENDED FOR COUNCIL RFI	04/12/2024	-	S.D.	-	-
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00	ORIGINAL ISSUE FOR DA	14/03/2024	D.G.	N.H.	-	-

HORIZONTAL SCALE (BAY): 1:500	CLIENT/PROJECT	SITE	TITLE	PROJECT MANAGER
VERTICAL SCALE (BAY): 1:100		LOT 624 IN A SUBDIVISION OF LOTS 548 IN DP 1219412, 737 & 738 IN DP 1247625	SEDIMENT & EROSION CONTROL NOTES	JOHN ATTARD
THIS DRAWING IS SUBJECT TO COPYRIGHT. IT MUST NOT BE REPRODUCED IN WHOLE OR PART WITHOUT PRIOR WRITTEN CONSENT OF NORTH WESTERN SURVEYS PTY. LTD.		EDMONDSON PARK L.G.A. LIVERPOOL		PLAN DATE: 04/12/2024
				PLAN REV: 03
				PROJECT REFERENCE: 17390-DA2

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• SURVEYING
• CIVIL ENGINEERING
• PROJECT MANAGEMENT
• SUPERINTENDENCY
• WATER SERVICES COORDINATION

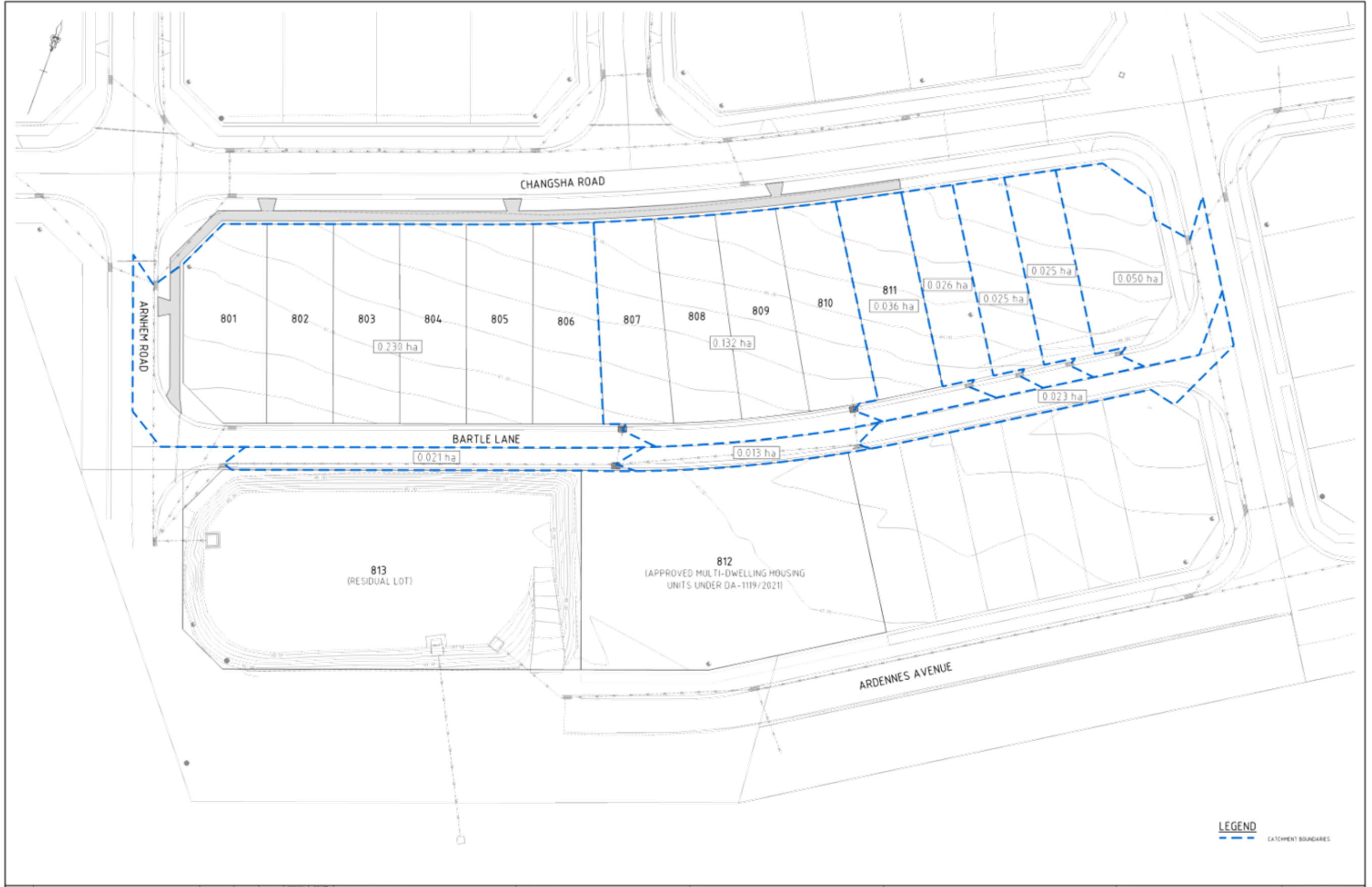
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NOTE:
PROVIDE KERB OUTLET

PLAN REV.	DESCRIPTION	DATE	DESIGN	DRAFT	DESIGN CHECK	DRAFT CHECK
03	AMENDED FOR COUNCIL RFI	04/12/2024	D.G.	S.D.	-	-
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00	ORIGINAL ISSUE FOR DA	14/03/2024	D.G.	N.H.	-	-

HORIZONTAL SCALE (BAY): 1:200 0 5 10 15 20 25 30 35 40 45 50 SCALE 1:500 (A3) VERTICAL SCALE (BAY): - SCALE 1:500 (A3)	CLIENT/PROJECT [REDACTED]	SITE LOT 624 IN A SUBDIVISION OF LOTS 548 IN DP 1219412, 737 & 738 IN DP 1247625 CHANGSHA ROAD EDMONDSON PARK L.G.A. LIVERPOOL	NORTH WESTERN SURVEYS LAND DEVELOPMENT CONSULTANTS PHONE (02) 9831 2040 EMAIL nws@northwesternsurveys.com.au WEBSITE www.northwesternsurveys.com.au	SURVEYING CIVIL ENGINEERING PROJECT MANAGEMENT SUPERINTENDENCY WATER SERVICING COORDINATION	TITLE PLAN OF PROPOSED WORKS	PROJECT MANAGER JOHN ATTARD PLAN DATE 04/12/2024 PLAN REV. 03 PROJECT REFERENCE 17390-DA2
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LANDSCAPE AND PLANTING SPECIFICATION FOR SCREENING TREES

IN ORDER TO ENSURE OPTIMAL SURVIVAL AND GROWTH RATES FOR NEWLY PLANTED TREES, IT IS IMPORTANT THAT PLANTING IS CARRIED OUT IN ACCORDANCE WITH RECOMMENDED HORTICULTURAL PRACTICES. GUIDELINES FOR TREE PLANTING ARE SET OUT BELOW.

PLANTING SEASON - DEPENDING ON THE LEVEL OF CARE AVAILABLE, TREES ARE ONLY TO BE PLANTED BETWEEN MARCH AND NOVEMBER OF EACH YEAR. HOWEVER, CLOSE CONSIDERATION SHOULD BE GIVEN TO THE FOLLOWING POINTS:

- OPTIMUM PLANTING TIME IS SPRING OR EARLY AUTUMN.
- BARE ROOTED DECAIDUOUS SPECIES MAY BE PLANTED IN WINTER.
- PLANTING CLOSER TO SUMMER WILL REQUIRE ADDITIONAL WATERING, THIS ADDING SIGNIFICANTLY TO COSTS.

PLANT MATERIAL - ENSURE ALL PLANTS ARE VIGOROUS, TRUE TO TYPE, WELL ESTABLISHED, HARDENED OFF, OF GOOD FORM, FREE FROM DISEASE AND WITH LARGE HEALTHY ROOT SYSTEMS. TREES SHALL HAVE A SINGLE LEADING SHOOT.

ROOTING BARRIERS - INSTALL ROOT DIRECTORS TO MANUFACTURER'S SPECIFICATIONS, TO PLANTING IN ALL FULL WIDTH CONCRETE/ASPHALT FOOTPATHS AND MAIN STREETS. ROOT DIRECTORS ARE TO BE INSTALLED FOR ALL PLANTINGS ADJACENT TO A ROADSIDE KERB.

SOIL CONDITIONER - "TERRA-GOTEM" OR ITS EQUIVALENT IS TO BE INCORPORATED INTO THE PLANTING MEDIUM WHEN PLANTING.

TOP SOIL - PROVIDE A MINIMUM 200MM FINISHED DEPTH OF TOPSOIL.

PLANTING HOLES - CREATE TREE PLANTING HOLES 15 TIMES THE DIAMETER AND TWICE THE DEPTH OF THE ROOT BALL TO ENCOURAGE DEEP ROOTING OF TREES, TO ENHANCE TREE STABILITY AND TO MINIMISE WATERING DEMANDS.

MULCH - ENSURE PLANTING BEDS AND TREES MAINTAIN A DEPTH OF 75MM OF MULCH AND LEVEL FINISH WITH ADJACENT SURFACES. MULCH TO BE FREE FROM SOIL, ROCKS, PLANT GROWTH INHIBITORS, WEEDS AND EXTRANEOUS MATERIAL. ACCEPTABLE MULCHES INCLUDE: FINEST LITTER OR PINE BARK.

WATERING DISH - CREATE A SMALL DEPRESSION AROUND THE BASE OF ALL SINGLE TREE PLANTINGS TO ACT AS A WATER RESERVOIR.

TURFING - ALL TURF AND GRASSED AREAS TO APPROPRIATE FALLS AND FLUSH WITH ADJACENT SURFACE TREATMENTS. SOIL TO BE CULTIVATED AND SLIGHTLY COMPACTED PRIOR TO REPLACEMENT OF TOP SOIL. TURF TYPE TO BE RECOGNISED AS BUFFALO.

STAKING - SECURE TREE LOOSELY TO STAKES WITH FLEXIBLE MATERIAL, PREFERABLY HESSIAN TIE OR ITS EQUIVALENT (MINIMUM 25MM WOOD) WOUND IN "FIGURE 8" FASHION.

- RESIDENTIAL AREAS: 2 HARDWOOD STAKES 50 X 50 X 1800MM TO BE INSTALLED.
- COMMERCIAL AREAS: 2 HARDWOOD STAKES 50 X 50 X 2400MM TO BE INSTALLED.
- LARGER SPECIES INSTALLATIONS SHOULD REQUIRE NO STAKING.
- STAKING IS TO BE REMOVED AFTER 12 MONTHS OR EARLIER IF THE TREES HAVE ESTABLISHED WELL ENOUGH.

ROOT CONTROL GUIDELINES - LISTED BELOW ARE A NUMBER OF GUIDELINES WHICH CAN BE IMPLEMENTED TO PREVENT NEW TREE PLANTINGS CAUSING DAMAGE IN THE FUTURE AND PREVENT EXISTING TREES FROM DOING DAMAGE.

- PROVIDE AMPLE GROWING SPACE FOR ROOT SYSTEMS, KEEPING TREES AND STRUCTURES WELL APART.
- PREPARE LARGE, WELL AERATED PLANTING HOLES OR STRIPS WITH DRAINAGE PROVIDED IF APPROPRIATE.
- INSTALL ROOT BARRIERS PARALLEL TO KERBS AND FOOTPATHS WHERE NEW TREES ARE TO BE PLANTED IN NARROW FOOTPATHS. THESE PHYSICAL BARRIERS DEFLECT ROOT GROWTH DOWNWARD AND THUS MINIMISE DAMAGE TO NEARBY STRUCTURES.
- INSTALL LINEAR ROOT BARRIERS PARALLEL TO KERBS AND FOOTPATHS WHERE EXISTING TREES ARE PRESENT TO DEFLECT ROOT GROWTH DOWNWARD AND THUS MINIMISE DAMAGE TO NEARBY STRUCTURES.
- CONTAIN THE ROOTS OF THE TREE WITHIN A GIVEN AREA WHILE STILL PROVIDING FOR ITS GROWTH REQUIREMENTS. THIS CAN BE ACHIEVED BY PROVIDING A LARGER PLANTING HOLE TO ENCOURAGE ROOTS TO FORAGE FOR WATER AND NUTRIENTS AT A LOWER LEVEL.
- WHERE APPROPRIATE, CONSTRUCT ROOT RESISTANT PAVEMENTS, FOUNDATIONS AND PIPES.

INSPECTIONS, PRACTICAL COMPLETION AND MAINTENANCE SPECIFICATIONS FOR OPEN SPACE

A REPRESENTATIVE FROM COUNCIL'S PARK AND TREE MAINTENANCE UNIT TO INSPECT INSTALLATION OF TREES AT TIME OF PLANTING, TO ENSURE CORRECT PROCEDURES RELATED TO ROOT BARRIERS, PLANT SPECIES, TOP SOIL AND PLANTING DEPTH AND WIDTH. RETURN OF BOND WILL DEPEND ON THIS INSPECTION.

TREE TO BE PLANTED AS THE FINAL STAGE OF SUBDIVISION.

COUNCIL'S P&T UNIT TO RECEIVE WRITTEN REQUEST 10 DAYS PRIOR TO TREE PLANTING SCHEDULED DATE.

COUNCIL TO RECEIVE PRACTICAL COMPLETION INSPECTION REQUEST (OR LINEN RELEASE REQUEST) ONE MONTH IN ADVANCE IN WRITING AND REQUEST FOR HANDOVER INSPECTION TWO MONTHS IN ADVANCE, IN WRITING.

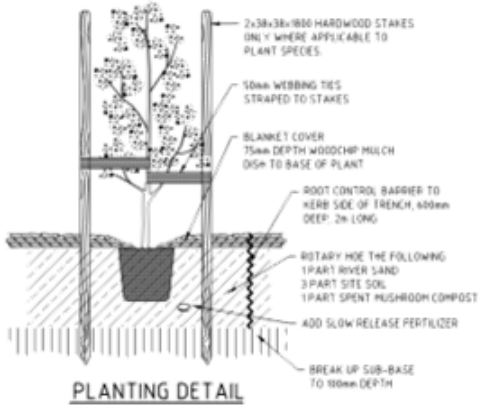
UNACCEPTABLE OR FAILED PLANTING WILL REQUIRE TREE REPLACEMENT AND A FURTHER 12 MONTH MAINTENANCE BOND. FAILURE OF PLANT ESTABLISHMENT AFTER SECOND MAINTENANCE PERIOD, COUNCIL WILL EXERCISE TREE BOND CONDITIONS.

NOTES:

- WIDTH AND POSITION OF PATH PAVING TO BE IN ACCORDANCE WITH COUNCIL'S STANDARDS AND SUBJECT TO CONFIRMATION BY COUNCIL'S ENGINEERING.
- ENSURE PATH PAVING ARRANGEMENT AROUND KERB RETURNS IS IN ACCORDANCE WITH COUNCIL STANDARDS.
- EDGING IS TO BE PROVIDED AROUND STREET TREE PITS.
- PERMANENT SIGNS TO BE INSTALLED IN ACCORDANCE WITH AS 1743.
- ENSURE ALL VEHICULAR CROSSING AND LAYBACKS ARE A MINIMUM 1 METRE CLEAR OF POWER AND LIGHT POLES, STORMWATER PITS (INCLUDING LINTELS) AND ARE 6 METRES CLEAR OF KERB RETURN TANGENT POINTS.
- VEHICULAR CROSSING LOCATIONS ARE TO DEMONSTRATE ACCESS INTO EACH LOT ONLY.
- VEHICULAR CROSSING TO BE 10m FROM SIDE BOUNDARY.
- VEHICULAR CROSSING TO BE 3.0m WIDE AT FRONT BOUNDARY.
- VEHICULAR CROSSING TO BE 4.0m WIDE AT KERB.

LEGEND:

- PROPOSED TREE LOCATION
- AN APPROVED ROOT BARRIER TREATMENT IS TO BE INSTALLED WITH STREET TREES TO PREVENT DAMAGE TO CIVIL ASSETS.



PLANTING SCHEDULE		
ROAD	TREE TYPE	QUANTITY
ARNHEM ROAD	LAGERSTROEMIA INDICA (CREPE MYRTLE)	2
CHANGSHA ROAD	LAGERSTROEMIA INDICA (CREPE MYRTLE)	15

SUBJECT TO SEPARATE COUNCIL APPROVAL

<table border="1"> <thead> <tr> <th>PLAN REV.</th> <th>DESCRIPTION</th> <th>DATE</th> <th>DESIGN</th> <th>DRAFT</th> <th>DESIGN CHECK</th> <th>DRAFT CHECK</th> </tr> </thead> <tbody> <tr> <td>03</td> <td>AMENDED FOR COUNCIL RFI</td> <td>04/12/2024</td> <td>-</td> <td>S.D.</td> <td>-</td> <td>-</td> </tr> <tr> <td>02</td> <td>AMENDED TO COUNCILS REQUIREMENTS</td> <td>13/09/2024</td> <td>-</td> <td>N.H.</td> <td>-</td> <td>-</td> </tr> <tr> <td>01</td> <td>AMENDED TO COUNCILS REQUIREMENTS</td> <td>6/08/2024</td> <td>-</td> <td>N.H.</td> <td>-</td> <td>-</td> </tr> <tr> <td>00</td> <td>ORIGINAL ISSUE FOR DA</td> <td>14/03/2024</td> <td>D.G.</td> <td>N.H.</td> <td>-</td> <td>-</td> </tr> </tbody> </table>	PLAN REV.	DESCRIPTION	DATE	DESIGN	DRAFT	DESIGN CHECK	DRAFT CHECK	03	AMENDED FOR COUNCIL RFI	04/12/2024	-	S.D.	-	-	02	AMENDED TO COUNCILS REQUIREMENTS	13/09/2024	-	N.H.	-	-	01	AMENDED TO COUNCILS REQUIREMENTS	6/08/2024	-	N.H.	-	-	00	ORIGINAL ISSUE FOR DA	14/03/2024	D.G.	N.H.	-	-	<p>HORIZONTAL SCALE (BAY): 1:250 0 2.5 5 7.5 10 12.5 15 17.5 20 22.5 25 SCALE 1:250 (A3)</p> <p>VERTICAL SCALE (BAY): -</p> <p>THIS DRAWING IS SUBJECT TO COPYRIGHT. IT MUST NOT BE REPRODUCED IN WHOLE OR PART WITHOUT PRIOR WRITTEN CONSENT OF NORTH WESTERN SURVEYS Pty. Ltd.</p>	<p>CLIENT/PROJECT</p> <p>LOT 624 IN A SUBDIVISION OF LOTS 548 IN DP 1219412, 737 & 738 IN DP 1247625 CHANGSHA ROAD EDMONDSON PARK L.G.A. LIVERPOOL</p>	<p>LAND DEVELOPMENT CONSULTANTS</p> <p>PHONE: (02) 9831 2040 EMAIL: nws@northwesternsurveys.com.au WEBSITE: www.northwesternsurveys.com.au</p>	<p>TITLE</p> <p>LANDSCAPING PLAN</p>	<p>PROJECT MANAGER</p> <p>JOHN ATTARD</p> <p>PLAN DATE</p> <p>04/12/2024</p> <p>PLAN REV.</p> <p>03</p> <p>PROJECT REFERENCE</p> <p>17390-DA2</p>
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6 December 2024

The General Manager
Liverpool City Council
PO Box 14
Petersham NSW 2049

Attention: Assessing Officer

Dear Sir/Madam,

RE: CLAUSE 4.6 TO VARY DWELLING DENSITY
LOT 738 DP 1247625, LOT 548 DP 1219412, LOT 737 DP 1247625, 61 CHANGSHA ROAD,
EDMONDSON PARK NSW 2174, LOT 548, CHANGSHA ROAD, EDMONDSON PARK NSW 2174, 157
ARDENNES AVENUE, EDMONDSON PARK NSW 2174

The Applicant seeks to put forward the position that the surrounding road network and residual lot are excluded from the calculation of dwelling density and thus the proposal complies with the minimum dwelling density prescribed for the site.

Dwelling density is defined under Clause 7.11 of the Liverpool Local Environmental Plan (LLEP08) as follows:

***dwelling density** means the ratio of the land to be occupied by the development, including internal streets and half the width of any roads adjoining the development that provide vehicular access to the development but excluding land used for public open space and non-residential purposes.*

In interpreting the definition above, the Applicant puts forward the following points:

- Based on data sourced from SIX Maps and the updated Survey Plan prepared by North Western Surveys, the road network surrounding the proposed area of subdivision (Changsha Road, Bartle Lane and Arnhem Road) have been separated from the lots of the proposed development. Therefore, the area of these roads does not need to be factored in calculations of the minimum dwelling density for the site.
- The residual lot (identified as Lot 813) has been excluded from the calculation of site density as it is currently used as a temporary detention basin and cannot be further subdivided until the remainder of ArdenNES Avenue and drainage infrastructure is constructed. As such, Lot 813 represents land used for non-residential purposes.
- Considering the above, the total area of land to be occupied by the development equates to 4,610m². Based on the LLEP08 density control of 28 dwellings per hectare, the minimum number of dwellings required is 12.9 (rounded up to 13).

Nevertheless, should the Consent Authority take the view that the existing roads and residual lot are to be included in the calculation of dwelling density, then the Applicant makes the attached written request to vary the standard.

**CLAUSE 4.6 VARIATION TO CLAUSE 7.11 MINIMUM DWELLING DENSITY OF THE
LIVERPOOL LOCAL ENVIRONMENTAL PLAN 2008****Lot 548 Changsha Road, Edmondson Park****1. Introduction**

This submission seeks a variation to **Clause 7.11** of the Liverpool Local Environmental Plan 2008 (LLEP08) relating to the dwelling density development standard. It has been prepared in relation to a development application for the proposed Torrens Title subdivision of the northern block of Lot 548 Changsha Road, Edmondson Park into eleven (11) lots with associated site works. The southern block of the site, which currently contains a multi-dwelling housing development and residual lot, will be retained as per DA-1119/2021. As such, the proposal will technically result in a total of thirteen (13) lots across the northern and southern blocks.

As detailed in this written request to vary the dwelling density development standard, the proposed development meets the requirements prescribed under Clause 4.6 of the LLEP08.

2. Site Background

The subject site is commonly known as Changsha Road, Edmondson Park and is legally defined as Lot 548 in DP1219412 and Lots 737 and 738 in DP1247625. The subject site is separated into two blocks of land. The northern block is located on the southern side of Changsha Road, the northern side of Bartle Lane and the eastern side of Arnhem Road. The southern block is located on the northern side of Ardennes Avenue, southern side of Bartle Lane and the eastern side of Arnhem Road. The site provides for an overall site area of approximately 7,600m². Figure 1 illustrates the subject site within its immediate context.

The subject site is currently vacant with no built form or significant vegetation currently located within the boundaries of the site. As shown in Figure 1, the immediate locality is currently undergoing development and a transition to general residential building forms, with the approved development representative of this desired future character.

The subject site is well serviced by public green open space with Ardennes Park 750m to the north-east; Lillian Bratkovic Park 800m to the north-west of the site and; Clermont Park 2.5km west of the site. These spaces offer ample active and passive recreational opportunities within the community.

The site is in proximity to a variety of businesses and services. Ed Square Shopping Centre is located to the south-west of the site and provides a number of businesses, services and leisure activities within a single commercial complex. Additionally, Crossroads Homemaker Centre is located to the north-east of the subject site. These major commercial centres provide a range and economic and employment opportunities.

The site is also adequately serviced by public transport with regular bus services operating along Bernera Road (1.5km north-west of subject site) providing services towards Liverpool, Prestons and Ingleburn. Edmondson Park Train Station is a 1.6km walk from the subject site. The subject site is therefore within an accessible area that is capable of linking the subject site to a more expansive public transport network, nearby suburbs, amenities and services.

The site is zoned R1 General Residential.



Figure 1: Aerial view of site (Source: <https://maps.six.nsw.gov.au/>)

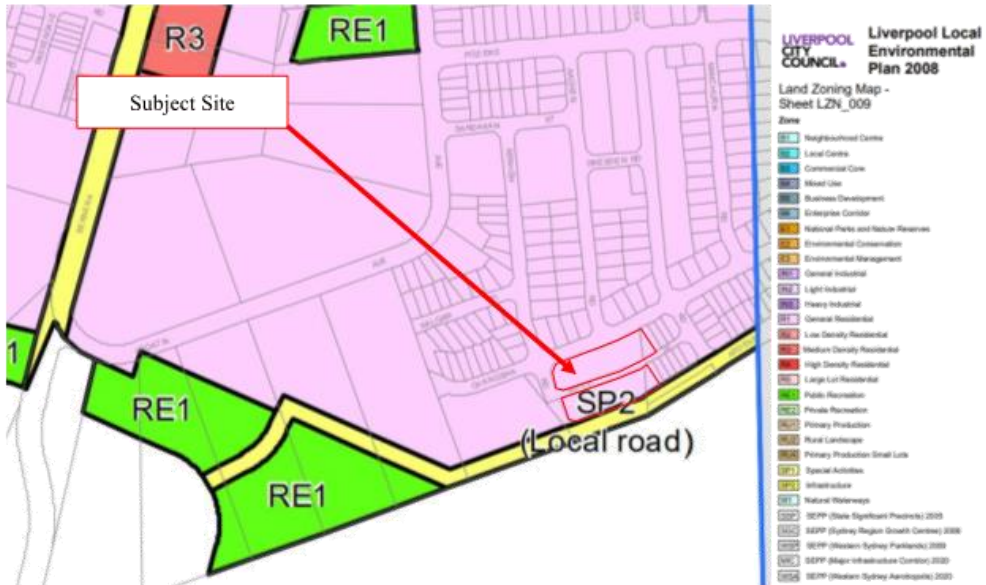


Figure 2: Zoning Map (Source: NSW Legislation)

3. Clause 4.6

This submission is made under *Clause 4.6 Exceptions to development standards*. Clause 4.6 permits the contravention and flexibility of a development standard imposed by the Liverpool Local Environmental Plan 2008 (or any other environmental planning instrument). Specifically, Clause 4.6 of the LLEP08 states the following:

"4.6 Exceptions to development standards

- (1) *The objectives of this clause are as follows-*
 - (a) *to provide an appropriate degree of flexibility in applying certain development standards to particular development,*
 - (b) *to achieve better outcomes for and from development by allowing flexibility in particular circumstances.*
- (2) *Development consent may, subject to this clause, be granted for development even though the development would contravene a development standard imposed by this or any other environmental planning instrument. However, this clause does not apply to a development standard that is expressly excluded from the operation of this clause.*
- (2) *Development consent must not be granted for development that contravenes a development standard unless the consent authority is satisfied the applicant has demonstrated that-*
 - (a) *compliance with the development standard is unreasonable or unnecessary in the circumstances, and*
 - (b) *there are sufficient environmental planning grounds to justify the contravention of the development standard.*
- (4) *The consent authority must keep a record of its assessment carried out under subclause (3).*
- (5) *(Repealed)*
- (6) *Development consent must not be granted under this clause for a subdivision of land in Zone RU1 Primary Production, Zone RU2 Rural Landscape, Zone RU3 Forestry, Zone RU4 Primary Production Small Lots, Zone RU6 Transition, Zone R5 Large Lot Residential, Zone C2 Environmental Conservation, Zone C3 Environmental Management or Zone C4 Environmental Living if-*
 - (a) *the subdivision will result in 2 or more lots of less than the minimum area specified for such lots by a development standard, or*
 - (b) *the subdivision will result in at least one lot that is less than 90% of the minimum area specified for such a lot by a development standard.*
- (7) *(Repealed)*
- (8) *This clause does not allow development consent to be granted for development that would contravene any of the following-*
 - (a) *a development standard for complying development,*
 - (b) *a development standard that arises, under the regulations under the Act, in connection with a commitment set out in a BASIX certificate for a building to which State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004 applies or for the land on which such a building is situated,*
 - (c) *clause 5.4,*
 - (caa) *clause 5.5,*
 - (ca) *clause 6.5, 6.6, 7.5A, 7.22, 7.23, 7.24, 7.25, 7.26, 7.26A, 7.27, 7.28, 7.29 or 7.30."*

The use of Clause 4.6 to enable an exception to this development control is appropriate in this instance and the consent authority may be satisfied that all requirements of Clause 4.6 have been satisfied in

terms of the merits of the proposed development and the contents of this Clause 4.6 variation request report.

Clause 4.6 Exceptions to development standards establishes the framework for varying development standards applying under a local environmental plan. Subclause 4.6(3)(a) and 4.6(3)(b) requires that a consent authority must not grant consent to a development that contravenes a development standard unless a written request has been received from the applicant that seeks to justify the contravention of the standard by demonstrating that:

4.6(3)(a) compliance with the development standard is unreasonable or unnecessary in the circumstances of the case, and

4.6(3)(b) there are sufficient environmental planning grounds to justify contravention of the development standard.

This submission has been prepared having regard to the following guideline judgements:

- *Winten Property Group Limited v North Sydney Council [2001] NSWLEC 46;*
- *Wehbe v Pittwater Council [2007] NSWLEC 827;*
- *Four2Five Pty Ltd v Ashfield Council [2015] NSWLEC 1009 (Four2Five No 1)*
- *Four2Five Pty Ltd v Ashfield Council [2015] NSWLEC 90 (Four2Five No 2)*
- *Four2Five Pty Ltd v Ashfield Council [2015] NSWCA 248 (Four2Five No 3)*
- *Micaul Holdings Pty v Randwick City Council [2015] NSWLEC 1386;*
- *Randwick City Council v Micaul Holdings Pty Ltd [2016] NSWLEC 7; and*
- *Initial Action Pty Ltd v Woollahra Municipal Council [2018] NSWLEC 118.*

The development standard imposed by the Liverpool Local Environmental Plan 2008 to which this variation relates to is **Clause 7.11 – Minimum dwelling density**, which reads as follows:

- (1) *The objectives of this Plan for the control of dwelling densities are as follows—*
- (a) *to contribute toward the efficient use of land resources,*
 - (b) *to ensure the viability of public transport and other services planned for the area,*
 - (c) *to ensure adequate funds for the recreation and community facilities planned for the area.*
- (2) *Development consent must not be granted for the subdivision of land shown on the Dwelling Density Map unless the consent authority is satisfied that the dwelling density likely to be achieved by the subdivision is not less than the dwelling density shown for the land on that Map.*
- (3) *In this clause-*
dwelling density *means the ratio of the number of dwellings to the area of the land to be occupied by the development, including internal streets and half the width of any roads adjoining the development that provide vehicular access to the development but excluding land used for public open space and non-residential purposes.*

As demonstrated in Figure 3, the subject site is mapped "28". Therefore, under Clause 7.11(2) and the development area of 7157.1m² (based on Council's calculations), the land is ultimately subject to a minimum dwelling density of 20.04 dwellings (rounded up to 21).

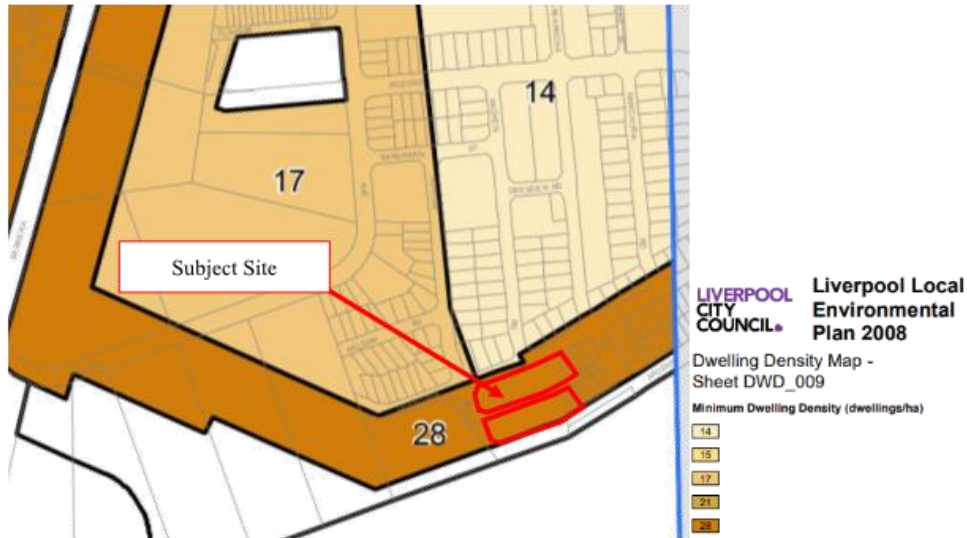


Figure 3: Dwelling Density Map (Source: NSW Legislation)

4. Extent of Non-Compliance

As noted above, Clause 7.11 of the LLEP08 states the subject site has a minimum dwelling density of 28 dwellings a hectare. Based on the development area of 7157.1m² (based on Council's calculations), the land is ultimately subject to a minimum dwelling density of 20.04 dwellings (rounded up to 21).

The proposed development seeks to create eleven (11) Torrens Title lots within the northern block of the site that are each capable of accommodating a single dwelling. Additionally, the approved six (6) multi-dwelling houses within the southern block will be retained. Overall, a minimum of seventeen (17) dwellings are able to be accommodated within the land to be occupied by the development.

- Standard: 20.04 dwellings
- Proposed: 17 dwellings
- Variation: 3.04 dwellings (15.2%)

Written justification is therefore required for the proposed variation to the minimum dwelling density development standard, in accordance with Clause 4.6 of the LLEP08.

The variation sought is as a result of the inability to subdivide residual Lot 813 until the remainder of Ardennes Avenue and drainage infrastructure is constructed. Based on a minimum subdivision lot size of 300m², Lot 813 is capable of being subdivided into at least five (5) Torrens Title lots. If these potential lots are included in the overall dwelling density, a total of twenty-two (22) dwellings are able to be accommodated within the developable area, thereby achieving the minimum dwelling density prescribed for the site.

5. Is Compliance with the Development Standard Unreasonable or Unnecessary in the Circumstances of the Case?

The proposed variation from the development standard is assessed against the required tests in Clause 4.6. In addition, in addressing the requirements of Clause 4.6(3), the accepted five possible approaches

for determining whether compliances are unnecessary or unreasonable established by the NSW Land and Environment Court in *Wehbe vs Pittwater Council (2007) LEC 827* are considered.

In the matter of Four2Five, the Commissioner stated within the judgement the following, in reference to a variation:

"...the case law developed in relation to the application of SEPP 1 may be of assistance in applying Clause 4.6. While Wehbe concerned an objection under SEPP 1, in my view the analysis is equally applicable to a variation under Clause 4.6 where Clause 4.6 (3)(a) uses the same language as Clause 6 of SEPP 1."

In the decision of *Wehbe vs Pittwater Council (2007) LEC 827*, Preston CJ summarised the five (5) different ways in which an objection under SEPP 1 has been well founded and that approval of the objection may be consistent with the aims of the policy. The five possible ways are as set out below:

First (applicable)	<i>The most commonly invoked way is to establish that compliance with the development standards is unreasonable or unnecessary because the objectives of the development standard are achieved notwithstanding non-compliance with the standard.</i> <i>The rationale is that development standards are not ends in themselves but means of achieving ends. The ends are environmental or planning objectives. If the proposed development proffers an alternative means of achieving the objective, strict compliance with the standard would be unnecessary and unreasonable.</i>
Second (N/A)	<i>A second way is to establish that the underlying objective or purpose is not relevant to the development with the consequence that compliance is unnecessary.</i>
Third (N/A)	<i>A third way is to establish that the underlying objective or purpose would be defeated or thwarted if compliance was required with the consequence that compliance is unreasonable.</i>
Fourth (N/A)	<i>A fourth way is to establish that the development standard has been virtually abandoned or destroyed by the Council's own actions in granting consents departing from the standard and hence compliance with the standard is unnecessary and unreasonable.</i>
Fifth (N/A)	<i>A fifth way is to establish that "the zoning of particular land" was "unreasonable or inappropriate" so that "a development standard appropriate for that zoning was also unreasonable or unnecessary as it applied to that land" and that "compliance with the standard in that case would also be unreasonable or unnecessary.</i>

In respect of the **minimum dwelling density** development standard, the **first** method is invoked.

The objectives supporting the minimum dwelling density identified in Clause 7.11 are discussed below. Consistency with the objectives and the absence of any environmental impacts, would demonstrate that strict compliance with the standards would be both unreasonable and unnecessary in this instance.

The discussion provided below demonstrates how the proposal is consistent with the objectives of Clause 7.11.

- "(1) The objectives of this Plan for the control of dwelling densities are as follows-*
- (a) to contribute toward the efficient use of land resources,*
 - (b) to ensure the viability of public transport and other services planned for the area,*
 - (c) to ensure adequate funds for the recreation and community facilities planned for the area.*

Objective

- (a) to contribute toward the efficient use of land resources,*

Comment

The proposed subdivision represents an efficient use of land resources. The area of the proposed subdivision represents one of the last vacant blocks along Changsha Road and Ardennes Avenue that have yet to be developed into residential built form. As such, the proposed subdivision will result in the creation of additional dwelling entitlements that will enable the construction of new residential dwellings on the site, reflective of the emerging and desired future residential character of the area.

While a variation to the minimum dwelling density development standard is proposed as part of the subdivision application before Council, it is important to consider that this variation is as a result of the inability to subdivide residual Lot 813 until the remainder of Ardennes Avenue and drainage infrastructure is constructed. Based on a minimum subdivision lot size of 300m², Lot 813 is capable of being subdivided into at least five (5) Torrens Title lots. If these potential lots are included in the overall dwelling density, a total of twenty-two (22) dwellings are able to be accommodated within the developable area, thereby achieving the minimum dwelling density prescribed for the site.

Therefore, it is concluded that the proposed subdivision represents an efficient use of land resources.

Objective

(b) to ensure the viability of public transport and other services planned for the area,

Comment

The proposed subdivision has no bearing on public transport and other services within Edmondson Park. The majority of the required road network and infrastructure to support the new residential development have already been provided to the area.

Nevertheless, the site is readily accessible with regular bus services operating along Bernera Road (1.5km north-west of subject site) providing services towards Liverpool, Prestons and Ingleburn. Additionally, Edmondson Park Train Station is a 1.6km walk from the subject site.

Objective

(c) to ensure adequate funds for the recreation and community facilities planned for the area.

Comments

No recreation or community facilities are proposed as part of the subdivision application. However, the proposed variation to the minimum dwelling density will not result in any funding issues for the provision and maintenance of recreation and community facilities for the area. This is demonstrated by the fact that the subject site is capable of accommodating the minimum required number of dwellings once the remainder of Ardennes Avenue and drainage infrastructure is constructed. Residual lot 813 is capable of being subdivided into at least five (5) Torrens Title lots, resulting in the accommodation of at least twenty-two (22) dwellings within the developable area, satisfying the minimum dwelling density requirement for the site.

In view of the above, it is submitted that the proposal is consistent with the objectives of Clause 7.11 of the LLEP08.

It is considered that this submission, in that the objectives of the standards are met, provides sufficient environmental planning grounds to justify contravening the development standard.

6. Are There Sufficient Environmental Planning Grounds?

The assessment above and shown throughout the supporting documentation demonstrates that the resultant environmental impacts of the proposal will be satisfactory.

The key environmental grounds are:

- The non-compliance to the minimum dwelling density arises as a result of the inability to subdivide residual Lot 813 until the remainder of Ardenne Avenue and drainage infrastructure is constructed.
 - Lot 813 is proposed to act as a temporary detention basin until the required drainage infrastructure has been constructed downstream on Council owned land.
 - Based on a minimum subdivision lot size of 300m², Lot 813 is capable of being subdivided into at least five (5) Torrens Title lots. If these potential lots are included in the overall dwelling density, a total of twenty-two (22) dwellings are able to be accommodated within the developable area, thereby achieving the minimum dwelling density prescribed for the site.
 - It is considered that as the road network surrounding the proposed area of subdivision (Changsha Road, Bartle Lane and Arnhem Road) has already been separated from the lots of the proposed development, the area of these roads should not need to be factored in calculations of the minimum dwelling density for the site. Nevertheless, the site remains capable of accommodating the minimum number of dwellings prescribed for the site under clause 7.11 of the LLEP08.
- Solely factoring in the area of the site which can currently be developed for residential purposes (4,610m²), the minimum number of dwellings required to meet the LLEP08 dwelling density control would be 12.9 dwellings (rounded up to 13). The proposed eleven (11) Torrens Title lots, which are each capable of accommodating a single dwelling, and the retention of the approved six (6) multi-dwelling houses on the southern block, result in a total of seventeen (17) dwellings within the developable area of the site.

The proposal adequately addresses the site constraints, streetscape, and relevant objectives of dwelling density standard. The proposal will not result in any unreasonable amenity or environmental impacts.

Furthermore, it is important to also consider the objectives of the R1 General Residential zone in relation to the development, which are as follows:

R1 General Residential zone

Objectives of zone

- *To provide for the housing needs of the community.*
- *To provide for a variety of housing types and densities.*
- *To enable other land uses that provide facilities or services to meet the day to day needs of residents.*
- *To ensure the housing densities are broadly concentrated in locations accessible to public transport, employment, services and facilities.*

In response to the above the following is provided:

- The proposed development will result in the retention of the approved multi-dwelling houses on the southern block and the creation of eleven (11) lots on the northern block that will allow for the construction of dwelling houses to meet the housing needs of the community.
- The proposal seeks to retain the approved multi-dwelling houses on the southern block, ensuring a variety of the housing types and densities are provided in the locality.
- No other land uses are proposed.
- The site is readily accessible with regular bus services operating along Bernera Road (1.5km north-west of subject site) providing services towards Liverpool, Prestons and Ingleburn. Edmondson Park Train Station is a 1.6km walk from the subject site.

These destinations provide numerous public and private educational, commercial and recreational facilities and amenities.

- The proposal includes the construction of a pedestrian footpath and street trees, assisting in the creation of a public domain that will encourage pedestrian activities.

The proposed variation to the dwelling density does not impact on the capacity of the development to meet the above objectives. In view of the above, it is submitted that the proposed development is consistent with the objectives of the zone, and it is considered that this submission provides sufficient environmental planning grounds to justify contravening the development standard, noting the development will ultimately be in the public interest.

In this case, strict compliance with the dwelling density development standard of the LLEP08 is unnecessary and unreasonable, given the required number of dwellings can be accommodated on the site once the remainder of Ardennes Avenue and drainage infrastructure is constructed.

7. Is the Variation Well Founded?

It is considered that this has been adequately addressed throughout this written submission. In summary, this Clause 4.6 Variation is well founded as required by Clause 4.6 of the LLEP08 in that:

- Compliance with the development standards would be unreasonable and unnecessary in the circumstances of the development;
- There are sufficient environmental planning grounds to justify the departure from the standards;
- The development meets the objectives of the standard to be varied (**dwelling density**) and objectives of the R1 General Residential zoning of the land;
- The proposed development is in the public interest and there is no public benefit in maintaining the standard;
- The breach does not raise any matter of State of Regional Significance; and
- The development submitted aligns with the existing and future character envisioned for the locality.

Based on the above, the variation is considered to be well-founded.

8. General

Clause 4.6 also states that:

- “(6) Development consent must not be granted under this clause for a subdivision of land in Zone RU1 Primary Production, Zone RU2 Rural Landscape, Zone RU3 Forestry, Zone RU4 Primary Production Small Lots, Zone RU6 Transition, Zone R5 Large Lot Residential, Zone C2 Environmental Conservation, Zone C3 Environmental Management or Zone C4 Environmental Living if:*
- (a) the subdivision will result in 2 or more lots of less than the minimum area specified for such lots by a development standard, or*
 - (b) the subdivision will result in at least one lot that is less than 90% of the minimum area specified for such a lot by a development standard.*
- (7) (Repealed)*
- (8) This clause does not allow development consent to be granted for development that would contravene any of the following:*

- (a) a development standard for complying development,
 (b) a development standard that arises, under the regulations under the Act, in connection with a commitment set out in a BASIX certificate for a building to which State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004 applies or for the land on which such a building is situated,
 (c) clause 5.4,
 (caa) clause 5.5
 (ca) clause 6.5, 6.6, 7.5A, 7.22, 7.23, 7.24, 7.25, 7.26, 7.26A, 7.27, 7.28, 7.29 or 7.30."

- This variation does not relate to the subdivision of land in a land use zone nominated above. The variation sought is thus not contrary to subclause (6).
- Should the exception to the development standard sought under this submission be supported by Council, the Council must retain a record of the assessment of this submission.
- The development proposed is not complying development.
- A BASIX certificate has been submitted under separate cover.
- Clauses 5.4, 5.5, 6.5, 6.6, 7.5A, 7.22, 7.23, 7.24, 7.25, 7.26, 7.26A, 7.27, 7.28, 7.29 and 7.30 of the LLEP08 do not apply to the proposal.

9. Conclusion

The proposal does not strictly comply with the minimum dwelling density standard as prescribed by Clause 7.11 of the LLEP08. Having evaluated the likely effects arising from this non-compliance, the objectives of Clause 4.6 of the LLEP08 are satisfied as the breach of the controls does not create any adverse environmental impacts. The required number of dwellings can be accommodated on the site once the remainder of Ardennes Avenue and drainage infrastructure is constructed.

Consequently, strict compliance with this development standard is unreasonable and unnecessary and that the use of Clause 4.6 of the LLEP08 to vary this development control is appropriate in the context of the case.

Based on the above, it is sensible to conclude that strict compliance with the minimum dwelling density is not necessary and that a better outcome is achieved for this development by allowing flexibility in the application.

Should you have any questions regarding the proposed development, please do not hesitate to contact me.

Kind regards,



Roberto Bianco
Town Planner
GAT & Associates
Plan 4890

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General Conditions

1. (A002) Approved plans and supporting documentation				
Development must be carried out in accordance with the following approved plans and documents, except where the conditions of this consent expressly require otherwise.				
Approved plans				
Plan number	Revision number	Plan title	Drawn by	Date of plan
17390/208-DA	02	Plan of Proposed Subdivision	North Western Surveys	13/09/2024
17390-DA2	03	Landscaping Plan	North Western Surveys	04/12/2024
Approved documents				
Document title	Reference	Prepared by	Date of document	
Bushfire Assessment and Recommendations	100B-531	Sydney Bushfire Consultants	5 October 2024	
In the event of any inconsistency with the approved plans and a condition of this consent, the condition prevails.				
Condition reason: To ensure all parties are aware of the approved plans and supporting documentation that applies to the development.				
2. (A015) General Terms of Approval				
All General Terms of Approval and/or requirements issued by external agencies, shall be complied with prior, during, and at the completion of construction, as specified in accordance with the requirements as follows:				
<ul style="list-style-type: none"> • NSW Rural Fire Service dated 19 February 2025; • Sydney Water dated 19 November 2024; and • Endeavour Energy dated 6 November 2024; 				
A copy of these GTAs/ requirements are able to be downloaded from the NSW Planning Portal.				
Condition reason: To ensure General Terms of Approvals are fulfilled in accordance with the relevant agency requirements.				
3. (A025) Comply with EP&A Act				
The requirements and provisions of the Environmental Planning & Assessment Act 1979 and Environmental Planning & Assessment Regulation 2021, must be fully complied with at all times.				
Failure to comply with these legislative requirements is an offence and may result in the commencement of legal proceedings, issuing of 'on-the-spot' penalty infringements or service of a notice and order by Council.				
Condition reason: This condition is imposed to ensure compliance with legislative requirements.				
4. (A032) Shoring and adequacy of adjoining property				
1. This section applies to a development consent for development that involves excavation that extends below the level of the base of the footings of a building, structure or work on adjoining land, including a structure or work in a road or rail corridor.				
2. It is a condition of the development consent that the person having the benefit of the development consent must, at the person's own expense—				
<ol style="list-style-type: none"> 1. protect and support the building, structure or work on adjoining land from possible damage from the excavation, and 2. if necessary, underpin the building, structure or work on adjoining land to prevent damage from the excavation. 				
3. This section does not apply if—				
<ol style="list-style-type: none"> 1. the person having the benefit of the development consent owns the adjoining land, or 				

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	2. the owner of the adjoining land gives written consent to the condition not applying.
	Condition reason: Prescribed condition under section 74 of the Environmental Planning and Assessment Regulation 2021.
5.	(A050) Works at no cost to Council
	All roadworks, drainage works and dedications, required to effect the consented development shall be undertaken at no cost to Liverpool City Council.
	Condition reason: To ensure fairness, transparency and probity.
6.	(A060) Erection of signs
	1. This section applies to a development consent for development involving building work, subdivision work or demolition work.
	2. It is a condition of the development consent that a sign must be erected in a prominent position on a site on which building work, subdivision work or demolition work is being carried out—
	1. showing the name, address and telephone number of the principal certifier for the work, and
	2. showing the name of the principal contractor, if any, for the building work and a telephone number on which the principal contractor may be contacted outside working hours, and
	3. stating that unauthorised entry to the work site is prohibited.
	3. The sign must be—
	1. maintained while the building work, subdivision work or demolition work is being carried out, and
	2. removed when the work has been completed.
	4. This section does not apply in relation to—
	1. building work, subdivision work or demolition work carried out inside an existing building, if the work does not affect the external walls of the building, or
	2. Crown building work certified to comply with the Building Code of Australia under the Act, Part 6.
	Condition reason: Prescribed condition under section 70 of the Environmental Planning and Assessment Regulation 2021.
7.	(A130) Council Wastewater Requirements
	The development must provide for a physical sewerage connection to each created allotment to enable the method of sewage disposal by gravity reticulation mains to either, Sydney Water branch and trunk sewers or Sydney Water point of treatment. Liverpool City Council will not accept any temporary facilities to service the site, including pump-out sewage systems.
	Condition reason: To promote orderly development supported by adequate infrastructure.

Subdivision Work Before Issue of a Subdivision Work Certificate

8.	(B054) Retaining Walls on Boundary
	All retaining walls shall be of masonry construction and must be wholly within the property boundary, including footings and agricultural drainage lines. Construction of retaining walls or associated drainage works along common boundaries shall not compromise the structural integrity of any existing structures.
	Where a retaining wall exceeds 600mm in height, the wall shall be designed by a practicing structural engineer and a construction certificate must be obtained prior to commencement of works on the retaining wall.
	Condition reason: To ensure fairness, transparency and probity.
9.	(B055) S138 Roads Act - roadworks requiring approval of civil drawings
	Prior to the issue of a Subdivision Works Certificate, the Certifying Authority shall ensure that a S138 Roads Act application, including the payment of application and inspection fees, has been lodged with Liverpool City Council (being the Roads Authority under the Roads Act), for provision of
	<ul style="list-style-type: none"> • 1.5m wide footpath and pram ramps in Changsha Road and Arnhem Road.

	<p style="text-align: center;">Without prejudice draft conditions</p> <ul style="list-style-type: none"> • Construction of kerb outlets in front of each Lot aligned with the boundary pits of each Lot. • Plantation of Street Trees in Changsha Road and Arnhem Road. <p>Engineering plans are to be prepared in accordance with the development consent, Liverpool City Council's Design Guidelines and Construction Specification for Civil Works, Austroad Guidelines and best engineering practice.</p> <p>Note: Where Liverpool City Council is the Certifying Authority for the development the Roads Act approval for the above works may be issued concurrently with the Construction Certificate.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
10.	<p>(B075) Fee Payments</p> <p>Unless otherwise prescribed by this consent, all relevant fees or charges must be paid. Where Council does not collect these payments, copies of receipts must be provided. The following fees are applicable and payable:</p> <ol style="list-style-type: none"> Damage Inspection Fee – relevant where the cost of building work is \$20,000 or more, or a swimming pool is to be excavated by machinery. Fee associated with Application for Permit to Carry Out Work Within a Road, Park and Drainage Reserve. <p>These fees are reviewed annually and will be calculated accordingly.</p> <p>Condition reason: To ensure statutory or associated fees are paid prior to construction commencing.</p>
11.	<p>(B081) Site Development Work</p> <p>Site development work in the form of excavation, underpinning or shoring works must not take place, until such time as a Subdivision Works Certificate has been issued.</p> <p>Condition reason: To prevent unauthorised commencement of building works.</p>
12.	<p>(B095) Long Service Levy</p> <p>Before the issue of a Subdivision Works Certificate, the long service levy must be paid to the Long Service Corporation, under the Building and Construction industry Long Service Payments Act 1986, section 34, and evidence of the payment is to be provided to the certifier</p> <p>Condition reason: To ensure the long service levy is paid.</p>
13.	<p>(B112) Notification</p> <p>In the event that Council is not the Principal Certifier (PC), the PC must advise Council, in writing of:</p> <ol style="list-style-type: none"> The name and contractor licence number of the licensee who has contracted to do or intends to do the work, or The name and permit of the owner-builder who intends to do the work. <p>If these arrangements are changed, or if a contact is entered into for the work to be done by a different licensee, Council must be immediately informed.</p> <p>Condition reason: To advise Council of the details of licensed contractors or owner-builder for the approved development.</p>
14.	<p>(B125) Erosion and sediment control plan</p> <p>Before the issue of a Subdivision Works Certificate, an erosion and sediment control plan must be prepared by a suitably qualified person in accordance with the following documents and provided to the certifier:</p> <ol style="list-style-type: none"> Council's relevant development control plan, the guidelines set out in 'Managing Urban Stormwater: Soils and Construction' prepared by Landcom (the Blue Book) (as amended from time to time), and the 'Do it Right On-Site, Soil and Water Management for the Construction Industry' (Southern Sydney Regional Organisation of Councils and the Natural Heritage Trust) (as amended from time to time). <p>Condition reason: To ensure no substance other than rainwater enters the stormwater system and</p>

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	waterways.
15.	<p>(B135) Provision of Services - Sydney Water</p> <p>Prior to the issue of a Subdivision Works Certificate, an application to obtain a Section 73 Compliance Certificate under the Sydney Water Act 1994, is to be lodged with Sydney Water. To facilitate this, an application must be made through an authorised Water Servicing Coordinator. Please refer to the "building and developing" section of Sydney Water's web site at www.sydneywater.com.au, or telephone 13 20 92.</p> <p>Following receipt of the application, a 'Notice of Requirements' will detail water and sewer extensions to be built and charges to be paid. Please make early contact with the Coordinator, since building of water/sewer extensions can be time consuming and may impact on other services and building, driveway or landscape design. A copy of the 'Notice of Requirements' must be submitted to the PCA, prior to the issue of a Subdivision Works Certificate.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
16.	<p>(B136) Provision of Services - Endeavour Energy</p> <p>Prior to the issue of a Subdivision Works Certificate, a written clearance from Endeavour Energy, stating that electrical services have been made available to the development or that arrangements have been entered into for the provision of services to the development must be submitted to the Principal Certifier.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
17.	<p>(B137) Provision of Services - Telecommunications</p> <p>Prior to the issue of a Subdivision Works Certificate, the Principal Certifier shall be satisfied that telecommunications infrastructure may be installed to service the premises which complies with the following requirements of the Telecommunications Act 1997:</p> <ol style="list-style-type: none"> 1. For a fibre ready facility, the NBN Co's standard specifications current at the time of installation, and 2. For a line that is to connect a lot to telecommunications infrastructure external to the premises, the line shall be located underground. <p>Unless otherwise stipulated by telecommunications legislation at the time of construction, the development must be provided with all necessary pits and pipes, and conduits to accommodate the future connection of optic fibre technology telecommunications.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
18.	<p>(B149) S138 Roads Act - Minor Works in the public road</p> <p>Prior to the issue of a Subdivision Works Certificate, a Section 138 Roads Act application/s, including payment of fees, shall be lodged with Liverpool City Council, as the Roads Authority for any works required in a public road. These works may include but are not limited to:</p> <ol style="list-style-type: none"> (a) Vehicular crossings (including kerb reinstatement of redundant vehicular crossings), (b) Road opening for utilities and stormwater (including stormwater connection to Council infrastructure), or (c) Road occupancy or road closures. <p>All works shall be carried out in accordance with the Roads Act approval, the development consent including the stamped approved plans, and Liverpool City Council's specifications.</p> <p>Note: Approvals may also be required from the Transport for NSW for classified roads.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
19.	<p>(B168) Subdivision Works Certificate</p> <p>Prior to the issue of a Subdivision Works Certificate the Certifying Authority shall ensure that engineering plans are consistent with the stamped approved concept plan/s prepared by North Western Surveys, reference number 17390-DA2, revision 3, dated 04/12/2024 and that all subdivision works have been designed in accordance with conditions of this consent, Liverpool City Council's Design Guidelines and Construction Specification for Civil Works, any Roads Act approval issued, Austroad</p>

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Guidelines and best engineering practice.

The subdivision works may include but are not limited to the following:

- (a) Public and private roads
- (b) Stormwater drainage including water quantity and quality treatment measures
- (c) Interallotment drainage
- (d) Private access driveways
- (e) Sediment and erosion control measures
- (f) Overland flowpaths
- (g) Flood control measures
- (h) Traffic facilities including roundabouts, intersection treatments, car parks, bus stops, cycleways, pathways etc.
- (i) Earthworks
- (j) Bridges, culverts, retaining walls and other structures
- (k) Landscaping and embellishment works
- (l) All works required for conversion of the proposed sediment basin to a bio retention function
- (m) All works required for the decommissioning temporary OSD systems including pipe removal, basin filling and works to existing pit structures if required

The Subdivision Work Certificate must be supported by engineering plans, calculations, specifications and any certification relied upon.

Condition reason: To ensure fairness, transparency and probity.

20. **(B322) Inter-allotment Drainage**

Inter-allotment drainage shall be provided for all lots that are unable to be drained by gravity to the street system. Inter-allotment drainage is to be constructed with a pit located immediately within the lot boundary of each lot created by the subdivision at the lowest point in the line or a maximum pit spacing of 40m.

Condition reason: To ensure fairness, transparency and probity.

21. **(B360) Construction Environmental Management Plan (CEMP)**

Prior to issue of a Subdivision Work Certificate, a Construction Environmental Management Plan (CEMP) for the development must be submitted to the certifier. The environmental site management measures must remain in place and be maintained throughout the period of the development. The CEMP must address all environmental aspects of the development's construction phases, and include (where relevant), but not be limited to, the following:

1. Asbestos Management Plan;
2. Project Contact Information;
3. Site Security Details;
4. Timing and Sequencing Information;
5. Site Soil and Water Management Plan;
6. Noise and Vibration Control Plan;
7. Dust Control Plan;
8. Air Monitoring;
9. Odour Control Plan;
10. Health and Safety Plan;
11. Waste Management Plan;
12. Incident management Contingency; and
13. Unexpected Finds Protocol.

The CEMP must be kept on site for the duration of the works and must be made available to Council Officers upon request

Condition reason: To require details of measures that will protect the public, and the surrounding environment, during site works and construction.

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22.	<p>(B361) Construction Site Management Plan</p> <p>Before the issue of a Subdivision Works Certificate, a construction Site Management Plan must be prepared, and provided to the certifier. The plan must include the following matters:</p> <ol style="list-style-type: none"> 1. The location and materials for protective fencing and hoardings on the perimeter of the site; 2. Provisions for public safety; 3. Pedestrian and vehicular site access points and construction activity zones; 4. Details of construction traffic management including: <ol style="list-style-type: none"> i. Proposed truck movements to and from the site; ii. Estimated frequency of truck movements; and iii. Measures to ensure pedestrian safety near the site; 5. Details of bulk earthworks to be carried out; 6. The location of site storage areas and sheds; 7. The equipment used to carry out works; 8. The location of a garbage container with a tight-fitting lid; 9. Dust, noise and vibration control measures; 10. The location of temporary toilets; 11. The protective measures for the preservation of trees on-site and in adjoining public areas including measures in accordance with: <ol style="list-style-type: none"> i. AS 4970 – Protection of trees on development sites; ii. An applicable Development Control Plan; iii. An arborist's report approved as part of this consent
	<p>A copy of the construction Site Management Plan must be kept on-site at all times while work is being carried out.</p>
	<p>Condition reason: To require details of measures that will protect the public, and the surrounding environment, during site works and construction.</p>
23.	<p>(B408) Access, Car Parking and Manoeuvring - General</p> <p>The Certifying Authority shall ensure and certify that vehicular access, circulation, manoeuvring, pedestrian and parking areas associated with the subject development have been designed and are in accordance with AS 2890.1, AS2890.2, AS2890.6 and Council's Development Control Plan. The Certifier is also to ensure that applicant delivers the public footpath 1.5m wide along Changsha Road and Arnhem Road frontage complying with the DCP.</p>
	<p>Condition reason: To ensure that the design of the facilities is in accordance with the required specifications.</p>
24.	<p>(B453) No Loading on Easements</p> <p>Prior to the issue of a Construction Certificate the Certifying Authority shall ensure that the foundations of proposed structures adjoining the drainage and/ or services easement have been designed clear of the zone of influence.</p>
	<p>Condition reason: To ensure fairness, transparency and probity.</p>
25.	<p>(B454) Stormwater Concept Plan</p> <p>A stormwater drainage system shall be provided generally in accordance with the concept plan/s lodged for development approval, prepared by (North Western Surveys), reference number (17390-DA2), revision (3), dated (4/12/2024).</p> <ol style="list-style-type: none"> (a) The proposed development and stormwater drainage system shall be designed to ensure that stormwater runoff from upstream properties is conveyed through the site without adverse impact on the development or adjoining properties. (b) Engineering plans and supporting calculations for the stormwater drainage system are to be prepared by a suitably qualified engineer and shall accompany the application for a Construction

	<p style="text-align: center;">Without prejudice draft conditions</p> <p>Certificate. The plan shall indicate the method of disposal of all stormwater and must include rainwater tanks, existing ground levels, finish surface levels and sizes of all pipes.</p> <p>(c) Prior to the issue of a Construction Certificate the Certifying Authority shall ensure that the stormwater drainage system has been designed in accordance with Liverpool City Council's Design Guidelines and Construction Specification for Civil Works.</p>
	<p>Condition reason: To ensure fairness, transparency and probity.</p>
26.	<p>(B462) Water Quality</p> <p>Prior to the issue of a Subdivision Work Certificate, the Certifying Authority shall ensure that details of a stormwater pre-treatment system have been provided on the stormwater plans and that the design meets pollutant retention criteria in accordance Council's Development Control Plan.</p> <p>The Subdivision Work Certificate must be supported by:</p> <p>(a) Specification & installation details of the stormwater pre-treatment system</p> <p>(b) The approval of an operation and maintenance manual/ schedule for the stormwater pre-treatment system</p> <p>A copy of the approved operation and maintenance manual/ schedule shall be submitted to Liverpool City Council with notification of the Subdivision Work Certificate issue.</p>
	<p>Condition reason: To ensure fairness, transparency and probity.</p>
27.	<p>(B532) Waste Management Plan requirements</p> <p>Before the issue of a Subdivision Work Certificate, a waste management plan for the development must be prepared and provided to the principal certifier. The plan must be prepared in accordance with</p> <ol style="list-style-type: none"> 1. the Environment Protection Authority's Waste Classification Guidelines as in force from time to time; and 2. a development control plan that provides for waste management that applies to the land on which the work or the clearing of vegetation is carried out; and 3. include the following information - <ul style="list-style-type: none"> • the contact details of the person removing waste; • an estimate of the type and quantity of waste; • whether waste is expected to be reused, recycled or sent to landfill; • the address of the disposal location for waste. <p>A copy of the waste management plan must be kept on-site at all times while work approved under the development consent is being carried out.</p>
	<p>Condition reason: To ensure resource recovery is promoted and local amenity protected during construction.</p>
28.	<p>(B555) Detailed Design Drawings</p> <p>The applicant is to undertake detailed design of traffic facilities, signs and linemarking in the existing and/or proposed public domain.</p> <p>The plans should include, but not be limited to:</p> <ul style="list-style-type: none"> - the proposed public footpath 1.5m wide along Changsha Road and Arnhem Road frontage <p>Detailed design drawings of the proposed traffic facilities, signs and line markings in the existing and proposed public domain areas are to be submitted to Council for approval using Approval of Traffic Facilities including Signs and Line Marking Schemes Application Form. The application is available on Council website and should be lodged online. The drawings are to be prepared by a suitably qualified person.</p> <p>NOTE: It is advised that the applicant discuss with Council's Traffic Management Section of the traffic requirements prior to preparation of the detailed design drawings.</p>
	<p>Condition reason: To ensure that detailed design of the required traffic facilities is submitted and approved.</p>
29.	<p>(B560) Road Works</p>

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Works within the public road reserve shall not commence until the design drawings including the associated signs and line marking scheme have been approved by Council's Traffic Management Section.

Condition reason: To ensure that works on the public road reserve are approved prior to commencement of works.

30. **(B590) Public Domain Works – Street Lighting**

Prior to the issue of a Subdivision Works Certificate, the applicant/developer shall engage the services of an Endeavour Energy accredited ASP Level 3 service provider and submit a Public Lighting Design Brief to Council's Traffic Management Section, to assess the adequacy of the existing street lighting in Changsha Road, Bartle Lane and Arnhem Road around the development site.

Where an upgrade is deemed to be required, all street lighting must comply with the electricity service provider Street Lighting Policy and illumination requirements and Council's Street Lighting policy.

The approved street lighting designs are to be implemented within the proposed development in accordance with Liverpool City Council standards and to the satisfaction of Council.

All cost associated with the installation of street lighting shall be borne by the developer.

Condition reason: To ensure adequate street lighting is provided for the development.

31. **(B950) Floodplain Engineering**

Prior to the issue of a subdivision works certificate, the proposed development must ensure that the stormwater quantity and quality of the subdivision is managed through the temporary OSD and WSUD basin located on the adjacent Lot 813, which was constructed as part of the previous development for the wider area catchment that includes the current development site.

Condition reason: To ensure fairness, transparency and probity.

Before Subdivision Work Commences

32. **(C005) Subdivision Works Certificates**

Prior to the commencement of any subdivision works, the following requirements must be complied with:

- (a) Subdivision Works Certificate must be obtained from the Council or an Accredited Certifier, in accordance with the provisions of the Environmental Planning & Assessment Act 1979,
- (b) Where a Subdivision Work Certificate is obtained from an Accredited Certifier, the applicant shall advise Council of the name, address and contact number of the Accredited Certifier, in accordance with Section 4.19, 6.6, 6.7, 6.12, 6.13, 6.14 of the Act,
- (c) A copy of the Subdivision Work Certificate, the approved development consent plans and consent conditions must be kept on the site at all times and be made available to the Council officers and all building contractors for assessment,
- (d) A Principal Certifier (PC) must be appointed to carry out the necessary inspections and to issue a subdivision certificate, and
- (e) The PC must advise Council of the intended date to commence work which is the subject of this consent by completing a notice of commencement of building works or subdivision works form, available from Council's Customer Service Centre. A minimum period of two (2) working days' notice must be given.

Condition reason: To require approval to proceed with building work.

33. **(C012) Commencement of building works**

Subdivision work shall not commence prior to the issue of a Subdivision Works Certificate. Subdivision work as defined under Section 1.4 of the Environmental Planning and Assessment Act, 1979 means any physical activity authorised to be carried out in connection with a subdivision under the conditions of a development consent for the subdivision of land.

Condition reason: To require approval to proceed with building work.

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34.	<p>(C027) Matters to be addressed prior to commencement of Subdivision Works</p> <p>Work on the subdivision shall not commence until:</p> <ul style="list-style-type: none"> (a) a Subdivision Works Certificate (if required) has been issued, (b) a Principal Certifier has been appointed for the project, and (c) any other matters prescribed in the development consent for the subdivision and the Environmental Planning and Assessment Act and Regulation have been complied with. <p>A Notice of Commencement is to be submitted to Liverpool City Council two (2) days prior to commencement of engineering works or clearing associated with the subdivision.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
35.	<p>(C055) Site Facilities</p> <p>Adequate refuse disposal methods and builders storage facilities shall be installed on the site. Builders' wastes, materials or sheds are not to be placed on any property other than that which this approval relates to.</p> <p>Condition reason: To ensure the required site management measures are implemented before the commencement of building work.</p>
36.	<p>(C070) "DIAL BEFORE YOU DIG"</p> <p>Underground assets may exist in the area that is subject to your application. In the interest of health and safety and in order to protect damage to third party assets please contact Dial before you dig at www.1100.com.au or telephone 1100 before excavating or erecting structures (This is the law in NSW). If alterations are required to the configuration, size, form or design of the development upon contact the Dial before You Dig service, an amendment to the development consent (or a new development application) may be necessary. Individuals owe asset owners a duty of care that must be observed when working in the vicinity of plant or assets. It is the individual's responsibility to anticipate and request the nominal location of plant or assets on the relevant property via contacting the Dial before you dig service in advance of any construction or planning activities.</p> <p>Condition reason: To ensure building works do not impact local underground assets.</p>
37.	<p>(C117) Erosion and sediment controls in place</p> <p>Before any site work commences, the principal certifier, must be satisfied the erosion and sediment controls in the erosion and sediment control plan are in place. These controls must remain in place until any bare earth has been restabilised in accordance with 'Managing Urban Stormwater: Soils and Construction' prepared by Landcom (the Blue Book) (as amended from time to time).</p> <p>Condition reason: To ensure sediment laden runoff and site debris do not impact local stormwater systems and waterways.</p>
38.	<p>(C126) Environmental Management</p> <p>Adequate soil and sediment control measures shall be installed and maintained. Furthermore, suitable site practices shall be adopted to ensure that only clean and unpolluted waters are permitted to enter Council's stormwater drainage system during construction/demolition. Measures must include, as a minimum:</p> <ol style="list-style-type: none"> 1. Siltation fencing; 2. Protection of the public stormwater system; and 3. Site entry construction to prevent vehicles that enter and leave the site from tracking loose material onto the adjoining public place. <p>Condition reason: To ensure fairness, transparency and probity.</p>
39.	<p>(C155) Work Zone</p> <p>A Works Zone application is required if on-street parking is affected with commuter parking and there is insufficient off-street parking space.</p> <p>A Works Zone Application Form is available on Council website and can be lodged online by attaching all required documents indicated on the application form.</p> <p>Condition reason: To ensure that road occupancy is approved by council to minimise traffic impacts on the road.</p>

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40.	(C158) Construction Traffic Management Plan (CTMP)
	<p>A construction traffic management plan (CTMP) prepared by a suitably qualified person is to be submitted to and endorsed by Council's Transport Management Section. The CTMP is to be submitted using Assessment of Construction Traffic Management Plan application form. The application is available on Council website and can be lodged online. Comments on the CTMP will be provided and the updated CTMP are to be implemented during construction.</p>
	<p>A copy of the endorsed CTMP and traffic control plans are to be available on the works site for inspection by authorised Council officers.</p>
	<p>Construction shall not commence until the assessed construction traffic management plan has been endorsed. The endorsed CTMP is to be implemented during construction.</p>
	<p>Condition reason: To ensure that the impact of construction traffic associated with the development on the surrounding road network is minimized.</p>
41.	(C201) Road Occupancy Permit
	<p>Road occupancy and road opening approvals will be required from Council to undertake works within the existing road reserve. The following applications are available on Council's website and can be lodged online attaching all required documents indicated on the application form.</p>
	<ul style="list-style-type: none"> • Road Occupancy Application Form • Road Opening Application Form
	<p>Condition reason: To ensure that road occupancy is approved by council to minimise traffic impacts on the road.</p>
42.	(C205) Traffic Control Plan
	<p>Prior to commencement of works a Traffic Control Plan including details for pedestrian management, shall be prepared in accordance with AS1742.3 "Traffic Control Devices for Works on Roads" and the Roads and Traffic Authority's publication "Traffic Control at Worksites" and certified by an appropriately accredited Roads and Traffic Authority Traffic Controller.</p>
	<p>Traffic control measures shall be implemented during the construction phase of the development in accordance with the certified plan. A copy of the plan shall be available on site at all times.</p>
	<p>Note: A copy of the Traffic Control Plan shall accompany the Notice of Commencement to Liverpool City Council.</p>
	<p>Condition reason: To ensure fairness, transparency and probity.</p>
43.	(C466) Dilapidation report
	<p>Prior to the Commencement of Works a dilapidation report of all infrastructure fronting the development in Changsha Road, Bartle Lane and Arnhem Road is to be submitted to Liverpool City Council. The report is to include, but not limited to, the road pavement, kerb and gutter, footpath, services and street trees and is to extend 10m either side of the development.</p>
	<p>Condition reason: To establish and document the structural condition of adjoining properties and public land for comparison as site work progresses and is completed and ensure neighbours and council are provided with the dilapidation report.</p>
44.	(C560) Road Works
	<p>Works within the public road reserve shall not commence until the design drawings including the associated signs and line marking scheme have been approved by Council's Traffic Management Section.</p>
	<p>Condition reason: To ensure that works on the public road reserve are approved prior to commencement of works.</p>

Before Subdivision Work

45.	(D005) Building Work
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	<p>The subdivision works must be inspected by the Principal Certifier (PC), in accordance with Sections 6.5 of the Environmental Planning & Assessment Act 1979, to monitor compliance with the relevant standards of construction, Council's development consent and the subdivision works certificate.</p> <p>Condition reason: To require stage inspection and approval by the PC in accordance with EP & A Regulation clause 162A.</p>
46.	<p>(D010) Building Work</p> <p>The Principal Certifier (PC) must specify the relevant stages of construction to be inspected and a satisfactory inspection must be carried out, to the satisfaction of the PC, prior to proceeding to the subsequent stages of construction or finalisation of the works.</p> <p>Condition reason: To require approval to proceed with building work following each critical stage inspection.</p>
47.	<p>(D038) Toilet Facilities</p> <p>Toilet facilities must be available or provided at the work site and must be maintained until the works are completed at a ratio of one toilet plus one additional toilet for every 20 persons employed at the site. Each toilet must:</p> <ul style="list-style-type: none"> (a) be a standard flushing toilet connected to a public sewer, or (b) have an on-site effluent disposal system approved under the Local Government Act 1993, or (c) be a temporary chemical closet approved under the Local Government Act 1993. <p>Condition reason: To ensure the required site management measures are implemented during construction.</p>
48.	<p>(D045) Hours of work</p> <p>Construction work/civil work/demolition work, including the delivery of materials, is only permitted on the site between the hours of 7:00am to 6:00pm Monday to Friday and 8:00am to 1:00pm Saturday. No work will be permitted on Sundays or Public Holidays, unless otherwise approved by Council.</p> <p>Condition reason: To protect the amenity of the surrounding area.</p>
49.	<p>(D049) Security Fence</p> <p>A temporary security fence to WorkCover Authority requirements is to be provided to the property during the course of construction.</p> <p>Note: Fencing is not to be located on Council's reserve area.</p> <p>Condition reason: To ensure the required site management measures are implemented during construction.</p>
50.	<p>(D055) Refuse Disposal</p> <p>Adequate refuse disposal methods and builders storage facilities shall be installed on the site. Builders' wastes, materials or sheds are not to be placed on any property other than that which this approval relates to.</p> <p>Condition reason: To ensure the required site management measures are implemented during construction.</p>
51.	<p>(D063) Craning and Hoardings</p> <p>If the work is likely to cause pedestrian or vehicular traffic in a public area to be obstructed or rendered inconvenient; or if craning of materials is to occur across a public or road reserve area, a separate Road Occupancy Certificate and/or Hoarding approval must be obtained from Liverpool City Council prior to undertaking the works.</p> <p>Condition reason: To ensure the required traffic management measures are implemented during construction.</p>
52.	<p>(D070) Notification of Damage</p> <p>The applicant/ builder shall be responsible to report to the Council of any damage to Council's footpath and road carriageway as a consequence of demolition or excavation or building activities or delivery/ departure of materials associated with this site and maintained the area until completion of the construction activities. Arrangements to the satisfaction of Council are to be made for making safe by</p>

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	temporary repairs to Council's footpath and road carriageway until permanent restoration and repair can be organised with Council at the applicant's cost.
	Condition reason: To ensure any damage to public infrastructure is rectified.
53.	(D100) General Site Works - Surface Contours
	Alterations to the natural surface contours must not impede or divert natural surface water runoff, so as to cause a nuisance to adjoining property owners.
	Condition reason: To protect the amenity of the neighbourhood.
54.	(D115) General Site Works - Existing Hydrology
	Existing hydrological regimes shall be maintained so as not to negatively impact vegetation to be retained on site and downslope/downstream of the site.
	Condition reason: To minimise impacts to adjacent vegetation and habitat.
55.	(D120) General Site Works - Runoff
	Any runoff entering the areas of vegetation to be retained shall be of an equivalent or better quality, and of a similar rate of flow to present levels.
	Condition reason: To minimise impacts to adjacent vegetation and habitat.
56.	(D125) General Site Works - Sediment
	The development, including construction, shall not result in any increase in sediment deposition into any water body, wetland, bushland or environmentally significant land.
	Condition reason: To minimise impacts to adjacent vegetation and habitat.
57.	(D130) Removal of dangerous and/or hazardous waste
	All dangerous and/or hazardous material must be removed by a suitably qualified and experienced contractor licensed by SafeWork NSW. The removal of such material must be carried out in accordance with the requirements of SafeWork NSW and the material must be transported and disposed of in accordance with NSW Environment Protection Authority requirements.
	Condition reason: To ensure safe removal and disposal of dangerous and/or hazardous material.
58.	(D165) Public Domain Works
	All works within the road reserve, including the approved sign and line making scheme, are to be carried out by the applicant, at no cost to Council, in accordance with the TfNSW/RMS 'Delineation Guidelines'.
	Condition reason: To ensure that the development covers all required costs associated with the development.
59.	(D170) Council On Street Assets
	Council's on-street assets and local road network are to be protected and kept in a serviceable state at all times. At the direction of Council, the applicant/project manager shall undertake remediation works, at no cost to Council and to Council's satisfaction.
	Condition reason: To ensure that the development covers all required costs associated with the development.
60.	(D180) Waste management
	While site work is being carried out:
	1. all waste management must be undertaken in accordance with the waste management plan; and
	2. upon disposal of waste, records of the disposal must be compiled and provided to principal certifier, detailing the following:
	<ul style="list-style-type: none"> • The contact details of the person(s) who removed the waste; • The waste carrier vehicle registration; • The date and time of waste collection; • A description of the waste (type of waste and estimated quantity) and whether the waste is to be reused, recycled or go to landfill; • The address of the disposal location(s) where the waste was taken; • The corresponding tip docket/receipt from the site(s) to which the waste is transferred, noting date and time of delivery, description (type and quantity) of waste.

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	<p>If waste has been removed from the site under an EPA Resource Recovery Order or Exemption, records in relation to that Order or Exemption must be maintained and provided to the principal certifier and Council.</p> <p>Condition reason: To require records to be provided, during site work, documenting the lawful disposal of waste.</p>
61.	<p>(D205) Vegetation - Existing Vegetation</p> <p>All existing trees and areas of native vegetation not identified for removal on approved plans of the proposed development shall be protected from damage during site works. This protection shall consist of 1800mm high protective fencing, securely installed beneath the outer canopy of any tree to be retained. Trees may be fenced off in clusters where it is not practical to fence off individual trees. There shall be no storing materials, washing machinery or changes to existing soil levels within the fenced areas.</p> <p>Condition reason: To minimise impacts to adjacent vegetation and habitat.</p>
62.	<p>(D240) Vegetation - Weeds</p> <p>No known environmental weeds or known invasive plant species shall be included in the landscaping or revegetation. Hygiene practices shall be employed to avoid the spread of invasive plants.</p> <p>Condition reason: To limit the spread of weeds.</p>
63.	<p>(D241) Footpaths</p> <p>Construction of 1.5m wide by 100mm thick (with one layer of SL72 reinforcing mesh) concrete path paving on both sides of all residential streets, unless where varied by other conditions in this consent.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
64.	<p>(D250) Vegetation - Mulch</p> <p>Mulch generated from exotic trees or other weed species cleared shall not be used on site. It shall be removed from the site and disposed of appropriately and in accordance with legislative requirements.</p> <p>Condition reason: To limit the spread of weeds.</p>
65.	<p>(D255) Vegetation - Imported Soil or Mulch</p> <p>Any imported soil and/or mulch shall be free of contaminants, seed and propagules of weeds and undesirable species. Mulch shall not be used on flood liable land.</p> <p>Condition reason: To limit the spread of weeds.</p>
66.	<p>(D265) Vegetation Clearing - Fauna Protection</p> <p>Prior to the removal of each tree, they shall be examined by a qualified ecologist for the presence of hollows, active nests of birds or fauna. The removal of trees with hollows or active nests shall be undertaken under the supervision of a qualified and appropriately licenced ecologist, in a manner recommended by the ecologist. Any native fauna encountered shall be relocated by a qualified ecologist, or member of a wildlife rescue organisation, with necessary permits.</p> <p>Condition reason: To minimise harm caused to fauna during vegetation clearing.</p>
67.	<p>(D426) Soil management</p> <p>While site work is being carried out, the principal certifier must be satisfied all soil removed from or imported to the site is managed in accordance with the following requirements:</p> <ol style="list-style-type: none"> 1. All excavated material removed from the site must be classified in accordance with the EPA's Waste Classification Guidelines before it is disposed of at an approved waste management facility and the classification and the volume of material removed must be reported to the principal certifier. 2. All fill material imported to the site must be: <ol style="list-style-type: none"> 1. Virgin Excavated Natural Material as defined in Schedule 1 of the <i>Protection of the Environment Operations Act 1997</i>; or

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	<p>2. a material identified as being subject to a resource recovery exemption by the NSW EPA; or</p> <p>3. a combination of Virgin Excavated Natural Material as defined in Schedule 1 of the <i>Protection of the Environment Operations Act 1997</i> and a material identified as being subject to a resource recovery exemption by the NSW EPA.</p> <p>Condition reason: To ensure soil removed from the site is appropriately disposed of and soil imported to the site is not contaminated and is safe for future occupants.</p>
68.	<p>(D430) Unidentified Contamination</p> <p>Any new information which arises during remediation, demolition or construction works that has the potential to alter previous conclusions about site contamination and remediation must be immediately notified in writing to the certifier and Liverpool City Council.</p> <p>A section 4.55 Application under the Environmental Planning and Assessment Act 1979 must be made for any proposed works outside the scope of the approved development consent.</p> <p>Condition reason: To ensure the suitability of land for the development.</p>
69.	<p>(D445) Air Quality</p> <p>Dust screens shall be erected and maintained in good repair around the perimeter of the subject land during land clearing, demolition, and construction works.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
70.	<p>(D450) Air Quality</p> <p>During construction where operations involve excavation, filling or grading of land, or removal of vegetation, including ground cover, the consent holder is to ensure dust is suppressed by regular watering until such time as the soil is stabilised to prevent airborne dust transport. Where wind velocity exceeds five knots the Principal Certifier may direct that work is not to proceed.</p> <p>Condition reason: To ensure site works are managed appropriately and do not result in air pollution.</p>
71.	<p>(D475) Imported Fill Material</p> <p>During construction the consent holder is to ensure fill imported on to the site is be compatible with the existing soil characteristic for site drainage purposes.</p> <p>Condition reason: To ensure soils introduced onsite do not result in drainage issues.</p>
72.	<p>(D552) Implementation of the site management plans</p> <p>While site work is being carried out:</p> <ol style="list-style-type: none"> the measures required by the construction site management plan and the erosion and sediment control plan (plans) must be implemented at all times; and a copy of these plans must be kept on site at all times and made available to Council officers upon request. <p>Condition reason: To ensure site management measures are implemented during the carrying out of site work.</p>
73.	<p>(D553) Erosion & Sediment Control</p> <p>Erosion and sediment control measures shall remain in place and be maintained until all disturbed areas have been rehabilitated and stabilised. All disturbed areas shall be progressively stabilised and/or revegetated so that no areas remain exposed to potential erosion damage for a period of greater than 14 days.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
74.	<p>(D554) Erosion & Sediment Control</p> <p>The developer is to maintain all adjoining public roads to the site in a clean and tidy state, free of excavated "spoil" material.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
75.	<p>(D555) Erosion Control - Maintenance</p> <p>Sediment and erosion control measures are to be adequately maintained during the works until the</p>

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	<p>establishment of grass.</p> <p>Condition reason: To ensure the required site management measures are implemented during construction.</p>
76.	<p>(D560) Erosion Control</p> <p>Vehicular access to the site shall be controlled through the installation of wash down bays or shaker ramps to prevent tracking of sediment or dirt onto adjoining roadways. Where any sediment is deposited on adjoining roadways is shall be removed by means other than washing. All material is to be removed as soon as possible and the collected material is to be disposed of in a manner which will prevent its mobilisation.</p> <p>Condition reason: To ensure the required site management measures are implemented during construction.</p>
77.	<p>(D565) Water Quality</p> <p>During construction the consent holder is to ensure all topsoil, sand, aggregate, spoil or any other material that can be moved by water is stored clear of any drainage line, easement, water body, stormwater drain, footpath, kerb or road surface.</p> <p>Condition reason: To ensure site works are managed appropriately and do not result in water pollution.</p>
78.	<p>(D570) Pollution Control - Site Operations</p> <p>During construction, building operations including but not limited to brick cutting, mixing mortar and the washing of tools, paint brushes, form-work, concrete trucks and the like must not be performed on the public footway or any other locations which may lead to the discharge of materials into Council's stormwater drainage system.</p> <p>Condition reason: To mitigate potential risks to the environment during construction and facilitate compliance with legislative requirements.</p>
79.	<p>(D574) Pollution Control - Truck Movements</p> <p>The loading and unloading of all vehicles associated with the development must be undertaken within the property boundary of the premises subject to this consent.</p> <p>Measures must be implemented to prevent tracking of sediment by vehicles onto roads.</p> <p>Vehicle loads must be covered when entering and exiting the site with material.</p> <p>Condition reason: To mitigate potential risks to the environment during construction and facilitate compliance with legislative requirements.</p>
80.	<p>(D582) Aboriginal Cultural Heritage - Staff and Contractors</p> <p>All relevant on-site staff and contractors should be made aware of their statutory obligations for heritage under NSW <i>National Parks and Wildlife Act 1974</i> and the NSW <i>Heritage Act 1977</i>. They are to be informed of what the potential heritage on the site will be and its significance. The site supervisor is to maintain a record of who has completed the heritage induction and this is to be provided to Council prior to Issue of Occupation Certificate.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
81.	<p>(D583) Aboriginal Cultural Heritage - Unexpected Finds</p> <p>The National Parks and Wildlife Act 1974 protects all Aboriginal Cultural Heritage in New South Wales. Where a proposal has the potential to impact on Aboriginal Cultural Heritage objects and places, whether the presence is known or not, a permit is to be sought from Heritage NSW.</p> <p>In the event that Aboriginal Cultural Heritage objects or places are encountered/discovered, works must cease immediately and Council and Heritage NSW notified.</p> <p>The finds are to be investigated by an experienced archaeologist and no works are to recommence onsite until approved by Heritage NSW and Liverpool City Council.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>

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82.	(D584) Skeletal Remains
	In the event that skeletal remains are uncovered, work must cease immediately in that area and the area secured. NSW Police must be contacted and no further action taken until written advice has been provided by the NSW Police. If the remains are determined to be of Aboriginal origin, the Office of Environment and Heritage must be notified by ringing the Enviroline 131 555 and a management plan prior to works re-commencing must be developed in consultation with relevant Aboriginal stakeholders.
	Condition reason: To ensure fairness, transparency and probity.
83.	(D590) Public Domain Works - Street Lighting
	Where street lighting upgrade or works are required, street lights are to be installed in accordance with the Endeavour Energy certified plans to their satisfaction.
	Condition reason: To ensure that the development covers all required costs associated with the development.
84.	(D596) Drainage Connection
	Prior to the connection of private drainage to Council's drainage system, an inspection is to be carried out by Liverpool City Council's Development Engineering Unit. A fee will be charged in accordance with Council's adopted Fees and Charges, and is to be paid prior to the inspection.
	Condition reason: To ensure fairness, transparency and probity.
85.	(D597) Major Filling/ Earthworks
	All earthworks shall be undertaken in accordance with AS 3798 and Liverpool City Council's Design Guidelines and Construction Specification for Civil Works.
	The level of testing shall be determined by the Geotechnical Testing Authority/ Superintendent in consultation with the Principal Certifying Authority.
	Condition reason: To ensure fairness, transparency and probity.
86.	(D598) Soil testing - Subdivisions
	The development shall be carried out in accordance with Part 1, Section 11 'Salinity Risk' of the Liverpool Development Control Plan 2008. Soil Testing is to be carried out to enable each lot to be classified according to AS2870 "Residential Slabs and Footings".
	Condition reason: To ensure fairness, transparency and probity.
87.	(D600) Correct waste separation and removal
	All demolition, excavation and construction wastes must be separated as they are generated and kept in separate spoil piles, bays, builder's skips and/or site bins. No wastes other than those noted on the approved waste management plan as being re-used on site, are to be left on site after the completion of the works.
	Condition reason: To ensure that separation of waste by type is undertaken in an ongoing basis throughout the building process, and that the wastes are kept separate and not mixed, to facilitate waste management and recycling.
88.	(D605) Containment of site wastes during building
	All demolition, excavation or construction wastes, e.g. wrapping, packaging materials, bags, insulation, sand, soil etc., must be kept fully enclosed at all times to prevent them from becoming displaced in strong wind conditions or from washing into sewers, storm drains or creeks, or onto adjacent properties or public land during wet weather.
	Condition reason: To ensure that waste materials from the demolition, excavation or construction are kept appropriately contained on site, irrespective of weather conditions, and do not make their way into the environment as pollutants.
89.	(D660) Construction Noise and Vibration
	Noise and vibration associated with excavation, demolition and construction activities shall comply with the management levels detailed within the 'Interim Construction Noise Guideline' published by the Department of Environment and Climate Change NSW (DECC 2009/265) dated July 2009 and acceptable vibration values prescribed within the Environmental Noise Management Assessing

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	Vibration: A Technical Guideline (Department of Environment and Conservation, 2006).
	All feasible and reasonable noise and vibration mitigation measures shall be implemented and any activities which may exceed the construction noise management levels and vibration criteria shall be identified and managed in accordance with the approved Construction Environmental Management Plan (CEMP).
	Condition reason: To protect the amenity of the neighbourhood during construction.
90.	(D664) Contamination
	The development, including all civil works and demolition, must comply with the requirements of the Contaminated Land Management Act 1997, State Environmental Planning Policy (Resilience and Hazards) 2021, Chapter 4, and Managing Land Contamination – Planning Guidelines (Planning NSW/EPA 1998).
	Condition reason: To ensure fairness, transparency and probity.
91.	(D666) Record Keeping of Imported Fill
	Records of the following must be submitted to the principal certifying authority monthly and at the completion of earth works:
	<ol style="list-style-type: none"> 1. The course (including the address and owner of the source site), nature and quantity of all incoming loads including the date, the name of the carrier, and the vehicle registration; 2. The results of a preliminary contamination assessment carried out on any fill material used in the development. 3. The results of any chemical testing of fill material.
	Condition reason: To ensure fairness, transparency and probity.
92.	(D668) Traffic Management
	Applications must be made to Council's Traffic & Transport Section for any road closures. The applicant is to include a Traffic Control Plan, prepared by a suitably qualified person, which is to include the date and times of closures and any other relevant information.
	Condition reason: To ensure fairness, transparency and probity.
93.	(D670) Construction Traffic Management Plan
	The endorsed Construction Traffic Management Plan is to be implemented during the entire construction phase.
	Condition reason: To ensure fairness, transparency and probity.
94.	(D672) Street Trees
	The street trees to be used can be any or all of the following in the locations as shown on the approved plans;
	<ul style="list-style-type: none"> • Eleocarpus reticulatus (Blue Berry Ash) • Fraxinus griffithii (Evergreen Ash) • Tristrianopsis Laurina (Luscious Water Gum) • Lophostemon Confertus (Brush Box)
	Each tree is to have a minimum pot size of 100lt or if the approved landscape plan specifies larger, the larger pot size is to be adopted. The tree will need to be formatively pruned so that the tree has a straight trunk clear of any branches to minimum height of 1m above soil level.
	Condition reason: To ensure fairness, transparency and probity.
95.	(D950) Complaints Handling Register
	A Complaints Handling Register shall be maintained for the duration of construction works at the subject premises. The Complaints Register is to be kept by the Site Manager or other suitable staff members and is to include the following:
	<ol style="list-style-type: none"> (a) the date and time, where relevant, of the complaint; (b) the means by which the complaint was made (telephone, mail or email); (c) any personal details of the complainant that were provided, or if no details were provided, a note to that effect;

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- (d) the nature of the complaint;
 (e) any action(s) taken in response to the complaint, including any follow-up contact with the complainant;
 (f) if no action was taken in relation to the complaint, the reason(s) why no action was taken; and
 (g) allocate an individual "complaint number" to each complaint received.

The Complaints Register must be made available for inspection when requested by Liverpool City Council.

Condition reason: To ensure fairness, transparency and probity.

Before Issue of a Subdivision Certificate

96. (F006) Payment of Development Contributions

Payment of section 7.11 contributions

Before the issue of a subdivision certificate, the applicant must pay development contributions to Council.

The total contribution payable to Council under this condition is **\$330,000** as calculated at the date of this consent, in accordance with the Liverpool Contributions Plan 2008 (Edmondson Park).

The applicant must pay the following contributions to council for:

Facilities	Amount (\$)	Job No.
Community Facilities - Land	\$29,584	GL.10000001870.10174
Community Facilities - Works	\$0	GL.10000001870.10175
Open Space and Recreation - Land	\$150,673	GL.10000001869.10176
Open Space and Recreation - Works	\$0	GL.10000001869.10177
Transport and Access - Land	\$130,122	GL.10000001865.10178
Transport and Access - Works	\$0	GL.10000001865.10179
Drainage - Land	\$13,732	GL.10000001866.10180
Drainage - Works	\$0	GL.10000001866.10181
Technical Study Fees Recoverable	\$1,381	GL.10000001872.10182
Professional Fees	\$4,507	GL.10000001872.10183
TOTAL	\$330,000	

Payment of section 7.11 contributions must be made directly to Liverpool City Council.

Contact Liverpool City Council for the current amount payable (contributions are indexed quarterly) on the day of payment.

Contributions can be paid on any date after the issue of this notice of determination, prior to the mandatory timing.

A copy of the development contributions plan is available on Council's website.

Condition reason: To ensure development contributions are paid to address increased demand for public amenities and services or to address increased demand for regional infrastructure or to ensure any planning agreement is finalised at the specified time.

97. (F007) Special Infrastructure Contribution (SIC)

The applicant is to make a special infrastructure contribution in accordance with any determination made by the Minister administering the Environmental Planning and Assessment Act 1979 under Section 7.23 of that Act and is in force on the date of this consent, and must obtain a certificate to that effect from the Department of Planning (Growth Centres Commission) before a subdivision certificate, is issued in relation to any part of the development to which this consent relates.

Condition reason: To ensure any SIC is finalised at the specified time.

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98.	(F015) Linen Plans and 88B Instruments In order to enable a Subdivision Certificate to be issued for submission to the LPI Service, the applicant is required to lodge a separate application along with one (1) original and ten (10) copies of the proposed plan of subdivision and one (1) original and two (2) copies of the proposed 88b instrument (where proposed). Condition reason: To ensure fairness, transparency and probity.
99.	(F020) Linen Plans and 88B Instruments The applicant shall pay the standard fee for purpose of subdivision certificate administration of plan checking and release. Condition reason: To ensure fairness, transparency and probity.
100.	(F026) Removal of waste upon completion Before the issue of a Subdivision Certificate: 1. all refuse, spoil and material unsuitable for use on-site must be removed from the site and disposed of in accordance with the approved waste management plan, and 2. written evidence of the waste removal must be provided to the satisfaction of the certifier. Condition reason: To ensure waste material is appropriately disposed or satisfactorily stored.
101.	(F030) Linen Plans and 88B Instruments The final plan of subdivision must be supported by an 88B Instrument, approved by Council. The 88B instrument shall properly reflect the requirements of the conditions of development consent, the plans forming part of the consent, and Council's standards, codes and policy's. Part 2 of the 88B instrument shall contain a provision that any easements, right of ways or covenants shall not be extinguished or altered without the written consent of Council. Condition reason: To ensure fairness, transparency and probity.
102.	(F035) Linen Plans and 88B Instruments Where common drainage lines or other drainage lines are required, a drainage easement shall be created in accordance with Council's minimum widths as scheduled in Council's Design Specification for Subdivisions (as amended). Condition reason: To ensure fairness, transparency and probity.
103.	(F037) Liverpool City Council clearance - Roads Act/ Local Government Act Prior to the issue of a Subdivision Certificate, the Principal Certifying Authority shall ensure that all works associated with a S138 Roads Act approval or S68 Local Government Act approval have been inspected and signed off by Liverpool City Council. Condition reason: To ensure fairness, transparency and probity.
104.	(F045) Linen Plans and 88B Instruments Correct notation concerning easements is required. The prepared 88B Instrument should be forwarded initially to Council. The land value of the easement and costs associated with checking the instrument are to be borne by the applicant. Part 2 of the 88B Instrument shall contain a provision that the easement may not be extinguished or altered without the written consent of Council. Condition reason: To ensure fairness, transparency and probity.
105.	(F070) Linen Plans and 88B Instruments A Restriction as to User over Proposed Lot 813 is to be created under Section 88B of the Conveyancing Act 1919 in the following terms: <i>'No further development of the lot burdened is to take place unless it is approved by a Development Consent. Such approval is likely to require, but not be restricted to, construction of road and drainage works, the provision of lot fill, compliance with the minimum dwelling density of 28 dwellings per hectare if residential development is proposed and payment of Section 7.11 Contributions and Special Infrastructure Contributions.'</i>

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	<p>The Restriction as to User may not be extinguished or altered except with the consent of Liverpool City Council.</p> <p>Note: The final wording of the recital of the Restriction as to User is to be to Council's satisfaction.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
106.	<p>(F086) Linen Plans and 88B Instruments</p> <p>The final plan of subdivision must be supported by an 88B Instrument. This instrument must burden with a restriction as to user and positive covenant over proposed Lot 812, that:</p> <p>Development is to be carried out on the subject allotment in accordance with Development Consent DA-1119/2021 and subsequent modifications. Where development is not carried out in accordance with this development consent, further development of the land would be subject to future development consent. Such approval is likely to require, but not be restricted to, construction of road and drainage works, the provision of lot fill, compliance with the minimum dwelling density of 28 dwellings per hectare if residential development is proposed and payment of Section 7.11 Contributions and Special Infrastructure Contributions.'</p> <p>The restriction as to User may not be extinguished or altered except with the consent of Liverpool City Council. Note: The final wording of the recital of the Restriction as to User is to be to Council's satisfaction.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
107.	<p>(F088) Linen Plans and 88B Instruments</p> <p>Prior to the issue of the subdivision certificate a restriction to user and positive covenant relating to the "Temporary On-Site Detention System" shall be registered on proposed Lot 813. The restriction as to user and positive covenant shall be in Liverpool City Council's standard wording as detailed in Liverpool City Council's Design and Construction Guidelines and Construction Specification for Civil Works.</p> <p>The temporary onsite detention (OSD) basin facilities within Lot 813 (in the stamped approved plans) shall be maintained by the developer until the downstream drainage system is connected to either the district detention basin or to the major trunk drainage system.</p> <p>Council's approval via written consent shall be obtained for the removal of the temporary OSD basin facilities and for undertaking further developments within Lot 813. The temporary on-site water quality control measures shall be maintained until the downstream regional basin is constructed and operational.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
108.	<p>(F090) Street Trees & Tree Planting</p> <p>Prior to the issue of a Subdivision Certificate, street trees are to be planted.</p> <p>The Outstanding Works bond will be refunded once the street trees have been planted to Council's satisfaction and a separate Maintenance Bond has been lodged with Liverpool City Council.</p> <p>The value of the bonds shall be determined in accordance with Liverpool City Council's Bond Policy. The bond will be administered in accordance with this policy.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
109.	<p>(F105) Service Providers</p> <p>The following documentation must be provided before the issue of a subdivision certificate:</p> <p>(a) Written evidence of suitable arrangements with Sydney Water (Section 73 Compliance Certificate) for the supply of water and sewerage services to the development must be submitted to the certifier before the issue of a Subdivision Certificate. Council will not issue a Subdivision Certificate unless the method of sewerage disposal is by gravity reticulation mains to either Sydney Water branch and trunk sewers or Sydney Water point of treatment. Council will not accept any temporary facilities to service the site, including pump-out wet-wells.</p>

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	<p>(b) Notification of arrangement for the development from Endeavour Energy must be submitted to Council.</p> <p>(c) Written certification from the relevant service providers that the telecommunications infrastructure is installed in accordance with:</p> <ul style="list-style-type: none"> i) The requirements of the Telecommunications Act 1997; ii) For a fibre ready facility, the NBN Co's standard specifications current at the time of installation; and iii) For a line that is to connect a lot to telecommunications infrastructure external to the premises, the line must be located underground. <p>Unless otherwise stipulated by telecommunications legislation at the time of construction, the development must be provided with all necessary pits and pipes, and conduits to accommodate the future connections of optic fibre technology telecommunications.</p> <p>Condition reason: To promote orderly development supported by adequate infrastructure.</p>
110.	<p>(F130) Bonds</p> <p>A maintenance bond in the form of a bank guarantee or cash bond (\$TBA), shall be lodged with Council prior to the issue of a subdivision certificate. The bond shall cover maintenance and any damage to roads, drainage lines, public reserves or other council property or works required as a result of work not in accordance with Council's standards, and /or development consent conditions. The bond will be held by Council for a minimum period of 6 months from the date of Council's acceptance of final works.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
111.	<p>(F150) Dilapidation Report</p> <p>Any rectification works required by Council regarding the condition of Council infrastructure shall be undertaken, at full cost to the developer.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
112.	<p>(F200) Completion of Subdivision Works</p> <p>Prior to the issue of a Subdivision Certificate, the Principal Certifying Authority shall ensure that all subdivision works required by this consent have been satisfactorily completed or that suitable arrangements have been made with Liverpool City Council for any outstanding works.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
113.	<p>(F205) Street Naming</p> <p>Prior to the issue of a Subdivision Certificate, street signs are to be erected on-site, unless already existing, subject to the discretion of the certifier.</p> <p>Condition reason: To ensure new street names are approved and displayed in accordance with Council's Street Naming Policy.</p>
114.	<p>(F220) Maintenance Bond</p> <p>Prior to the issue of a Subdivision Certificate, a maintenance bond is to be lodged with Liverpool City Council for works in Road reserve .</p> <p>The value of the bond shall be determined in accordance with Liverpool City Council's Bond Policy. The bond will be administered in accordance with this policy.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
115.	<p>(F225) Linemarking & Signage</p> <p>Prior to the issue of a Subdivision Certificate and installation of regulatory / advisory linemarking and signage, plans are to be lodged with Liverpool City Council and approved by the Local Traffic Committee.</p> <p>Note: Allow eight (8) weeks for approval by the Local Traffic Committee.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>

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116.	<p>(F230) Rectification of Damage</p> <p>Prior to the issue of a Subdivision Certificate, any damage to Council infrastructure not identified in the dilapidation report, as a result of the development shall be rectified at no cost to Liverpool City Council.</p> <p>Any rectification works within Bartle Lane, Changsha Road and Arnhem Road will require a Roads Act application. The application is to be submitted and approved by Liverpool City Council prior to such works commencing.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
117.	<p>(F235) Subdivision Compliance</p> <p>Prior to the issue of a Subdivision Certificate the following compliance documentation shall be submitted to the Principal Certifying Authority. A copy of the following documentation shall be provided to Council where Council is not the Principal Certifying Authority: Nominate</p> <ul style="list-style-type: none"> (a) Work as Executed (WAE) drawings of all civil works. The WAE drawings shall be marked in red on copies of the stamped Construction Certificate drawings signed, certified and dated by a registered surveyor or the design engineer. The Work as Executed drawings shall be prepared in accordance with Council's Design Guidelines. Electronic copies of the WAE shall be provided in PDF format and a DXF format to Council along with two hard copies of the WAE plans, (b) The WAE drawings shall clearly indicate the 1% Annual Exceedence Probability flood lines (local and mainstream flooding), (c) The WAE drawings shall be accompanied by plans indicating the depth of fill for the entire development site. The plans must show, by various shadings or cross hatchings, the depth of any fill within 0.3m depth ranges, (d) CCTV footage in DVD format to Council's requirements and a report in "SEWRAT" format for all drainage within future public roads and public land. Inspections are to be carried out in accordance with the Conduit Inspection Reporting Code of Australia WSA 05-2006. Any damage that is identified is to be rectified in consultation with Liverpool City Council, (e) Surveyor's Certificate certifying that all pipes and services are located wholly within the property or within appropriate easements and that no services encroach boundaries, (f) Documentation for all road pavement materials used demonstrating compliance with Council Design Guidelines and Construction Specification, (g) Structural Engineer's construction certification of all structures, and (h) A Geotechnical Report certifying that all earthworks and road formation have been completed in accordance with AS3798 and Council's Design Guidelines and Construction specifications. The report shall include: <ul style="list-style-type: none"> 1. Compaction reports for road pavement construction, 2. Compaction reports for bulk earthworks and lot regrading, 3. Soil classification for all residential lots, and 4. Statement of Compliance. <p>Condition reason: To ensure fairness, transparency and probity.</p>
118.	<p>(F240) Footpaths</p> <p>Construction of 1.5m wide by 100mm thick (with one layer of SL72 reinforcing mesh) concrete path paving on both sides of all residential streets, unless where varied by other conditions in this consent.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
119.	<p>(F250) Restriction as to User and Positive Covenant</p> <p>Prior to the issue of a Subdivision Certificate a restriction as to user and positive covenant relating to the:</p> <ul style="list-style-type: none"> (a) On-site detention system/s (b) Stormwater pre-treatment system/s <p>Shall be registered on the title of the property. The restriction as to user and positive covenant shall be in Liverpool City Council's standard wording as detailed in Liverpool City Council's Design and</p>

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	Construction Guidelines and Construction Specification for Civil Works.
	Condition reason: To ensure fairness, transparency and probity.
120.	(F590) Street Lighting in New Subdivisions
	Where street lighting upgrade is deemed to be required, the approved street lighting designs are to be implemented within the proposed development in accordance with Liverpool City Council standards and to the satisfaction of Council. Endeavour Energy pole numbers and the date poles were energised are to be submitted to Council's Traffic Management Section prior to submitting SC application.
	All cost associated with the installation of street lighting shall be borne by the developer.
	Condition reason: To ensure adequate street lighting is provided for the development.
121.	(F950) Linen Plans and 88B Instruments
	A Restriction as to User over all of the proposed allotments is to be created under Section 88B of the Conveyancing Act 1919 to ensure that vehicular access is only permitted from Bartle Lane.
	The Restriction as to User may not be extinguished or altered except with the consent of Liverpool City Council.
	Note: The final wording of the recital of the Restriction as to User is to be to Council's satisfaction.
	Condition reason: To ensure fairness, transparency and probity.

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General advisory notes

This consent contains the conditions imposed by the consent authority which are to be complied with when carrying out the approved development. However, this consent is not an exhaustive list of all obligations which may relate to the carrying out of the development under the EP&A Act, EP&A Regulation and other legislation. Some of these additional obligations are set out in the [Conditions of development consent: advisory notes](#). The consent should be read together with the Conditions of development consent: advisory notes to ensure the development is carried out lawfully.

The approved development must be carried out in accordance with the conditions of this consent. It is an offence under the EP&A Act to carry out development that is not in accordance with this consent.

A document referred to in this consent is taken to be a reference to the version of that document which applies at the date the consent is issued, unless otherwise stated in the conditions of this consent.

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Dictionary

The following terms have the following meanings for the purpose of this determination (except where the context clearly indicates otherwise):

Approved plans and documents means the plans and documents endorsed by the consent authority, a copy of which is included in this notice of determination.

AS means Australian Standard published by Standards Australia International Limited and means the current standard which applies at the time the consent is issued.

Building work means any physical activity involved in the erection of a building.

Certifier means a council or a person that is registered to carry out certification work under the Building and Development Certifiers Act 2018.

Construction certificate means a certificate to the effect that building work completed in accordance with specified plans and specifications or standards will comply with the requirements of the EP&A Regulation and Environmental Planning and Assessment (Development Certification and Fire Safety) Regulation 2021.

Council means LIVERPOOL CITY COUNCIL.

Court means the Land and Environment Court of NSW.

EPA means the NSW Environment Protection Authority.

EP&A Act means the *Environmental Planning and Assessment Act 1979*.

EP&A Regulation means the *Environmental Planning and Assessment Regulation 2021*.

Independent Planning Commission means Independent Planning Commission of New South Wales constituted by section 2.7 of the EP&A Act.

Local planning panel means LIVERPOOL LOCAL PLANNING PANEL.

Occupation certificate means a certificate that authorises the occupation and use of a new building or a change of building use for an existing building in accordance with this consent.

Principal certifier means the certifier appointed as the principal certifier for building work or subdivision work under section 6.6(1) or 6.12(1) of the EP&A Act respectively.

Site work means any work that is physically carried out on the land to which the development the subject of this development consent is to be carried out, including but not limited to building work, subdivision work, demolition work, clearing of vegetation or remediation work.

Stormwater drainage system means all works and facilities relating to:

the collection of stormwater,

the reuse of stormwater,

the detention of stormwater,

the controlled release of stormwater, and

connections to easements and public stormwater systems.

Strata certificate means a certificate in the approved form issued under Part 4 of the *Strata Schemes Development Act 2015* that authorises the registration of a strata plan, strata plan of subdivision or notice of conversion.

Subdivision certificate means a certificate that authorises the registration of a plan of subdivision under Part 23 of the *Conveyancing Act 1919*.

Subdivision works certificate means a certificate to the effect that subdivision work completed in accordance with specified plans and specifications will comply with the requirements of the EP&A Regulation.


Sydney district or regional planning panel means SYDNEY WESTERN CITY PLANNING PANEL.

Liverpool City Council Growth Centre Precincts Development Control Plan

The application has been considered against the controls contained in the Liverpool Growth Centre Precincts Development Control Plan (DCP) in particular:

- Part 2: Precinct Planning Outcomes;
- Part 3: Neighbourhood and Subdivision Design;
- Part 4 : **Residential Controls**

The assessment has identified that the proposal generally demonstrates compliance with the DCP requirements. The key controls are discussed in the following tables:

Part 2 Precinct Planning Outcomes		
Development Control	Provision	Comment
2.2 The Indicative Layout Plan (ILP)	All development applications are to be generally in accordance with the Indicative Layout Plan.	<p>Complies on Merit</p> <p>The proposal seeks the following variations to the ILP:</p> <ul style="list-style-type: none"> • Introduction of east west road (proposed road 3) connecting to future Clearfield Avenue extension. • Realignment of Proposed Road 4, 20m to the east of its original position as per the ILP. <p>The original ILP is per the below.</p> 
	When assessing development applications, Council will consider the extent to which the proposed development is consistent with the Indicative Layout Plan.	
	Any proposed variations to the general arrangement of the Indicative Layout Plan must be demonstrated by the applicant, to Council's satisfaction, to be consistent with the Precinct Planning vision in the relevant Precinct Schedule.	
		<ul style="list-style-type: none"> • The introduction of an east west road connection has been provided in response to the natural topography of the site and overland flow paths. The engineering design has catered for pipe

Part 2 Precinct Planning Outcomes		
Development Control	Provision	Comment
		<p>drainage systems within this roadway to cater for local overland flow paths.</p> <ul style="list-style-type: none"> • The introduction of the east west road has also allowed for opportunity for the introduction of north and south orientated lots in addition to more compact corner lots thus improving future built form housing variety. • The shifting of this road 20m to the east has allowed for a variety of housing lots with differing frontages and orientations to be provided. The shorter block dept between proposed roads reduces likelihoods for battle-axe allotments. • An orderly development plan has been provided to confirm that the realignment of the road does not adversely impact on surrounding properties. • Council's Strategic Planning, Traffic and Land Development Engineers have reviewed the realignment and agreed to the revised position. • The variation to the ILP is considered appropriate on a safety viewpoint as it reduces the creation of a 4-way intersection. The dog-leg approach naturally reduces vehicles speeds. <p>Ultimately, pursuant to Control 1.7.3 under the Liverpool Growth Centre Precincts DCP 2021, the proposed road layout is considered to provide a preferable lot layout and road layout and is generally consistent with the ILP.</p>
2.3.1 Flooding	This section controls relating to development on flood prone land	<p>Complies by condition. The site is not identified as flood prone land however is affected by overland flow. Council's Floodplain Management engineering team have reviewed the proposal and provided appropriate conditions of consent.</p>
2.3.2 Water Cycle Management	This section contains controls relating to stormwater management.	<p>Complies by condition. Council Engineers have reviewed the proposal and provided appropriate conditions of consent.</p>
2.3.3 Salinity and Soil Management	This section contains controls relating to salinity and soil management.	<p>Complies by Conditions The site is affected by a moderate level of salinity. Council's Land Development Engineer and Environmental Health officer have reviewed the proposed development and raised no issues subject to conditions of consent. A Salinity Report prepared by GEOTEST SERVICES PTY LTD dated 28 November 2023 (Project Ref PS34034.2_L01) was submitted with the application and provided recommendations. These recommendations have been conditioned for accordingly.</p>

Part 2 Precinct Planning Outcomes		
Development Control	Provision	Comment
2.3.4 Aboriginal and European Heritage	This section contains controls relating to the management of Aboriginal heritage values and to ensure areas identified as European cultural heritage sites or archaeological sites are managed.	Complies by Conditions An Aboriginal Due Diligence Assessment was submitted and considered it unlikely that the site contains any significant heritage. The application was reviewed by Council's Heritage Officer who has no objection to the proposal subject to conditions of consent.
2.3.5 Native Vegetation and Ecology	This section contains controls relating to the conservation and rehabilitation of native vegetation.	Complies The proposed development is consistent with the ILP. Vegetation within the residential zoned area cannot be retained and rehabilitated as the clearing is required for essential infrastructure such as roads and drainage, and the clearing is consistent with the Growth Centres Biodiversity Certification Order.
2.3.6 Bushfire Hazard Management	This section contains controls relating to development on bushfire prone land.	Complies by conditions. The site is mapped as bushfire prone land-vegetation category 3 and vegetation buffer 100m and 30m. The application was referred to the Rural Fire Service who provided comments and conditions.
2.3.7 Site Contamination	This section contains controls relating to development on potentially contaminated land.	Complies by condition Refer to State Environmental Planning Policy (Resilience and Hazards) 2021 section of this report.
2.3.8 Development on and adjacent to electricity and gas easements	This section contains controls relating to development on and adjacent to electricity and gas easements.	Not Applicable The site is not impacted by transmission easements and as such this clause does not apply.
2.3.9 Noise	This section contains controls relating to ensuring acoustic privacy is achieved for future residential development.	Not Applicable The site is not affected by road or railway noise as per Geocortex. However it is to be noted that the site adjoins Fifteenth Avenue which is identified as a future transit boulevard. In this regard, due to the uncertainty of noise impacts from Fifteenth Avenue, the portion of the site adjacent to Fifteenth Avenue has been nominated as a residue lot and hence future built product can address this matter.
2.3.10 Odour Assessment and Control	This section relates to land deemed by Council to be affected by an odour source.	Not Applicable The site is not deemed to be impacted by any odour emitting sources.
2.3.11 Air Quality	This section contains controls relating to preserving air quality in relation to industrial and/or employment development	Not Applicable The DA does not propose industrial or employment development.
2.4 Demolition	This section contains controls relating to demolition of buildings	Complies by Conditions All demolition shall be required to comply with standard conditions of consent for demolition.
2.5 CPTED	This section contains controls relating to the principles of CPTED.	Complies The proposed development is unlikely to contravene the principles of CPTED.

Part 2 Precinct Planning Outcomes		
Development Control	Provision	Comment
2.6 Earthworks & Dam De-watering	This section contains controls relating to earthworks	Complies by Condition This aspect has been reviewed by Council's Land Development Engineers, who have raised no issues to the earthworks, subject to conditions.

Part 3 Neighbourhood and Subdivision Design		
Development Control	Provision	Comment
3.1.1 Residential Density	All applications for residential subdivision and the construction of residential buildings are to demonstrate that the proposal meets the minimum residential density requirements of the relevant Precinct Plan and contributes to meeting the overall dwelling target in the relevant Precinct.	Complies on Merit 15dw/h net developable area = 2.44Ha x 15 = 36.6 dwellings 0.93ha x 25 = 23.1125 Total required is 59.7 dwellings across the entire site inclusive of the R3 portion of the site. The proposal provides for 52 residential lots and 3 residue lots across the entire site. The subject site once fully developed will exceed the minimum density requirement. This has been supported by Council's Strategic Planning section who have noted that increased density is prevalent across the ALN precinct and considered acceptable. The R3 portion has been amended based on Council advice and surround factors to a residue lot. No lots are being provided on this section under this DA (see reasoning in discussion 1)
	Residential development is to be generally consistent with the residential structure as set out in the Residential Structure Figure in the relevant Precinct Schedule, the typical characteristics of the corresponding Density Band in Table 3-1.	Complies The subdivision will facilitate development for detached Lot housing forms, which are typical developments within the 15 dwellings/ha area.
3.1.2 Block and Lot Layout	Minimum Lot size of 300m ² without a Building Envelope Plan	Complies Lots which have an area 300sqm and greater are not required to show a building envelope.
	With BEP in 15dw/ha minimum Lot size is 250m ² With BEP in 25dw/ha minimum lot size is 225sqm	Complies by Condition All Lots between 250sqm and 300sqm provide a Building Envelope Plan and contain a sufficient envelope for the erection of a dwelling house in accordance with Part 4 of this DCP. Restrictions will apply to the title of these Lots for dwellings to be built within the building envelopes.

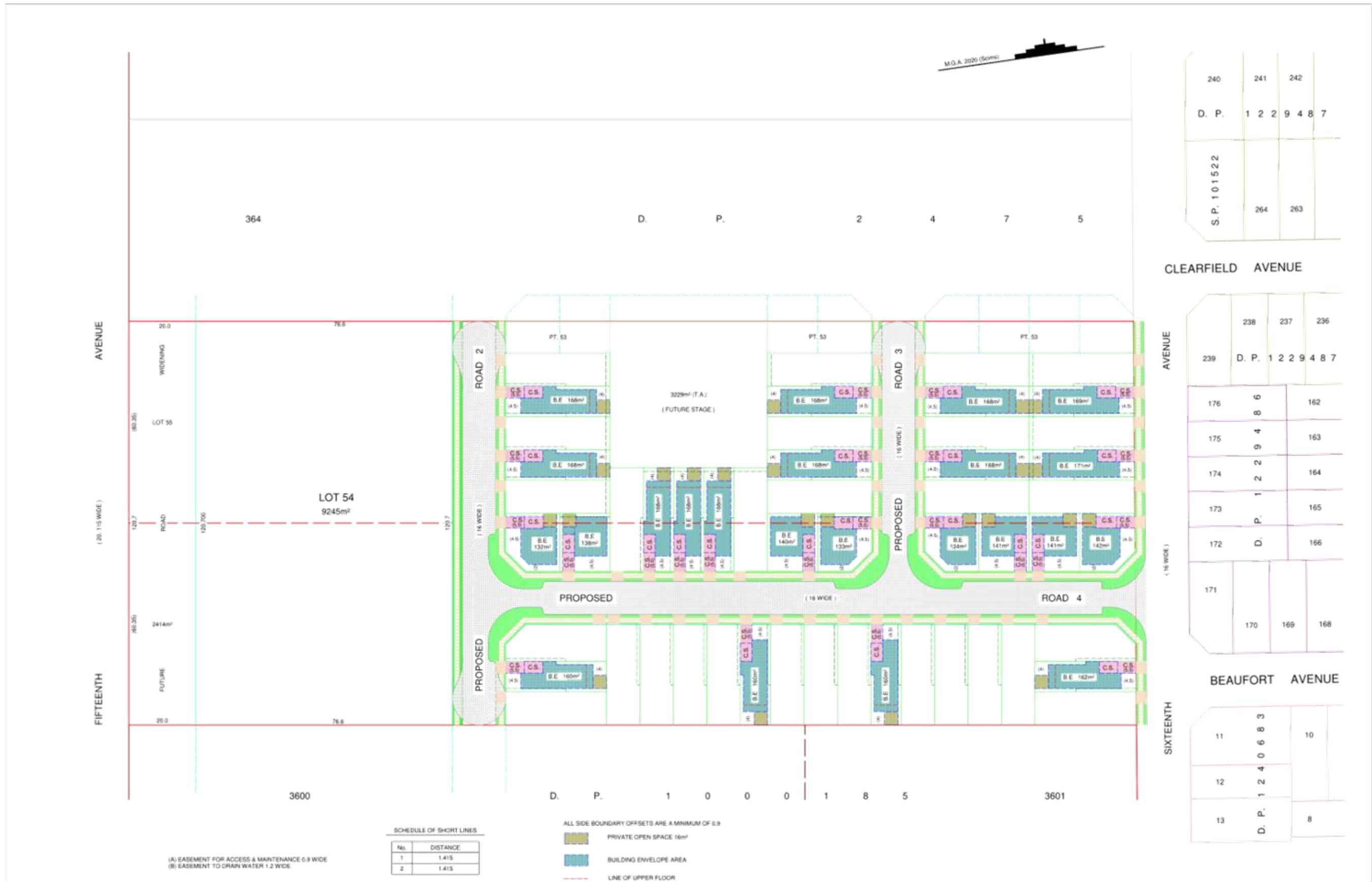
Part 3 Neighbourhood and Subdivision Design		
Development Control	Provision	Comment
		25dw/h area is nominated as residue.
	Minimum frontage width of 9m for front loaded in 15dw/ha. Minimum frontage width of 7m front loaded and 4.5m rear loaded for lots in 20-45 dw/ha.	Complies All Lots within the 15dw/h have a frontage width of 9m or more. 25dw/h area is nominated as residue.
	A range of residential Lot types (area, frontage, depth, zero Lot and access) must be provided to ensure a mix of housing types and dwelling sizes and to create coherent streetscapes with distinctive garden suburban, suburban and urban characters across a neighbourhood.	Complies A range of residential Lot sizes and widths are provided which support a range of housing types consistent with the associated character profile. A variety of dwellings and dwelling types are able to be accommodated.
	In areas with a minimum residential density of ≤ 20 dw/ha no more than 40% of the total residential Lots proposed in any one street block may have a frontage of less than 10m wide.	Complies No proposed streets have more than 40% of lots with frontage less than 10m
	Lots should be rectangular. Where Lots are an irregular shape, they are to be large enough and oriented appropriately to enable dwellings to meet the controls in this DCP.	Complies Most Lots are rectangular in shape and are oriented in accordance with the road layout and are large enough to enable dwelling construction.
	Where a zero Lot line is nominated on an allotment on the subdivision plan, the adjoining (burdened) allotment is to include a 900mm easement for single storey zero Lot walls and 1200mm for two storey zero Lot walls to enable servicing, construction and maintenance of the adjoining dwelling. No overhanging eaves, gutters or services (including rainwater tanks, hot water units, air-conditioning units or the like) of the dwelling on the benefited Lot will be permitted within the easement.	Complies by Condition Zero Lot line easements for access and maintenance have been provided on the plans and are to be conditioned on the consent.
3.1.3 Battle-axe Lots	Subdivision layout should minimise the use of battle-axe Lots without public frontage to resolve residual land issues.	Not Applicable No battle axe allotments are proposed under this application. It is to be noted however that Residue Lot 53 may entail the creation of battle axe lots in future applications however, this is to be assessed when the residue lot is further developed.
3.1.4 Corner Lots	Corner Lots, including splays and driveway location, are to be designed in accordance with AS 2890 and Council's Engineering Specifications.	Complies by Condition This aspect has been reviewed by Council's Land Development Engineers who have raised no objections subject to conditions of consent.
	Corner Lots are to be designed to allow dwellings to positively address both street frontages.	Complies Future dwellings on corner Lots would be able to address both street

Part 3 Neighbourhood and Subdivision Design		
Development Control	Provision	Comment
		frontages however this will be detailed on future built form applications.
	Plans of subdivision are to show the location of proposed or existing substations, kiosks, sewer man holes and/or vents affecting corner Lots.	Complies Civil Plans show potential location of services.
3.1.5 Subdivision in the Environmental Living Zone	Minimum Frontage width 30m (flood affected land)	Not Applicable The site is not in an Environmental Living Zone.
	Minimum Frontage width 20m (non-flood affected land)	
	Consider location of flood-prone land to ensure complying dwellings can be accommodated	
	Protect Existing Native Vegetation and other vegetation within the Environment Protection overlay on the Precinct Indicative Layout Plan.	
	Lot orientation is to not significantly impact on visual character of the locality	
	Lot orientation allows for passive surveillance of public land and infrastructure easements where relevant	
	Any areas of remnant native vegetation or significant trees are to be preserved to the maximum practical extent.	
	Impacts on utilities easements to be avoided during works.	
	Access to easements for maintenance and inspections to be maintained.	
3.2 Subdivision Approval Process	The land subdivision approval process is to be consistent with the requirements of Table 3-4.	Complies The DA complies with Pathway A2 for the R2 zoned portion of the site. It has been conditioned accordingly for all lots below 300sqm to be built in accordance with the approved building envelope plan.
	Building Envelope Plans (BEPs) to provide appropriate details as listed in the DCP.	Complies by Condition All Lots between 225sqm and 300sqm provide a Building Envelope Plans and they contain a sufficient envelope for the erection of a dwelling house in accordance with Part 4 of this DCP. Conditions of consent will also apply to ensure a restriction is placed on title for the BEPs.
	Public Domain Plan to show elements of the Public Domain including Street Trees, vehicular cross-overs, and indicative building footprints.	Complies by condition The features of a public domain plan have been incorporated with the landscaping plans and through the subdivision and architectural plans representing the building envelopes on the site. This is considered to be acceptable.
3.3.1 Street Network Layout	This section contains controls relating to street network layout and design, including requirements for street trees.	Complies by Condition The DA is in generally accordance with the controls for the street network

Part 3 Neighbourhood and Subdivision Design		
Development Control and Design	Provision	Comment
		<p>layout. Road reserve widths are in accordance with ILP (which has been varied) and the DCP. Conditions of consent will be imposed to ensure that correct carriage way widths, verge widths and footpath widths are provided.</p> <p>Landscaping Plan demonstrates street tree plantings and conditions of consent will be applied regarding planting of street trees in accordance with the landscape plan.</p>
3.3.2 Street Furniture	Provides controls for street furniture	Complies by Condition The provision of street trees in the development is acceptable and will be conditioned. All street tree planting is demonstrated in the Landscape plans. The landscape plan has been conditioned to be amended to remove reference to lots within the R3 portion of the site.
3.3.3 Local Area Traffic Management	A Local Area Traffic Management (LATM) plan shall be submitted with any development which involves the opening of a new road(s), or modifications to existing roads. Design solutions shall conform to Austroads Guide to Traffic Management Part 8 (Local Area Traffic Management).	Complies by Condition A LATM has not been submitted with the application. The submission of detailed traffic plans is to be conditioned as part of the consent.
3.3.4 Laneways	Provides controls for laneways	Not Applicable
3.3.5 Shared Driveways	<p>Provides controls for shared driveways</p> <p>Shared driveways are to be constructed as one of three general types, depending on block geometry and garages to be accessed.</p> <p>The driveway crossing the verge between the property boundary and the kerb is to have a maximum width of 5.4 metres.</p> <p>Shared driveways are to have soft landscaped areas on either side, suitable for infiltration.</p>	Not Applicable No shared driveways proposed.
3.3.6 Pedestrian and Cycle Network	This section contains controls relating to the implementation of pedestrian and cycle networks.	Complies by conditions. The site is impacted by a collector road with current access from Fifteenth Avenue and Sixteenth Avenue. It is to be noted that the proposal seeks to remove access from Fifteenth Avenue as this is a proposed transit corridor. All roads will be subject to conditions for the implementation of pedestrian footpaths as noted on submitted plans. No cycleways are proposed for the subject site.
3.3.7 Temporary	Provides controls for Temporary Vehicular Access	Not Applicable

Part 3 Neighbourhood and Subdivision Design		
Development Control	Provision	Comment
Vehicular Access		No temporary roads through adjoining sites are required as the site is not landlocked. Access is gained via Fifteenth Avenue and Sixteenth Avenue. One 5.5m wide temporary road is created over Lot 54 to access Road 1. This road is unlikely to be used in the interim as no development is to occur in this section of the site at present. It is to be noted however that Fifteenth Avenue is identified as a future major arterial road carrying the Rapid Public Transit Corridor and TfNSW encourages limited access into the site to preserve the corridor for future use.
3.3.8 Access to arterial roads, sub-arterial roads & transit boulevards	Provides controls for Temporary Vehicular Access	Complies No access is proposed directly into current arterial roads, current sub-arterial roads and current transit boulevards. It is to be noted that Fifteenth Avenue has been identified as a Rapid Public Transport Corridor.
3.4 Construction Environmental Management	This section contains controls relating to the implementation of a construction environmental management plan.	Complies by Condition Conditions of consent will be imposed ensuring the implementation of a construction environmental management plan, prior to issue of a CC.
DCP Part 4 – Residential Controls.		
4.1.2 Cut and Fill	<p>Maximum 500mm excavation or fill from present surface level of the property</p> <p>Council will assess proposals greater than 500mm having regard to visual impact of the proposed earthworks</p> <p>A validation report is required prior to the placement of imported fill on the site.</p> <p>Retaining walls within allotments are to be not more than 600mm high at any point on the edge of a lot. A combined 1200mm maximum retaining wall height is permissible between 2 lots (2 x 600mm).</p>	<p>Cut and fill is proposed over the site due to the topography over the site resulting in a depression in the middle of the site. Generally, 0.5m to 2m of fill is proposed over the entire site.</p> <p>A total fill volume of 19,204 cubic metres of fill is proposed and 7 cubic metres of cut is proposed.</p> <p>Does not comply however deemed acceptable due to large scale subdivisional works proposed to facilitate delivery of future housing.</p>

DCP Part 4: Residential Controls			
DCP requirement		Proposal	Complies
4.1.1 Site Analysis	Site analysis plan should show existing features of the site and surrounding area.	The applicant has submitted a landscape plan, subdivision plan and survey plan which adequately demonstrates the existing features of the site and surrounding area.	Yes
4.2.1 Summary of key controls	Tables 4-2 to 4-6 contain the main development controls	The proposed Building Envelope Plans demonstrate compliance with table 4-4 & 4-4 as all BEP products proposed meet the criteria	Yes
	Zero lots 15m maximum zero lot boundary		Yes



240	241	242
D. P. 1 2 2 9 4 8 7		
S. P. 101522		
264	263	

238	237	236
D. P. 1 2 2 9 4 8 7		
176	6	162
175	4	163
174	2	164
173	1	165
172	D.	166
171		
170	169	168

11	10
D. P. 1 2 4 0 6 8 9	
12	
13	8

(A) EASEMENT FOR ACCESS & MAINTENANCE 0.9 WIDE
(B) EASEMENT TO DRAIN WATER 1.2 WIDE

No.	DISTANCE
1	1.415
2	1.415

ALL SIDE BOUNDARY OFFSETS ARE A MINIMUM OF 0.9

- PRIVATE OPEN SPACE 16m²
- BUILDING ENVELOPE AREA
- LINE OF UPPER FLOOR

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REGISTERED SURVEYORS CONSULTING ENGINEERS TOWN PLANNERS
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295 - 299 PENNANT HILLS ROAD
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ALL CORRESPONDENCE TO
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web: www.psgraham.com.au
email: ps@psgraham.com.au

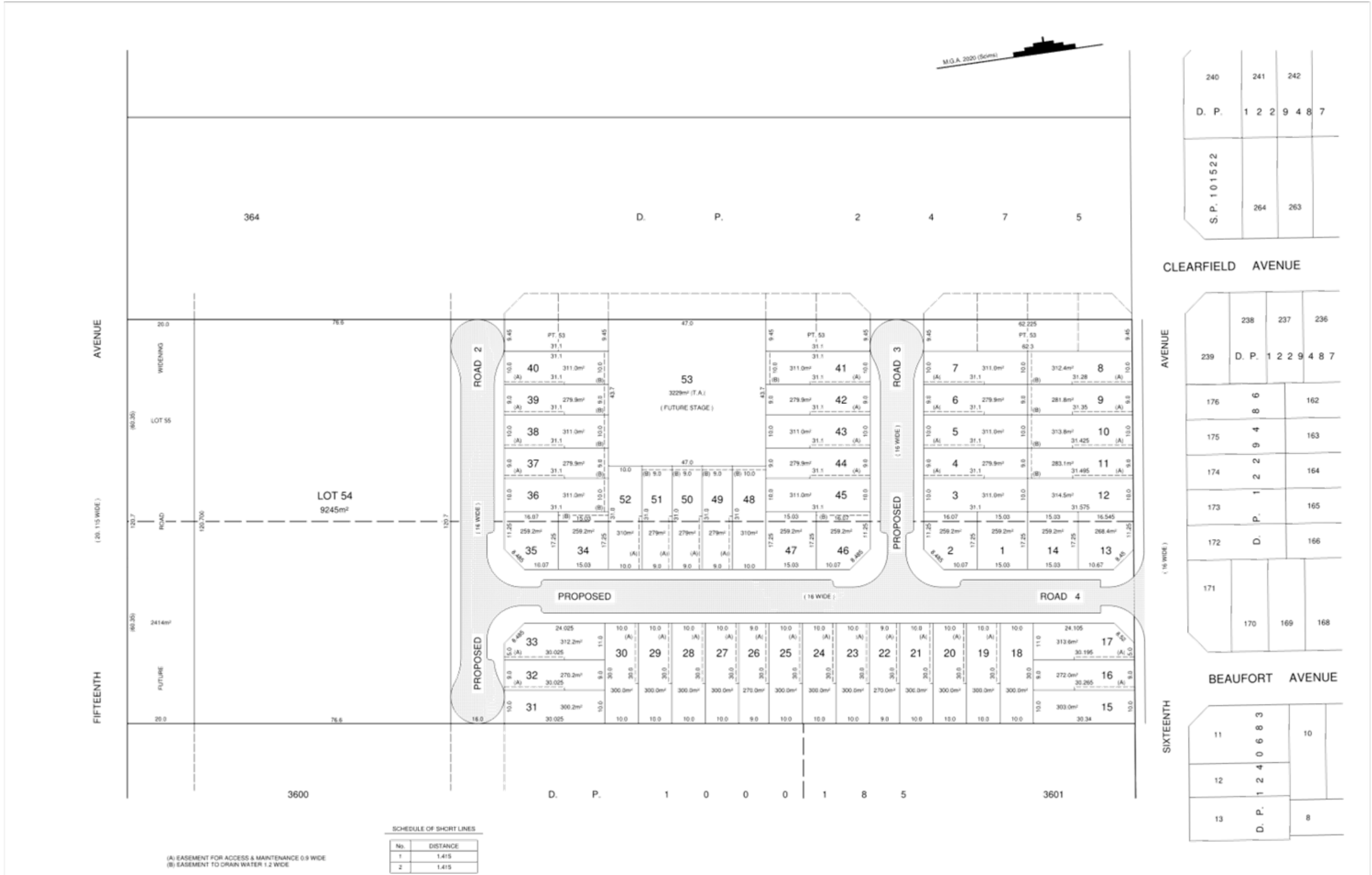
Notes:-

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- No investigation has been made of underground services on and adjacent to the subject land. Please contact the necessary authority prior to commencing works.
- Tree positions and sizes shown are estimated.
- This drawing is subject to copyright. It must not be produced in whole or part without prior written consent of P. S. GRAHAM & ASSOCIATES PTY. LTD

REV	DATE	DESCRIPTION	REV BY
I	20-09-24	LAYOUT UPDATED	S.T.
H	22-03-24	REV. AMENDMENT	H.S.
G	20-12-23	EASEMENT	H.S.
G	31-10-23	LAYOUT UPDATE	H.G.

BUILDING ENVELOPE PLAN FOR PROPOSED SUBDIVISION OF LOTS 362 & 363 IN D.P. 2475
365 - 375 FIFTEENTH AVENUE - AUSTRAL
L.G.A: LIVERPOOL
DATUM: M.G.A. 2020 (Scims)
DATE: 22-03-2024
CAD: S.15856 PROSUB

SCALE: 1:500
SHEET 1 OF 1
REF.No. S.15856
NOTE: DIMENSIONS AND AREAS ARE SUBJECT TO FINAL SURVEY



240	241	242
D. P.	1 2 2 9 4 8 7	
S. P. 101522	264	263

CLEARFIELD AVENUE

238	237	236
D. P.	1 2 2 9 4 8 7	
176	6	162
175	4	163
174	2	164
173	1	165
172	D.	166
171		
170	169	168

BEAUFORT AVENUE

11	10
D. P.	1 2 4 0 6 8 9
12	
13	8

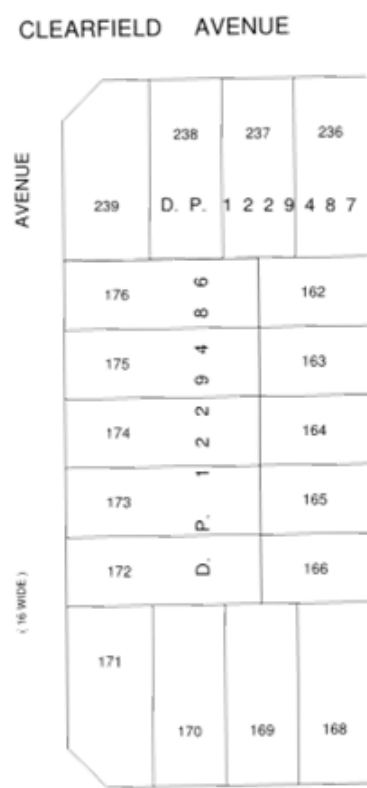
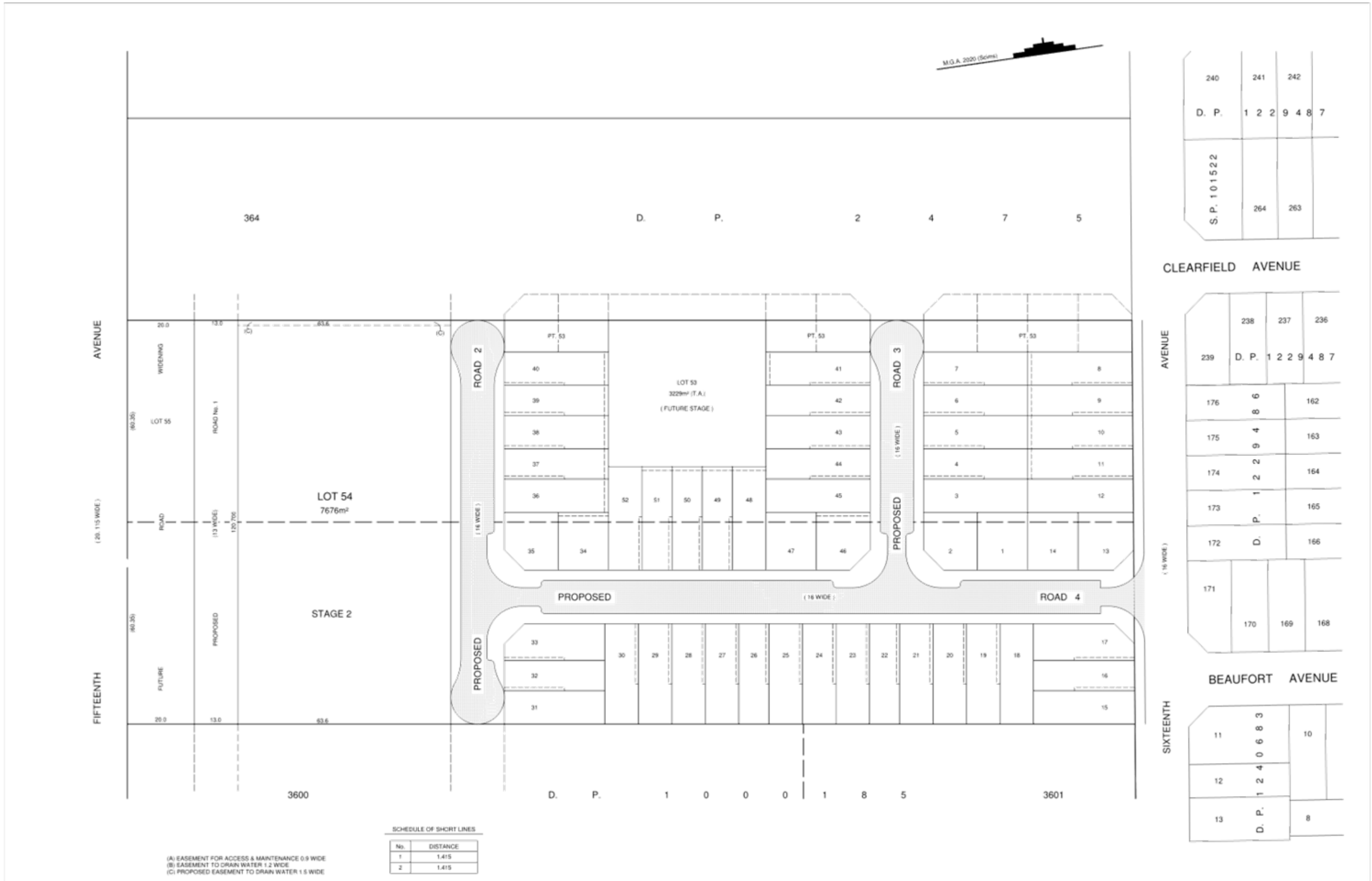
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OFFICE 4, GROUND FLOOR
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THORNLEIGH NSW 2120
PROJECT MANAGEMENT (02) 9484 5121
ALL CORRESPONDENCE TO
P.O. BOX 263 BEECHCROFT NSW 2119
web: www.psgraham.com.au
email: psgr@psgraham.com.au

Notes:-
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H	22-03-24	REV AMENDMENT	H.S.
G	20-12-23	EASEMENT	H.S.
G	31-10-23	LAYOUT UPDATE	H.G.

PLAN OF PROPOSED SUBDIVISION - STAGE 1
OF LOTS 362 & 363 IN D.P. 2475
365 - 375 FIFTEENTH AVENUE - AUSTRAL
L.G.A. LIVERPOOL
DATUM: M.G.A. 2020 (Scims)
DATE: 22-03-2024
CAD: S.15856 PROSUB
NOTE: DIMENSIONS AND AREAS ARE SUBJECT TO FINAL SURVEY

SCALE: 1:500
SHEET 1 OF 2
REF.No. S.15856



SCHEDULE OF SHORT LINES

No.	DISTANCE
1	1.415
2	1.415

- (A) EASEMENT FOR ACCESS & MAINTENANCE 0.9 WIDE
- (B) EASEMENT TO DRAIN WATER 1.2 WIDE
- (C) PROPOSED EASEMENT TO DRAIN WATER 1.5 WIDE

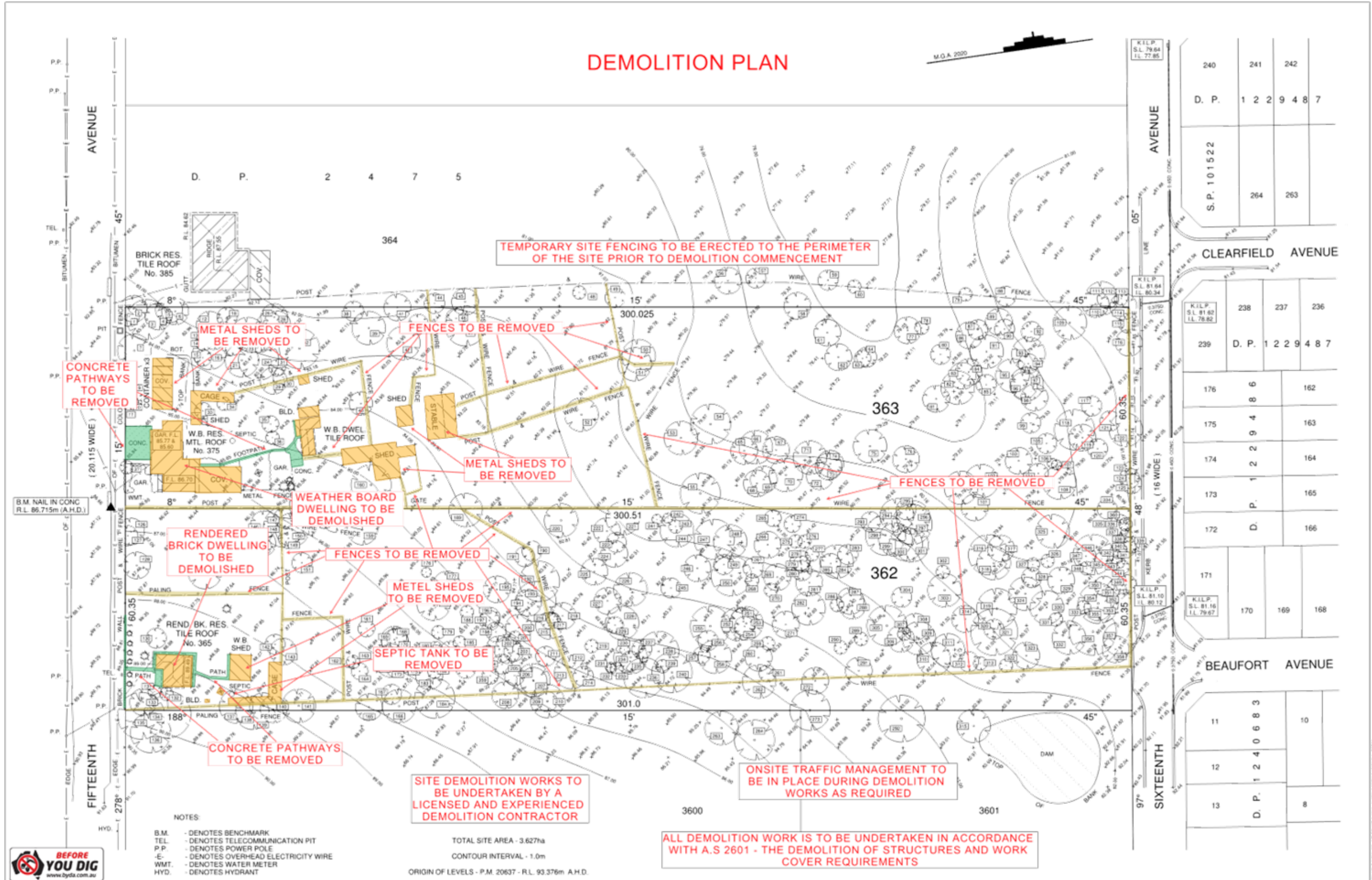
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REV	DATE	DESCRIPTION	REV BY
I	20-09-24	LAYOUT UPDATED	S.T.
H	22-03-24	REV AMENDMENT	H.S.
G	20-12-23	EASEMENT	H.S.
G	31-10-23	LAYOUT UPDATE	H.G.

PLAN OF PROPOSED SUBDIVISION - STAGE 2
OF LOTS 362 & 363 IN D.P. 2475
365 - 375 FIFTEENTH AVENUE - AUSTRAL
L.G.A: LIVERPOOL
DATUM: M.G.A. 2020 (Scims)
DATE: 22-03-2024
CAD: S.15856 PROSUB
NOTE: DIMENSIONS AND AREAS ARE SUBJECT TO FINAL SURVEY

SCALE: 1:500
SHEET 2 OF 2
REF.No. S.15856
REV. I



NOTES
 B.M. - DENOTES BENCHMARK
 TEL - DENOTES TELECOMMUNICATION PIT
 P.P. - DENOTES POWER POLE
 -E- DENOTES OVERHEAD ELECTRICITY WIRE
 W.M.T. - DENOTES WATER METER
 HYD. - DENOTES HYDRANT

TOTAL SITE AREA - 3.627ha
 CONTOUR INTERVAL - 1.0m
 ORIGIN OF LEVELS - P.M. 20637 - R.L. 93.376m A.H.D.



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 3. Tree positions and sizes shown are estimated.
 4. This drawing is subject to copyright. It must not be produced in whole or part without prior written consent of P. S. GRAHAM & ASSOCIATES, PTY, LTD

REV	DATE	DESCRIPTION	REV BY
A	28-04-23	DETAIL SURVEY	M.B.

DETAIL SURVEY OF
 LOTS 362 & 363 IN D.P. 2475
 365 - 375 FIFTEENTH AVENUE - AUSTRAL
 LGA: LIVERPOOL
 DATUM: M.G.A. 2020 / A.H.D.
 DATE: 20-04-23
 CAD: S.15856

NOTE:
 DIMENSIONS AND AREAS ARE SUBJECT TO FINAL SURVEY

SCALE: 1:500
 SHEET 1 OF 2
 REF.No. S.15856

P S GRAHAM & ASSOCIATES PTY LIMITED

REGISTERED SURVEYORS · TOWN PLANNERS · CONSULTING ENGINEERS · PROJECT MANAGEMENT

S.15856

11 February 2025

The General Manager
Liverpool City Council
33 Moore Street
LIVERPOOL NSW 2170

Atten- Mr T Omar

**RE: RESPONSE FOR DEVELOPMENT APPLICATION – DA 177/2024
PROPERTY: 365-375 FIFTEENTH AVENUE - AUSTRAL**

Further to receipt of your email request for additional clarification dated 7th February and our recent discussion, I wish to provide the following response for Council's consideration:-

Planning Matters:-

Clause 35B of the Environmental Planning & Assessment Regulation 2021 is outlined below:-

Additional requirements for development applications involving contravention of development standards

- (1) *This section applies to a development application that proposes, in accordance with a relevant EPI provision, development that contravenes a development standard imposed by any environmental planning instrument.*
- (2) *The development application must be accompanied by a document that sets out the grounds on which the applicant seeks to demonstrate that*
 - (a) *compliance with the development standard is unreasonable or unnecessary in the circumstances, and*
 - (b) *there are sufficient environmental planning grounds to justify the contravention of the development standard.*

The proposed development application has been modified from its original lodgement to include a residue allotment (Lot 54) comprising the R3 zoned land fronting Fifteenth Avenue. The primary aim of the residue allotment is to enable the preparation of a more targeted higher density Development Application for the R3 part of the site for future assessment by Council.

The application initially included the subdivision of small narrow allotments with rear lane access within the R3 zoned section of the site. The associated residential density was 26 allotments within an R3 area of 9245m² providing a resultant density of 28 dwellings per hectare which is compliant within the zone. Figure 1 contains the initial subdivision design submitted with the application.

Liability Limited by a scheme approved under Professional Standards Legislation

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THORNLEIGH NSW 2120

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-2-

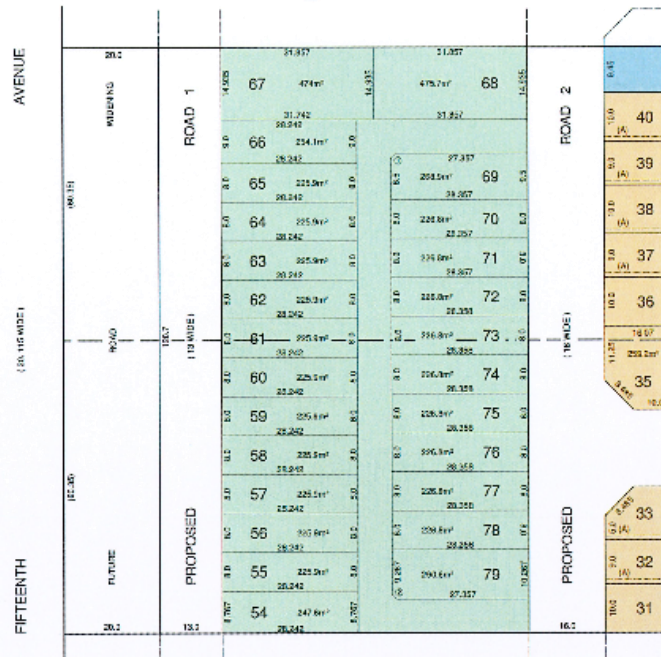


Figure 1 – Subdivision Concept for R3 Land

Significant uncertainty still remains in relation to the road widths and design layout that will be delivered within the Fifteenth Avenue transit corridor. A future more refined Development Application will be better placed to consider the road layout and potential constraints required to be addressed to deliver the best planning outcome for future residents within the locality.

The current application can be conditioned to include a Restriction on the Use of Land for Residue Lot 54 that confirms any future development must be prepared in accordance with the R3 zoning controls outlined in the Liverpool Growth Centre Precincts Development Control Plan and State Environmental Planning Policy (Precincts—Western Parkland City) 2021.

I also wish to reference a Land & Environment Court Approval for DA 902/2022 (No 415 – 425 Fifteenth Avenue) approved by the court on 25th August 2023 for “Subdivision of Land into 43 residential lots and 3 residue lots over two stages with tree removal, road construction and associated site works”. The Court Approved a Residue allotment (Lot 36) that comprises the R3 zoned land adjacent to the future widening of Fifteenth Avenue identical to that proposal within our application.

I advised Council on the 20th September 2024 that after careful consideration we wished to remove the design of narrow allotments within the R3 section of the site until such time as the surrounding infrastructure is further advanced and consideration is given to the best form of housing applicable for the site. We believe that a residential flat building maybe the most suitable development for the R3 zoned land in the future.

-3-

To assist with your review I wish to respond as follows:-

(a) compliance with the development standard is unreasonable or unnecessary in the circumstances

Response

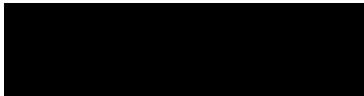
Compliance with the requirements of the R3 development controls within this application for subdivision are unnecessary. A future more detailed application can be considered post confirmation of the finalised detailed design for the recently announced Transit Corridor upgrade by the NSW and Federal Governments that will likely deliver a higher density more tailored solution for the site.

b) there are sufficient environmental planning grounds to justify the contravention of the development standard

Response

The Land & Environment Court Approval for DA 902/2022 on land within 180 metres of the subject site which included a residue allotment comprising the sites R3 zoned land. This decision sets a precedent for the application. Council must consider this consent issued by the court and acknowledge the lack of certainty with respect to the Transit Corridor as justifiable grounds for the approval of a residue parcel.

Yours faithfully



PETER MI GRANAWI
Town Planner MPIA
Registered Surveyor MIS(NSW)
Project Manager
Encls



NOTICE OF DETERMINATION OF A DEVELOPMENT APPLICATION

Application number	DA-177/2024 PAN-424780
Applicant	THE TRUSTEE FOR MERA FIFTEENTH PROPERTY 4/295 -299 PENNANT HILLS RD THORNLEIGH NSW 2120
Description of development	RESIDENTIAL SUBDIVISION OF TWO LOTS INTO 79 LOTS OVER 2 STAGES INCLUDING DEMOLITION OF EXISTING DWELLINGS & STRUCTURES, TREE REMOVAL, ROAD CONSTRUCTION, STORMWATER DRAINAGE, SERVICING, & EARTHWORKS WITHIN LOTS 362 & 363 IN D.P.2475 AT 365 - 375 FIFTEENTH AVENUE, AUSTRAL
Property	365 FIFTEENTH AVENUE AUSTRAL NSW 2179 LOT 362 DP 2475 375 FIFTEENTH AVENUE AUSTRAL NSW 2179 LOT 363 DP 2475
Determination:	Approved Consent Authority - Council
Date of determination	6/03/2025
Date from which the consent operates	6/03/2025
Date on which the consent lapses	6/03/2030

Under section 4.18(1) of the EP&A Act, notice is given that the above development application has been determined by the granting of approved consent using the power in section 4.16(1)(a) of the EP&A Act, subject to the conditions specified in this notice.

Reasons for approval

Right of appeal / review of determination

If you are dissatisfied with this determination:

Request a review

You may request a review of the consent authority's decision under section 8.3(1) of the EP&A Act. The application must be made to the consent authority within 6 months from the date that you received the original determination notice provided that an appeal under section 8.7 of the EP&A Act has not been disposed of by the Court.

Rights to appeal

You have a right under section 8.7 of the EP&A Act to appeal to the Court within 6 months after the date on which the determination appealed against is notified or registered on the NSW planning portal.

The Dictionary at the end of this consent defines words and expressions for the purposes of this consent.

Peer review (Authorising Officer) sign-off is incomplete

sign-off is incomplete

Person on behalf of the consent authority

For further information, please contact Assessing (Contact Officer) sign-off is incomplete / *sign-off is incomplete*

Terms and Reasons for Conditions

Under section 88(1)(c) of the EP&A Regulation, the consent authority must provide the terms of all conditions and reasons for imposing the conditions other than the conditions prescribed under section 4.17(11) of the EP&A Act. The terms of the conditions and reasons are set out below.

General Conditions

1. (A001) Stages of Consent	
This consent approves	
Stage	Development Works
1	Demolition of all structures, tree removal, earthworks, subdivision of 2 lots into 52 residential lots and 3 residue lots (Lot 53, Lot 54 & Lot 55), construction of Road 2, Road 3 & Road 4
2	Construction of temporary access on residue Lot 53 and construction of Road 01
Condition reason: To ensure all parties are aware of the scope and stages of the development.	
2. (A002) Approved plans and supporting documentation	

Development must be carried out in accordance with the following approved plans and documents, except where the conditions of this consent expressly require otherwise.

Plan Name	Drawing Number	Revision	Date
PLAN OF PROPOSED SUBDIVISION - STAGE 1 OF LOTS 362 & 363 IN D.P. 2475 365 - 375 FIFTEENTH AVENUE - AUSTRAL	A1 Sheet 1 of 2	I	20/09/2024
PLAN OF PROPOSED SUBDIVISION - STAGE 2 OF LOTS 362 & 363 IN D.P. 2475 365 - 375 FIFTEENTH AVENUE - AUSTRAL	A1 Sheet 2 of 2	I	20/09/2024
BUILDING ENVELOPE PLAN FOR PROPOSED SUBDIVISION OF LOTS 362 & 363 IN D.P. 2475 365 - 375 FIFTEENTH AVENUE - AUSTRAL	A1 Sheet 1 of 1	I	20/09/2024
BIN STORAGE & PRESENTATION PLAN FOR PROPOSED SUBDIVISION OF LOTS 362 & 363 IN D.P. 2475 365 - 375 FIFTEENTH AVENUE - AUSTRAL	A1 Sheet 1 of 1	A	23/09/2024
DEMOLITION PLAN/DETAIL SURVEY OF LOTS 362 & 363 IN D.P. 2475 365-375 FIFTEENTH AVENUE - AUSTRAL	A1 Sheet 1 of 2	A	29/04/2023

Documents

Report Name	Date	Reference	Prepared By
Preliminary Salinity Assessment Report 365 & 375 Fifteenth Avenue Austral Lots 362 & 363 in DP 2475	28 November 2023	P34034.2_L01	Geotest Services Pty Ltd.
Waste Management Plan & Demolition Statement	February 2024	S.15856	P S Graham & Associates Pty Ltd
Traffic Noise Assessment Report	15 April 2024	7869-1R Rev A	Day Design Pty Ltd
Remedial Action Plan 365 & 375 Fifteenth Avenue, Austral 2179 Lots 362 & 363 in DP 2475	25 January 2024	Project Ref. P34034.1_R02 Version: F01	Geotest Services Pty Ltd.
Bushfire Assessment and Recommendations	7 December 2023	100B – 487	Sydney Bushfire Consultants
Arboricultural Assessment and Tree Protection Plan	-	1.0	Vertical Tree Management & Consultancy Pty Ltd

In the event of any inconsistency between the approved plans and documents, the approved **Documents** prevail.

In the event of any inconsistency with the approved plans and a condition of this consent, the condition prevails.

Condition reason: To ensure all parties are aware of the approved plans and supporting documentation that applies to the development.

3. (A015) General Terms of Approval

All General Terms of Approval issued by Rural Fire Services (dated 5 June 2024) and Transport for New South Wales (dated 20 May), shall be complied with prior, during, and at the completion of construction, as required in accordance with the General Terms of Approval. A copy of the General Terms of Approval are attached to this decision notice.

Condition reason: To ensure General Terms of Approvals are fulfilled in accordance with the relevant agency requirements.

4. (A025) Comply with EP&A Act

	<p>The requirements and provisions of the Environmental Planning & Assessment Act 1979 and Environmental Planning & Assessment Regulation 2021, must be fully complied with at all times.</p> <p>Failure to comply with these legislative requirements is an offence and may result in the commencement of legal proceedings, issuing of 'on-the-spot' penalty infringements or service of a notice and order by Council.</p> <p>Condition reason: This condition is imposed to ensure compliance with legislative requirements.</p>
5.	<p>(A032) Shoring and adequacy of adjoining property</p> <ol style="list-style-type: none"> 1. This section applies to a development consent for development that involves excavation that extends below the level of the base of the footings of a building, structure or work on adjoining land, including a structure or work in a road or rail corridor. 2. It is a condition of the development consent that the person having the benefit of the development consent must, at the person's own expense— <ol style="list-style-type: none"> 1. protect and support the building, structure or work on adjoining land from possible damage from the excavation, and 2. if necessary, underpin the building, structure or work on adjoining land to prevent damage from the excavation. 3. This section does not apply if— <ol style="list-style-type: none"> 1. the person having the benefit of the development consent owns the adjoining land, or 2. the owner of the adjoining land gives written consent to the condition not applying. <p>Condition reason: Prescribed condition under section 74 of the Environmental Planning and Assessment Regulation 2021.</p>
6.	<p>(A050) Works at no cost to Council</p> <p>All roadworks, drainage works and dedications, required to effect the consented development shall be undertaken at no cost to Liverpool City Council.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
7.	<p>(A060) Erection of signs</p> <ol style="list-style-type: none"> 1. This section applies to a development consent for development involving building work, subdivision work or demolition work. 2. It is a condition of the development consent that a sign must be erected in a prominent position on a site on which building work, subdivision work or demolition work is being carried out— <ol style="list-style-type: none"> 1. showing the name, address and telephone number of the principal certifier for the work, and 2. showing the name of the principal contractor, if any, for the building work and a telephone number on which the principal contractor may be contacted outside working hours, and 3. stating that unauthorised entry to the work site is prohibited. 3. The sign must be— <ol style="list-style-type: none"> 1. maintained while the building work, subdivision work or demolition work is being carried out, and 2. removed when the work has been completed. 4. This section does not apply in relation to— <ol style="list-style-type: none"> 1. building work, subdivision work or demolition work carried out inside an existing building, if the work does not affect the external walls of the building, or 2. Crown building work certified to comply with the Building Code of Australia under the Act, Part 6. <p>Condition reason: Prescribed condition under section 70 of the Environmental Planning and Assessment Regulation 2021.</p>
8.	<p>(A130) Council Wastewater Requirements</p> <p>The development must provide for a physical sewerage connection to each created allotment to enable the method of sewage disposal by gravity reticulation mains to either, Sydney Water branch and trunk sewers or Sydney Water point of treatment. Liverpool City Council will not accept any temporary facilities to service the site, including pump-out sewage systems.</p> <p>Condition reason: To promote orderly development supported by adequate infrastructure.</p>
9.	<p>(A951) Fifteenth Avenue Widening Land Requirement</p>

The applicant is to set aside Lot 55 as a residue allotment having a width of 20 metres to facilitate the widening of Fifteenth Avenue resulting in a road corridor width of 40.115 meters, as proposed by the applicant.

Condition reason: To ensure fairness, transparency and probity.

Subdivision Work Before Issue of a Subdivision Work Certificate

10.	<p>(B010) Design amendments</p> <p>Before the issue of a construction certificate, the certifier must ensure the construction certificate plans and specifications detail the following required amendments to the approved plans and documents:</p> <ol style="list-style-type: none"> The landscape plan is to be amended to remove the reference to lots 54 to 79. This area is to be replaced and nominated as a residue lot in accordance with the approved subdivision plans contained at condition A002 <p>Condition reason: To require minor amendments to the plans endorsed by the consent authority following assessment of the development.</p>
11.	<p>(B048) Street Lighting Upgrade</p> <p>The applicant/developer shall engage the services of an Endeavour Energy accredited ASP Level 3 service provider. The consultant is to lodge Endorsement of Public Lighting Design Application Form. The application is available on Council website and can be lodged online.</p> <p>This form is to be used to seek Council requirements for upgrading or installing new street lights at all frontages.</p> <p>Consult Council's Traffic Management Section for streetlight upgrade requirement for infill developments in the existing established areas.</p> <p>The upgrade shall include undergrounding of existing aerial power lines, communication cables and replacement of existing street light poles with Endeavour Energy approved Macarthur Poles as specified by Council in the public lighting design brief.</p> <p>Condition reason: To ensure adequate street lighting is provided for the development.</p>
12.	<p>(B054) Retaining Walls on Boundary</p> <p>All retaining walls shall be of masonry construction and must be wholly within the property boundary, including footings and agricultural drainage lines. Construction of retaining walls or associated drainage works along common boundaries shall not compromise the structural integrity of any existing structures.</p> <p>Where a retaining wall exceeds 600mm in height, the wall shall be designed by a practicing structural engineer and a construction certificate must be obtained prior to commencement of works on the retaining wall.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
13.	<p>(B055) S138 Roads Act - roadworks requiring approval of civil drawings</p>

	<p>Prior to the issue of a Construction Certificate for building or subdivision works the Certifying Authority shall ensure that a S138 Roads Act application, including the payment of application and inspection fees, has been lodged with Liverpool City Council (being the Roads Authority under the Roads Act), for provision of removal of the section of Beaufort Avenue that has been made redundant and construction of kerb and gutter and footpath and associated civil works in Sixteenth Avenue also, 1.5m wide concrete footpath on Sixteenth Avenue.</p> <p>Engineering plans are to be prepared in accordance with the development consent, Liverpool City Council's Design Guidelines and Construction Specification for Civil Works, Austroad Guidelines and best engineering practice.</p> <p>Note: Where Liverpool City Council is the Certifying Authority for the development the Roads Act approval for the above works may be issued concurrently with the Construction Certificate.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
14.	<p>(B075) Fee Payments</p> <p>Unless otherwise prescribed by this consent, all relevant fees or charges must be paid. Where Council does not collect these payments, copies of receipts must be provided. The following fees are applicable and payable:</p> <p>(a) Damage Inspection Fee – relevant where the cost of building work is \$20,000 or more, or a swimming pool is to be excavated by machinery.</p> <p>(b) Fee associated with Application for Permit to Carry Out Work Within a Road, Park and Drainage Reserve.</p> <p>These fees are reviewed annually and will be calculated accordingly.</p> <p>Condition reason: To ensure statutory or associated fees are paid prior to construction commencing.</p>
15.	<p>(B081) Site Development Work</p> <p>Site development work in the form of excavation, underpinning or shoring works must not take place, until such time as a Subdivision Work Certificate has been issued.</p> <p>Condition reason: To prevent unauthorised commencement of building works.</p>
16.	<p>(B095) Long Service Levy</p> <p>Before the issue of a Subdivision Works Certificate, the long service levy must be paid to the Long Service Corporation under the Building and Construction industry Long Service Payments Act 1986, section 34, and evidence of the payment is to be provided to the Principal Certifying Authority</p> <p>Condition reason: To ensure the long service levy is paid.</p>
17.	<p>(B112) Notification</p> <p>In the event that Council is not the Principal Certifier (PC), the PC must advise Council, in writing of:</p> <p>(a) The name and contractor licence number of the licensee who has contracted to do or intends to do the work, or</p> <p>(b) The name and permit of the owner-builder who intends to do the work.</p> <p>If these arrangements are changed, or if a contact is entered into for the work to be done by a different licensee, Council must be immediately informed.</p> <p>Condition reason: To advise Council of the details of licensed contractors or owner-builder for the approved development.</p>
18.	<p>(B135) Provision of Services - Sydney Water</p>

	<p>Prior to the issue of a Subdivision Works Certificate, an application to obtain a Section 73 Compliance Certificate under the Sydney Water Act 1994, is to be lodged with Sydney Water. To facilitate this, an application must be made through an authorised Water Servicing Coordinator. Please refer to the "building and developing" section of Sydney Water's web site at www.sydneywater.com.au, or telephone 13 20 92.</p> <p>Following receipt of the application, a 'Notice of Requirements' will detail water and sewer extensions to be built and charges to be paid. Please make early contact with the Coordinator, since building of water/sewer extensions can be time consuming and may impact on other services and building, driveway or landscape design. A copy of the 'Notice of Requirements' must be submitted to the PCA, prior to the issue of a Subdivision Works Certificate.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
19.	<p>(B136) Provision of Services - Endeavour Energy</p> <p>Prior to the issue of a Subdivision Works Certificate, a written clearance from Endeavour Energy, stating that electrical services have been made available to the development or that arrangements have been entered into for the provision of services to the development must be submitted to the Principal Certifier.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
20.	<p>(B137) Provision of Services - Telecommunications</p> <p>Prior to the issue of a Subdivision Works Certificate, the Principal Certifier shall be satisfied that telecommunications infrastructure may be installed to service the premises which complies with the following requirements of the Telecommunications Act 1997:</p> <ol style="list-style-type: none"> 1. For a fibre ready facility, the NBN Co's standard specifications current at the time of installation, and 2. For a line that is to connect a lot to telecommunications infrastructure external to the premises, the line shall be located underground. <p>Unless otherwise stipulated by telecommunications legislation at the time of construction, the development must be provided with all necessary pits and pipes, and conduits to accommodate the future connection of optic fibre technology telecommunications.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
21.	<p>(B149) S138 Roads Act - Minor Works in the public road</p> <p>Prior to the issue of a Construction Certificate, a Section 138 Roads Act application/s, including payment of fees, shall be lodged with Liverpool City Council, as the Roads Authority for any works required in a public road. These works may include but are not limited to:</p> <ol style="list-style-type: none"> (a) Vehicular crossings (including kerb reinstatement of redundant vehicular crossings), (b) Road opening for utilities and stormwater (including stormwater connection to Council infrastructure), or (c) Road occupancy or road closures. <p>All works shall be carried out in accordance with the Roads Act approval, the development consent including the stamped approved plans, and Liverpool City Council's specifications.</p> <p>Note: Approvals may also be required from the Transport for NSW for classified roads.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
22.	<p>(B158) Construction Traffic Management Plan (CTMP)</p>

A construction traffic management plan (CTMP) prepared by a suitably qualified person is to be submitted to and endorsed by Council's Transport Management Section. The CTMP is to be submitted using Assessment of Construction Traffic Management Plan application form. The application is available on Council website and can be lodged online. Comments on the CTMP will be provided and the updated CTMP are to be implemented during construction.

A copy of the endorsed CTMP and traffic control plans are to be available on the works site for inspection by authorised Council officers.

Construction shall not commence until the assessed construction traffic management plan has been endorsed. The endorsed CTMP is to be implemented during construction.

Condition reason: To ensure that the impact of construction traffic associated with the development on the surrounding road network is minimized.

23. **(B168) Subdivision Work Certificate**

Prior to the issue of a Subdivision Works Certificate for subdivision works the Certifying Authority shall ensure that engineering plans are consistent with plans by C&M Consultant Engineers, reference number 02751, revision 3, dated 11/12/2024 and all subdivision works have been designed in accordance with conditions of this consent, Liverpool City Council's Design Guidelines and Construction Specification for Civil Works, any Roads Act approval issued, Austroad Guidelines and best engineering practice.

The subdivision works may include but are not limited to the following:

- Public and private roads
- Stormwater drainage including water quantity and quality treatment measures
- Interallotment drainage
- Private access driveways
- Sediment and erosion control measures
- Overland flowpaths
- Flood control measures
- Traffic facilities including roundabouts, intersection treatments, car parks, bus stops, cycleways, pathways etc.
- Earthworks
- Bridges, culverts, retaining walls and other structures
- Landscaping and embellishment works
- All works required for the decommissioning temporary OSD systems including pipe removal, basin filling and works to existing pit structures if required

The following is also to be addressed:

i. A copy of the Liverpool City Council Design Certification Report and Design checklist, Annexure DQS-A of Council's *Quality Assurance Requirements for Design specification* is to be completed and submitted with any Subdivision Works Certificate application.

ii. The proposed development and stormwater drainage system shall be designed to ensure that stormwater runoff from upstream properties is collected within and conveyed through the site, without adverse impact on the development and adjoining properties.

iii. Stormwater details and calculations shall be submitted to ensure all pipe sizes will have adequate capacity to convey future upstream post development flows.

iv. Scour protection/energy dissipater device must be provided at the outlet of the drainage structure and/or lines.

v. A cross-section detail of stormwater pipe showing:
a) layer thickness of the bedding zone, haunch zone, backfill and pavement layers

	<p>b) width of trench</p> <p>c) material for the backfill and bedding zone</p> <p>vi. Sediment and erosion control measures, which are to be in accordance with the Protection of the Environment Operations Act 1997 and "Managing Urban Stormwater: Soils and Construction" (also known as "The Blue Book") by the NSW Department – Office of Environment and Heritage.</p> <p>viii. Designs levels are to be coordinated with levels on adjoining sites.</p> <p>ix. A geotechnical report from a suitably qualified geotechnical engineer detailing the subsurface profile together with recommendations for earthworks placement, design CBR, pavement design, any required subgrade improvement, anticipated site classification and recommendations for batter slopes and any retaining structures.</p> <p>x. All services required to adequately service the development are to be shown on the engineering drawings submitted for Subdivision Works Certificate approval including duct configurations, road crossings, water and sewer services, electrical services and light columns positions. Existing services that are to remain are to be adjusted to suit the new levels and works to the satisfaction of the relevant authority.</p> <p>xi. If work is required on neighbouring land, a written consent from property owners shall be submitted to Council.</p> <p>The undergrounding of existing aerial power lines and communications cables for the entire frontage of the development site shall be submitted to Council for review and approval prior to any construction works. The applicant/developer shall engage the services of Endeavour Energy accredited ASP lever 3 service provider to prepare the electrical design and to obtain certification from Endeavour Energy.</p>
	Condition reason: To ensure fairness, transparency and probity.
24.	(B322) Inter-allotment Drainage
	Inter-allotment drainage shall be provided for all lots that are unable to be drained by gravity to the street system. Inter-allotment drainage is to be constructed with a pit located immediately within the lot boundary of each lot created by the subdivision at the lowest point in the line or a maximum pit spacing of 40m.
	Condition reason: To ensure fairness, transparency and probity.
25.	(B360) Construction Environmental Management Plan (CEMP)

<p>Prior to issue of a Subdivision Work Certificate, a Construction Environmental Management Plan (CEMP) for the development must be provided to the Principal Certifying Authority for approval. The environmental site management measures must remain in place and be maintained throughout the period of the development. The CEMP must address all environmental aspects of the development's construction phases, and include (where relevant), but not be limited to, the following:</p> <ol style="list-style-type: none"> 1. Asbestos Management Plan; 2. Project Contact Information; 3. Site Security Details; 4. Timing and Sequencing Information; 5. Site Soil and Water Management Plan; 6. Noise and Vibration Control Plan; 7. Dust Control Plan; 8. Air Monitoring; 9. Odour Control Plan; 10. Health and Safety Plan; 11. Waste Management Plan; 12. Incident management Contingency; and 13. Unexpected Finds Protocol. <p>The CEMP must be kept on site for the duration of the works and must be made available to Council Officers upon request</p> <p>Condition reason: To require details of measures that will protect the public, and the surrounding environment, during site works and construction.</p>																																				
<p>26. (B400) Road design criteria table</p> <p>Prior to the issue of a Construction Certificate the Certifying Authority shall ensure that the proposed roads have been designed in accordance with Liverpool City Council's Design Guidelines and Construction Specification for Civil Works and the following criteria:</p> <table border="1" data-bbox="316 1003 1264 1176"> <thead> <tr> <th>Road No.</th> <th>Road Reserve Width</th> <th>Carriageway Width</th> <th>Verge</th> <th>Footpath (1.5m wide)</th> <th>ESA</th> </tr> </thead> <tbody> <tr> <td>Sixteenth Avenue</td> <td>16m</td> <td>4.5m (half road)</td> <td>3.5m</td> <td>One side</td> <td>3x10⁵</td> </tr> <tr> <td>Road 1</td> <td>13m</td> <td>8m</td> <td>2.1m</td> <td>One side</td> <td>5x10⁴</td> </tr> <tr> <td>Road 2</td> <td>16m</td> <td>10.2m</td> <td>3.05m</td> <td>Both sides</td> <td>3x10⁵</td> </tr> <tr> <td>Road 3</td> <td>16m</td> <td>10.2m</td> <td>3.05m</td> <td>Both sides</td> <td>3x10⁵</td> </tr> <tr> <td>Road 4</td> <td>16m</td> <td>10.2m</td> <td>3.05m</td> <td>Both sides</td> <td>3x10⁵</td> </tr> </tbody> </table> <p>Condition reason: To ensure fairness, transparency and probity.</p>	Road No.	Road Reserve Width	Carriageway Width	Verge	Footpath (1.5m wide)	ESA	Sixteenth Avenue	16m	4.5m (half road)	3.5m	One side	3x10 ⁵	Road 1	13m	8m	2.1m	One side	5x10 ⁴	Road 2	16m	10.2m	3.05m	Both sides	3x10 ⁵	Road 3	16m	10.2m	3.05m	Both sides	3x10 ⁵	Road 4	16m	10.2m	3.05m	Both sides	3x10 ⁵
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<p>27. (B404) Road Safety Audit</p> <p>A Stage 3 (detailed design) Road Safety Audit (RSA) shall be undertaken on the proposed roadworks by an accredited auditor who is independent of the design consultant. A copy of the RSA shall accompany the design plans submitted with the Construction Certificate or Roads Act application.</p> <p>Prior to the issue of the Construction Certificate or Roads Act approval, the Certifying Authority shall ensure that the recommendations of the RSA have been addressed in the final design.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>																																				
<p>28. (B408) Access, Car Parking and Manoeuvring - General</p> <p>The Certifying Authority shall ensure and certify that vehicular access, circulation, manoeuvring, pedestrian and parking areas associated with the subject development have been designed and are in accordance with AS 2890.1, AS2890.2, AS2890.6 and Council's Development Control Plan.</p> <p>Condition reason: To ensure that the design of the facilities is in accordance with the required specifications.</p>																																				
<p>29. (B410) Access, Car Parking and Manoeuvring - Detail</p>																																				

	<p>The Certifying Authority shall ensure and certify that:</p> <ol style="list-style-type: none"> 1. Off street access and parking complies with AS2890.1, 2. Vehicular access and internal manoeuvring have been designed for the longest (B-Double/ Heavy Rigid/ Medium Rigid) vehicle expected to service the development site, in accordance with AS2890.2, 3. Sight distance at the street frontage has been provided in accordance with AS 2890.1, 4. All vehicles can enter and exit the site in a forward direction, and/or 5. Requirements of the Disability Discrimination Act 2002, Disability Standards for Accessible Public Transport and the Guidelines for assessing compliance of bus stops with the Disability Standards for Accessible Public Transport 2002. <p>Condition reason: To ensure that the design of the access arrangement, car parking and maneuvering are in accordance with the required specifications including AS2890.</p>
30.	<p>(B453) No Loading on Easements</p> <p>Prior to the issue of a Construction Certificate the Certifying Authority shall ensure that the foundations of proposed structures adjoining the drainage and/ or services easement have been designed clear of the zone of influence.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
31.	<p>(B456) On-Site Detention</p> <p>On-Site Detention shall be provided generally in accordance with the concept plan/s lodged for development approval, prepared by C&M Consulting Engineers, reference number 02751, revision 3, dated 11/12/2024.</p> <p>The proposed development and stormwater drainage system shall be designed to ensure that stormwater runoff from upstream properties is conveyed through the site without adverse impact on the development or adjoining properties.</p> <p>Engineering plans and supporting calculations for the on-site detention system are to be prepared by a suitably qualified person and shall accompany the application for a Construction Certificate.</p> <p>Prior to the issue of a Construction Certificate the Certifying Authority shall ensure that the on-site detention system has been designed in accordance with Liverpool City Council's Design Guidelines and Liverpool City Council's On-Site Stormwater Detention policy and Technical Specification.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
32.	<p>(B462) Water Quality</p> <p>Prior to the issue of a Construction Certificate, the Certifying Authority shall ensure that details of a stormwater pre-treatment system have been provided on the stormwater plans and that the design meets pollutant retention criteria in accordance Council's Development Control Plan.</p> <p>The Construction Certificate must be supported by:</p> <ol style="list-style-type: none"> (a) Specification & installation details of the stormwater pre-treatment system (b) The approval of an operation and maintenance manual/ schedule for the stormwater pre-treatment system <p>A copy of the approved operation and maintenance manual/ schedule shall be submitted to Liverpool City Council with notification of the Construction Certificate issue.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
33.	<p>(B464) Temporary Access Roads</p> <p>The proposed temporary access road through lot 54 shall be constructed with of permanent quality road construction standard as per Council's Subdivision and Construction specifications. The temporary access road carriageway over lot 54 shall be bounded on both sides by standard kerb and gutter extending with standard geometric returns into the proposed permanent road reserves.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
34.	<p>(B555) Detailed Design Drawings</p>

	<p>The applicant is to discuss with Council's Traffic Management Section of the traffic requirements prior to undertaking the detailed design of traffic facilities, signs and linemarking in the existing and/or proposed public domain.</p> <p>Detailed design drawings of the proposed traffic facilities, signs and line markings in the existing and proposed public domain areas are to be submitted to Council for approval using Approval of Traffic Facilities including Signs and Line Marking Schemes Application Form. The application is available on Council website and should be lodged online. The drawings are to be prepared by a suitably qualified person.</p> <p>Condition reason: To ensure that detailed design of the required traffic facilities is submitted and approved.</p>
35.	<p>(B560) Road Works</p> <p>Works within the public road reserve shall not commence until the design drawings including the associated signs and line marking scheme have been approved by Council's Traffic Management Section.</p> <p>Condition reason: To ensure that works on the public road reserve are approved prior to commencement of works.</p>
36.	<p>(B590) Public Domain Works – Street Lighting</p> <p>The approved street lighting designs are to be implemented along all new and existing streets within the proposed development in accordance with Liverpool City Council standards and to the satisfaction of Council.</p> <p>All street lighting must comply with the service provider Street Lighting Policy and illumination requirements and Council's Street Lighting policy.</p> <p>All cost associated with the installation of street lighting shall be borne by the developer.</p> <p>Condition reason: To ensure adequate street lighting is provided for the development.</p>
37.	<p>(B950) Flooding Requirements</p>

Prior to Issue of Construction Certificate

1) Existing overland flows running through the site shall be captured and managed to ensure that the proposed development does not have adverse flooding impact on adjoining properties (Reference: R02751-FL, Overland Flow Study for 365 & 375 Fifteenth Avenue Austral, Revision: A, dated 14 December 2023, C&M Consulting Engineers Pty Ltd).

2) The stormwater drainage system for the proposed development must account for future developments on upstream properties. The design of the stormwater pipe system shall ensure it has sufficient capacity to handle increased post-development flows from these upstream sources.

3) The proposed development shall be consistent with the Council's design of Basin 17 and its trunk drainage system.

4) During the 1% AEP storm event, the depth of flooding on the road shall not exceed 0.2 meters, and the product of velocity and depth shall not exceed 0.4 square meters per second.

5) Stormwater flows generated from the proposed development site shall be managed using interim on-site detention (OSD) basins as detailed in the stormwater management report (Ref: R02751-SWMP, Stormwater Management Plan for 365 & 375 Fifteenth Avenue Austral, Revision: A, dated December 2023) and accompanying design plans (Ref: Drawing Nos. 02751_201, 02751_202, 02751_651 & 02751_652, Revision: 01, dated: 06/12/2023) by C&M Consulting Engineers Pty Ltd.

The basins shall be designed to ensure that peak post-development discharges from the site do not exceed peak pre-development discharges for the 20%, 5%, and 1% AEP storm events. The design must also demonstrate that the site discharge will drain by gravity to the nominated point of discharge. The interim OSD basin shall be maintained on-site until Basin 17 and the associated trunk drainage system are constructed, and the stormwater networks to the basin are established.

6) Interim on-site water quality treatment facilities shall be provided to ensure that stormwater runoff leaving the site complies with Council's water quality standards, as outlined in the stormwater management report (Ref: R02751-SWMP, Stormwater Management Plan for 365 & 375 Fifteenth Avenue Austral, Revision: A, dated December 2023) and the accompanying design plans (Ref: Drawing Nos. 02751_201, 02751_202, 02751_651 & 02751_652, Revision: 01, dated 06/12/2023) by C&M Consulting Engineers Pty Ltd.

The water quality treatment works shall be designed using MUSIC modelling software, and the performance of the water quality treatment system must be verified using Council's MUSIC link. Interim water quality basins shall be maintained on-site until Basin 17 and the streetscape raingardens are constructed in accordance with Council's masterplan.

7) Interim streetscape silt trap devices shall be provided at the proposed raingarden locations (marked as "Proposed Raingarden Locations" in Schedule 1 - Austral & Leppington North Precinct DCP, 18 June 2021). The design of the silt trap shall be in accordance with interim silt trap device construction details provided in Liverpool Growth Centre Precincts DCP, 18 June 2021, and/or the detailed design of the streetscape raingarden presented in the Development of Streetscape Raingarden Masterplan for Austral and Leppington North.

Condition reason: To ensure fairness, transparency and probity.

Before Subdivision Work Commences

38. (C001) Deliveries

	<p>While site work is being carried out, deliveries of material and equipment must only be carried out between—</p> <p>7:00am to 6:00pm on Monday to Friday</p> <p>8:00am to 1:00pm on Saturday</p> <p>Condition reason: To protect the amenity of neighbouring properties.</p>
39.	<p>(C002) Payment of fees</p> <p>Before any site work commences, the following must be paid to Council and written evidence of these payments provided to the Principal Certifying Authority</p> <ol style="list-style-type: none"> 1. inspection fees <p>Condition reason: To ensure fees are paid for inspections carried out by council in connection with the completion of public work such as footway construction or stormwater drainage required in connection with the consent or the making good of any damage to council property</p>
40.	<p>(C005) Subdivision Work Certificates</p> <p>Prior to the commencement of any subdivision works, the following requirements must be complied with:</p> <ol style="list-style-type: none"> (a) Subdivision Work Certificate must be obtained from the Council or an Accredited Certifier, in accordance with the provisions of the Environmental Planning & Assessment Act 1979, (b) Where a Subdivision Work Certificate is obtained from an Accredited Certifier, the applicant shall advise Council of the name, address and contact number of the Accredited Certifier, in accordance with Section 4.19, 6.6, 6.7, 6.12, 6.13, 6.14 of the Act, (c) A copy of the Subdivision Work Certificate, the approved development consent plans and consent conditions must be kept on the site at all times and be made available to the Council officers and all building contractors for assessment, (d) A Principal Certifier (PC) must be appointed to carry out the necessary inspections and to issue a subdivision certificate, and (e) The PC must advise Council of the intended date to commence work which is the subject of this consent by completing a notice of commencement of building works or subdivision works form, available from Council's Customer Service Centre. A minimum period of two (2) working days' notice must be given. <p>Condition reason: To require approval to proceed with building work.</p>
41.	<p>(C012) Commencement of building works</p> <p>Subdivision work shall not commence prior to the issue of a Subdivision Works Certificate. Subdivision work as defined under Section 1.4 of the Environmental Planning and Assessment Act, 1979 means any physical activity authorised to be carried out in connection with a subdivision under the conditions of a development consent for the subdivision of land.</p> <p>Condition reason: To require approval to proceed with building work.</p>
42.	<p>(C027) Matters to be addressed prior to commencement of Subdivision Works</p> <p>Work on the subdivision shall not commence until:</p> <ol style="list-style-type: none"> (a) a Construction Certificate (if required) has been issued, (b) a Principal Certifying Authority has been appointed for the project, and (c) any other matters prescribed in the development consent for the subdivision and the Environmental Planning and Assessment Act and Regulation have been complied with. <p>A Notice of Commencement is to be submitted to Liverpool City Council two (2) days prior to commencement of engineering works or clearing associated with the subdivision.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
43.	<p>(C055) Site Facilities</p> <p>Adequate refuse disposal methods and builders storage facilities shall be installed on the site. Builders' wastes, materials or sheds are not to be placed on any property other than that which this approval relates to.</p>

	<p>Condition reason: To ensure the required site management measures are implemented before the commencement of building work.</p>
44. (C065) Sydney Water	<p>Development plans must be processed and approved by Sydney Water.</p> <p>Condition reason: To require Sydney Water approval to proceed with building work.</p>
45. (C070) "DIAL BEFORE YOU DIG"	<p>Underground assets may exist in the area that is subject to your application. In the interest of health and safety and in order to protect damage to third party assets please contact Dial before you dig at www.1100.com.au or telephone 1100 before excavating or erecting structures (This is the law in NSW). If alterations are required to the configuration, size, form or design of the development upon contact the Dial before You Dig service, an amendment to the development consent (or a new development application) may be necessary. Individuals owe asset owners a duty of care that must be observed when working in the vicinity of plant or assets. It is the individual's responsibility to anticipate and request the nominal location of plant or assets on the relevant property via contacting the Dial before you dig service in advance of any construction or planning activities.</p> <p>Condition reason: To ensure building works do not impact local underground assets.</p>
46. (C117) Erosion and sediment controls in place	<p>Before any site work commences, The principal certifier, must be satisfied the erosion and sediment controls in the erosion and sediment control plan are in place. These controls must remain in place until any bare earth has been restabilised in accordance with 'Managing Urban Stormwater: Soils and Construction' prepared by Landcom (the Blue Book) (as amended from time to time).</p> <p>Condition reason: To ensure sediment laden runoff and site debris do not impact local stormwater systems and waterways.</p>
47. (C125) Erosion and sediment control plan	<p>Before site work commences, an erosion and sediment control plan must be prepared by a suitably qualified person in accordance with the following documents and provided to the principal certifying authority</p> <ol style="list-style-type: none"> 1. Council's relevant development control plan, 2. the guidelines set out in 'Managing Urban Stormwater: Soils and Construction' prepared by Landcom (the Blue Book) (as amended from time to time), and 3. the 'Do it Right On-Site, Soil and Water Management for the Construction Industry' (Southern Sydney Regional Organisation of Councils and the Natural Heritage Trust) (as amended from time to time). <p>Condition reason: To ensure no substance other than rainwater enters the stormwater system and waterways.</p>
48. (C126) Environmental Management	<p>Adequate soil and sediment control measures shall be installed and maintained. Furthermore, suitable site practices shall be adopted to ensure that only clean and unpolluted waters are permitted to enter Council's stormwater drainage system during construction/demolition. Measures must include, as a minimum:</p> <ol style="list-style-type: none"> 1. Siltation fencing; 2. Protection of the public stormwater system; and 3. Site entry construction to prevent vehicles that enter and leave the site from tracking loose material onto the adjoining public place. <p>Condition reason: To ensure fairness, transparency and probity.</p>
49. (C155) Work Zone	<p>A Works Zone application is required if on-street parking is affected with commuter parking and there is insufficient off-street parking space.</p> <p>A Works Zone Application Form is available on Council website and can be lodged online by attaching all required documents indicated on the application form.</p>

	<p>Condition reason: To ensure that road occupancy is approved by council to minimise traffic impacts on the road.</p>
50.	<p>(C158) Construction Traffic Management Plan (CTMP)</p> <p>A construction traffic management plan (CTMP) prepared by a suitably qualified person is to be submitted to and endorsed by Council's Transport Management Section. The CTMP is to be submitted using Assessment of Construction Traffic Management Plan application form. The application is available on Council website and can be lodged online. Comments on the CTMP will be provided and the updated CTMP are to be implemented during construction.</p> <p>A copy of the endorsed CTMP and traffic control plans are to be available on the works site for inspection by authorised Council officers.</p> <p>Construction shall not commence until the assessed construction traffic management plan has been endorsed. The endorsed CTMP is to be implemented during construction.</p> <p>Condition reason: To ensure that the impact of construction traffic associated with the development on the surrounding road network is minimized.</p>
51.	<p>(C201) Road Occupancy Permit</p> <p>Road occupancy and road opening approvals will be required from Council to undertake works within the existing road reserve. The following applications are available on Council's website and can be lodged online attaching all required documents indicated on the application form.</p> <ul style="list-style-type: none"> • Road Occupancy Application Form • Road Opening Application Form <p>Condition reason: To ensure that road occupancy is approved by council to minimise traffic impacts on the road.</p>
52.	<p>(C205) Traffic Control Plan</p> <p>Prior to commencement of works a Traffic Control Plan including details for pedestrian management, shall be prepared in accordance with AS1742.3 "Traffic Control Devices for Works on Roads" and the Roads and Traffic Authority's publication "Traffic Control at Worksites" and certified by an appropriately accredited Roads and Traffic Authority Traffic Controller.</p> <p>Traffic control measures shall be implemented during the construction phase of the development in accordance with the certified plan. A copy of the plan shall be available on site at all times.</p> <p>Note: A copy of the Traffic Control Plan shall accompany the Notice of Commencement to Liverpool City Council.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
53.	<p>(C250) Notification</p> <p>Notification to surrounding residents is to be undertaken within a 100 metre radius from the site. A letter box drop in the form of an informative pamphlet or the like is to be carried out at least 5 days prior to the event to local residents informing them of the event details and including contact details of the site supervisor for the event.</p> <p>Condition reason: To advise neighbours of the commencement of building works.</p>
54.	<p>(C466) Dilapidation report</p> <p>Before any site work commences, a dilapidation report must be prepared by a suitably qualified engineer detailing the structural condition of adjoining buildings, structures or works and public land, to the satisfaction of the Principal Certifying Authority</p> <p>Where access has not been granted to any adjoining properties to prepare the dilapidation report, the report must be based on a survey of what can be observed externally and demonstrate, in writing, to the satisfaction of the Principal Certifying Authority, that all reasonable steps were taken to obtain access to the adjoining properties.</p> <p>No less than 5 days before any site work commences, adjoining building owner(s) must be provided with a copy of the dilapidation report for their property(ies) and a copy of the report(s) must be provided to Council (where Council is not the principal certifier) at the same time.</p>

	Condition reason: To establish and document the structural condition of adjoining properties and public land for comparison as site work progresses and is completed and ensure neighbours and council are provided with the dilapidation report.
55.	(C560) Road Works
	Works within the public road reserve shall not commence until the design drawings including the associated signs and line marking scheme have been approved by Council's Traffic Management Section.
	Condition reason: To ensure that works on the public road reserve are approved prior to commencement of works.

Before Subdivision Work

56.	(D005) Building Work
	The subdivision works must be inspected by the Principal Certifier (PC), in accordance with Sections 6.5 of the Environmental Planning & Assessment Act 1979, to monitor compliance with the relevant standards of construction, Council's development consent and the subdivision works certificate.
	Condition reason: To require stage inspection and approval by the PC in accordance with EP & A Regulation clause 162A.
57.	(D010) Building Work
	The Principal Certifier (PC) must specify the relevant stages of construction to be inspected and a satisfactory inspection must be carried out, to the satisfaction of the PC, prior to proceeding to the subsequent stages of construction or finalisation of the works.
	Condition reason: To require approval to proceed with building work following each critical stage inspection.
58.	(D038) Toilet Facilities
	Toilet facilities must be available or provided at the work site and must be maintained until the works are completed at a ratio of one toilet plus one additional toilet for every 20 persons employed at the site. Each toilet must:
	(a) be a standard flushing toilet connected to a public sewer, or
	(b) have an on-site effluent disposal system approved under the Local Government Act 1993, or
	(c) be a temporary chemical closet approved under the Local Government Act 1993.
	Condition reason: To ensure the required site management measures are implemented during construction.
59.	(D045) Hours of work
	Site work must only be carried out between the following times – For work/civil work/demolition work, including delivery of materials is only permitted on the site from 7:00am to 6:00pm on Monday to Friday For work/civil work/demolition work, including delivery of materials is only permitted on the site from 8:00am to 1:00pm on Saturday Site work is not to be carried out outside of these times except where there is an emergency, or for urgent work directed by a police officer or a public authority.
	Condition reason: To protect the amenity of the surrounding area.
60.	(D049) Security Fence
	A temporary security fence to WorkCover Authority requirements is to be provided to the property during the course of construction.
	Note: Fencing is not to be located on Council's reserve area.
	Condition reason: To ensure the required site management measures are implemented during construction.
61.	(D055) Refuse Disposal

	<p>Adequate refuse disposal methods and builders storage facilities shall be installed on the site. Builders' wastes, materials or sheds are not to be placed on any property other than that which this approval relates to.</p> <p>Condition reason: To ensure the required site management measures are implemented during construction.</p>
62.	<p>(D063) Craning and Hoardings</p> <p>If the work is likely to cause pedestrian or vehicular traffic in a public area to be obstructed or rendered inconvenient; or if craning of materials is to occur across a public or road reserve area, a separate Road Occupancy Certificate and/or Hoarding approval must be obtained from Liverpool City Council prior to undertaking the works.</p> <p>Condition reason: To ensure the required traffic management measures are implemented during construction.</p>
63.	<p>(D070) Notification of Damage</p> <p>The applicant/ builder shall be responsible to report to the Council of any damage to Council's footpath and road carriageway as a consequence of demolition or excavation or building activities or delivery/ departure of materials associated with this site and maintained the area until completion of the construction activities. Arrangements to the satisfaction of Council are to be made for making safe by temporary repairs to Council's footpath and road carriageway until permanent restoration and repair can be organised with Council at the applicant's cost.</p> <p>Condition reason: To ensure any damage to public infrastructure is rectified.</p>
64.	<p>(D125) General Site Works - Sediment</p> <p>The development, including construction, shall not result in any increase in sediment deposition into any water body, wetland, bushland or environmentally significant land.</p> <p>Condition reason: To minimise impacts to adjacent vegetation and habitat.</p>
65.	<p>(D130) Removal of dangerous and/or hazardous waste</p> <p>All dangerous and/or hazardous material must be removed by a suitably qualified and experienced contractor licensed by SafeWork NSW. The removal of such material must be carried out in accordance with the requirements of SafeWork NSW and the material must be transported and disposed of in accordance with NSW Environment Protection Authority requirements.</p> <p>Condition reason: To ensure safe removal and disposal of dangerous and/or hazardous material.</p>
66.	<p>(D165) Public Domain Works</p> <p>All works within the road reserve, including the approved sign and line making scheme, are to be carried out by the applicant, at no cost to Council, in accordance with the TfNSW/RMS 'Delineation Guidelines'.</p> <p>Condition reason: To ensure that the development covers all required costs associated with the development.</p>
67.	<p>(D170) Council On Street Assets</p> <p>Council's on-street assets and local road network are to be protected and kept in a serviceable state at all times. At the direction of Council, the applicant/project manager shall undertake remediation works, at no cost to Council and to Council's satisfaction.</p> <p>Condition reason: To ensure that the development covers all required costs associated with the development.</p>
68.	<p>(D180) Waste management</p>

	<p>While site work is being carried out:</p> <ol style="list-style-type: none"> 1. all waste management must be undertaken in accordance with the waste management plan; and 2. upon disposal of waste, records of the disposal must be compiled and provided to principal certifier, detailing the following: <ul style="list-style-type: none"> • The contact details of the person(s) who removed the waste; • The waste carrier vehicle registration; • The date and time of waste collection; • A description of the waste (type of waste and estimated quantity) and whether the waste is to be reused, recycled or go to landfill; • The address of the disposal location(s) where the waste was taken; • The corresponding tip docket/receipt from the site(s) to which the waste is transferred, noting date and time of delivery, description (type and quantity) of waste. <p>If waste has been removed from the site under an EPA Resource Recovery Order or Exemption, records in relation to that Order or Exemption must be maintained and provided to the principal certifier and Council.</p>
	<p>Condition reason: To require records to be provided, during site work, documenting the lawful disposal of waste.</p>
69.	<p>(D205) Vegetation - Existing Vegetation</p> <p>All existing trees and areas of native vegetation not identified for removal on approved plans of the proposed development shall be protected from damage during site works. This protection shall consist of 1800mm high protective fencing, securely installed beneath the outer canopy of any tree to be retained. Trees may be fenced off in clusters where it is not practical to fence off individual trees. There shall be no storing materials, washing machinery or changes to existing soil levels within the fenced areas.</p>
	<p>Condition reason: To minimise impacts to adjacent vegetation and habitat.</p>
70.	<p>(D240) Vegetation - Weeds</p> <p>No known environmental weeds or known invasive plant species shall be included in the landscaping or revegetation. Hygiene practices shall be employed to avoid the spread of invasive plants.</p>
	<p>Condition reason: To limit the spread of weeds.</p>
71.	<p>(D241) Footpaths</p> <p>Construction of 1.5m wide by 100mm thick (with one layer of SL72 reinforcing mesh) concrete path paving on both sides of all residential streets, unless where varied by other conditions in this consent.</p>
	<p>Condition reason: To ensure fairness, transparency and probity.</p>
72.	<p>(D250) Vegetation - Mulch</p> <p>Mulch generated from exotic trees or other weed species cleared shall not be used on site. It shall be removed from the site and disposed of appropriately and in accordance with legislative requirements.</p>
	<p>Condition reason: To limit the spread of weeds.</p>
73.	<p>(D255) Vegetation - Imported Soil or Mulch</p> <p>Any imported soil and/or mulch shall be free of contaminants, seed and propagules of weeds and undesirable species. Mulch shall not be used on flood liable land.</p>
	<p>Condition reason: To limit the spread of weeds.</p>
74.	<p>(D265) Vegetation Clearing - Fauna Protection</p> <p>Prior to the removal of each tree, they shall be examined by a qualified ecologist for the presence of hollows, active nests of birds or fauna. The removal of trees with hollows or active nests shall be undertaken under the supervision of a qualified and appropriately licenced ecologist, in a manner recommended by the ecologist. Any native fauna encountered shall be relocated by a qualified ecologist, or member of a wildlife rescue organisation, with necessary permits.</p>
	<p>Condition reason: To minimise harm caused to fauna during vegetation clearing.</p>
75.	<p>(D425) Site Remediation Works</p>

	<p>The site must be remediated in accordance with:</p> <ul style="list-style-type: none"> (a) Remediation Action Plan P34034.1_R02 Version: F01 prepared by Geotest Services Pty Ltd, dated 25 January 2024. (b) State Environmental Planning Policy (Resilience and Hazards) 2021; (c) National Environment Protection (Assessment of Site Contamination) Measure (ASC NEPM, 1999 as amended 2013); and (d) The guidelines in force under the Contaminated Land Management Act 1997. <p>A suitably qualified environmental consultant must be engaged to supervise all aspects of site remediation and validation works in accordance with the approved Remediation Action Plan.</p> <p>Liverpool City Council must be informed in writing of any proposed variation to the remediation works. Liverpool City Council must approve these variations in writing prior to commencement/ recommencement of works.</p> <p>Note: The 'suitably qualified environmental consultant' must be certified under either the Environment Institute of Australia and New Zealand's Certified Environmental Practitioner (Site Contamination) Scheme (CEnvP(SC)) or the Soil Science Australia Certified Professional Soil Scientist Contaminated Site Assessment and Management (CPSS CSAM) Scheme.</p> <p>Condition reason: To ensure the suitability of land for the proposed development.</p>
76.	<p>(D426) Soil management</p> <p>While site work is being carried out, the Principal Certifying Authority must be satisfied all soil removed from or imported to the site is managed in accordance with the following requirements:</p> <ul style="list-style-type: none"> 1. All excavated material removed from the site must be classified in accordance with the EPA's Waste Classification Guidelines before it is disposed of at an approved waste management facility and the classification and the volume of material removed must be reported to the Principal Certifying Authority 2. All fill material imported to the site must be: <ul style="list-style-type: none"> 1. Virgin Excavated Natural Material as defined in Schedule 1 of the <i>Protection of the Environment Operations Act 1997</i>; or 2. a material identified as being subject to a resource recovery exemption by the NSW EPA; or 3. a combination of Virgin Excavated Natural Material as defined in Schedule 1 of the <i>Protection of the Environment Operations Act 1997</i> and a material identified as being subject to a resource recovery exemption by the NSW EPA. <p>Condition reason: To ensure soil removed from the site is appropriately disposed of and soil imported to the site is not contaminated and is safe for future occupants.</p>
77.	<p>(D430) Unidentified Contamination</p> <p>Any new information which arises during remediation, demolition or construction works that has the potential to alter previous conclusions about site contamination and remediation must be immediately notified in writing to the certifier and Liverpool City Council.</p> <p>A section 4.55 Application under the Environmental Planning and Assessment Act 1979 must be made for any proposed works outside the scope of the approved development consent.</p> <p>Condition reason: To ensure the suitability of land for the development.</p>
78.	<p>(D445) Air Quality</p> <p>Dust screens shall be erected and maintained in good repair around the perimeter of the subject land during land clearing, demolition, and construction works.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>

79.	(D450) Air Quality
	During construction where operations involve excavation, filling or grading of land, or removal of vegetation, including ground cover, the consent holder is to ensure dust is suppressed by regular watering until such time as the soil is stabilised to prevent airborne dust transport. Where wind velocity exceeds five knots the Principal Certifier may direct that work is not to proceed.
	Condition reason: To ensure site works are managed appropriately and do not result in air pollution.
80.	(D475) Imported Fill Material
	During construction the consent holder is to ensure fill imported on to the site is be compatible with the existing soil characteristic for site drainage purposes.
	Condition reason: To ensure soils introduced onsite do not result in drainage issues.
81.	(D552) Implementation of the site management plans
	While site work is being carried out:
	<ol style="list-style-type: none"> 1. the measures required by the construction site management plan and the erosion and sediment control plan (plans) must be implemented at all times; and 2. a copy of these plans must be kept on site at all times and made available to Council officers upon request.
	Condition reason: To ensure site management measures are implemented during the carrying out of site work.
82.	(D553) Erosion & Sediment Control
	Erosion and sediment control measures shall remain in place and be maintained until all disturbed areas have been rehabilitated and stabilised. All disturbed areas shall be progressively stabilised and/or revegetated so that no areas remain exposed to potential erosion damage for a period of greater than 14 days.
	Condition reason: To ensure fairness, transparency and probity.
83.	(D554) Erosion & Sediment Control
	The developer is to maintain all adjoining public roads to the site in a clean and tidy state, free of excavated "spoil" material.
	Condition reason: To ensure fairness, transparency and probity.
84.	(D555) Erosion Control - Maintenance
	Sediment and erosion control measures are to be adequately maintained during the works until the establishment of grass.
	Condition reason: To ensure the required site management measures are implemented during construction.
85.	(D560) Erosion Control
	Vehicular access to the site shall be controlled through the installation of wash down bays or shaker ramps to prevent tracking of sediment or dirt onto adjoining roadways. Where any sediment is deposited on adjoining roadways is shall be removed by means other than washing. All material is to be removed as soon as possible and the collected material is to be disposed of in a manner which will prevent its mobilisation.
	Condition reason: To ensure the required site management measures are implemented during construction.
86.	(D565) Water Quality
	During construction the consent holder is to ensure all topsoil, sand, aggregate, spoil or any other material that can be moved by water is stored clear of any drainage line, easement, water body, stormwater drain, footpath, kerb or road surface.
	Condition reason: To ensure site works are managed appropriately and do not result in water pollution.
87.	(D570) Pollution Control - Site Operations

	<p>During construction, building operations including but not limited to brick cutting, mixing mortar and the washing of tools, paint brushes, form-work, concrete trucks and the like must not be performed on the public footway or any other locations which may lead to the discharge of materials into Council's stormwater drainage system.</p> <p>Condition reason: To mitigate potential risks to the environment during construction and facilitate compliance with legislative requirements.</p>
88.	<p>(D574) Pollution Control - Truck Movements</p> <p>The loading and unloading of all vehicles associated with the development must be undertaken within the property boundary of the premises subject to this consent.</p> <p>Measures must be implemented to prevent tracking of sediment by vehicles onto roads.</p> <p>Vehicle loads must be covered when entering and exiting the site with material.</p> <p>Condition reason: To mitigate potential risks to the environment during construction and facilitate compliance with legislative requirements.</p>
89.	<p>(D582) Aboriginal Cultural Heritage - Staff and Contractors</p> <p>All relevant on-site staff and contractors should be made aware of their statutory obligations for heritage under NSW <i>National Parks and Wildlife Act 1974</i> and the NSW <i>Heritage Act 1977</i>. They are to be informed of what the potential heritage on the site will be and its significance. The site supervisor is to maintain a record of who has completed the heritage induction and this is to be provided to Council prior to Issue of Occupation Certificate.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
90.	<p>(D583) Aboriginal Cultural Heritage - Unexpected Finds</p> <p>The National Parks and Wildlife Act 1974 protects all Aboriginal Cultural Heritage in New South Wales. Where a proposal has the potential to impact on Aboriginal Cultural Heritage objects and places, whether the presence is known or not, a permit is to be sought from Heritage NSW.</p> <p>In the event that Aboriginal Cultural Heritage objects or places are encountered/discovered, works must cease immediately and Council and Heritage NSW notified.</p> <p>The finds are to be investigated by an experienced archaeologist and no works are to recommence onsite until approved by Heritage NSW and Liverpool City Council.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
91.	<p>(D584) Skeletal Remains</p> <p>In the event that skeletal remains are uncovered, work must cease immediately in that area and the area secured. NSW Police must be contacted and no further action taken until written advice has been provided by the NSW Police. If the remains are determined to be of Aboriginal origin, the Office of Environment and Heritage must be notified by ringing the Enviroline 131 555 and a management plan prior to works re-commencing must be developed in consultation with relevant Aboriginal stakeholders.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
92.	<p>(D590) Public Domain Works - Street Lighting</p> <p>Street lights are to be installed in accordance with the Endeavour Energy certified plans to their satisfaction.</p> <p>Condition reason: To ensure that the development covers all required costs associated with the development.</p>
93.	<p>(D596) Drainage Connection</p> <p>Prior to the connection of private drainage to Council's drainage system, an inspection is to be carried out by Liverpool City Council's Development Engineering Unit. A fee will be charged in accordance with Council's adopted Fees and Charges, and is to be paid prior to the inspection.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>

94.	(D597) Major Filling/ Earthworks
	All earthworks shall be undertaken in accordance with AS 3798 and Liverpool City Council's Design Guidelines and Construction Specification for Civil Works.
	The level of testing shall be determined by the Geotechnical Testing Authority/ Superintendent in consultation with the Principal Certifying Authority.
	Condition reason: To ensure fairness, transparency and probity.
95.	(D598) Soil testing - Subdivisions
	Soil Testing is to be carried out to enable each lot to be classified according to AS2870 "Residential Slabs and Footings".
	Condition reason: To ensure fairness, transparency and probity.
96.	(D600) Correct waste separation and removal
	All demolition, excavation and construction wastes must be separated as they are generated and kept in separate spoil piles, bays, builder's skips and/or site bins. No wastes other than those noted on the approved waste management plan as being re-used on site, are to be left on site after the completion of the works.
	Condition reason: To ensure that separation of waste by type is undertaken in an ongoing basis throughout the building process, and that the wastes are kept separate and not mixed, to facilitate waste management and recycling.
97.	(D605) Containment of site wastes during building
	All demolition, excavation or construction wastes, e.g. wrapping, packaging materials, bags, insulation, sand, soil etc., must be kept fully enclosed at all times to prevent them from becoming displaced in strong wind conditions or from washing into sewers, storm drains or creeks, or onto adjacent properties or public land during wet weather.
	Condition reason: To ensure that waste materials from the demolition, excavation or construction are kept appropriately contained on site, irrespective of weather conditions, and do not make their way into the environment as pollutants.
98.	(D660) Construction Noise and Vibration
	Noise and vibration associated with excavation, demolition and construction activities shall comply with the management levels detailed within the 'Interim Construction Noise Guideline' published by the Department of Environment and Climate Change NSW (DECC 2009/265) dated July 2009 and acceptable vibration values prescribed within the Environmental Noise Management Assessing Vibration: A Technical Guideline (Department of Environment and Conservation, 2006).
	All feasible and reasonable noise and vibration mitigation measures shall be implemented and any activities which may exceed the construction noise management levels and vibration criteria shall be identified and managed in accordance with the approved Construction Environmental Management Plan (CEMP).
	Condition reason: To protect the amenity of the neighbourhood during construction.
99.	(D662) Demolition of Septic Tank and Effluent Disposal Area
	Any existing effluent disposal area is to be demolished and back filled with Virgin Excavated Natural Material (VENM).
	Any septic tank, collection well or aerated wastewater treatment system is to be removed or reused in accordance with NSW Advisory Note 3 – Destruction, Removal or Reuse of Septic Tanks, Collection Wells and Aerated Wastewater Treatment Systems and other Sewage Management Facility Vessels available from the NSW Health website (www.health.nsw.gov.au).
	Condition reason: To ensure fairness, transparency and probity.
100.	(D664) Contamination

	<p>The development, including all civil works and demolition, must comply with the requirements of the Contaminated Land Management Act 1997, State Environmental Planning Policy (Resilience and Hazards) 2021, Chapter 4, and Managing Land Contamination – Planning Guidelines (Planning NSW/EPA 1998).</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
101.	<p>(D666) Record Keeping of Imported Fill</p> <p>Records of the following must be submitted to the principal certifying authority monthly and at the completion of earth works:</p> <ol style="list-style-type: none"> 1. The course (including the address and owner of the source site), nature and quantity of all incoming loads including the date, the name of the carrier, and the vehicle registration; 2. The results of a preliminary contamination assessment carried out on any fill material used in the development. 3. The results of any chemical testing of fill material. <p>Condition reason: To ensure fairness, transparency and probity.</p>
102.	<p>(D668) Traffic Management</p> <p>Applications must be made to Council's Traffic & Transport Section for any road closures. The applicant is to include a Traffic Control Plan, prepared by a suitably qualified person, which is to include the date and times of closures and any other relevant information.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
103.	<p>(D670) Construction Traffic Management Plan</p> <p>The endorsed Construction Traffic Management Plan is to be implemented during the entire construction phase.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
104.	<p>(D672) Street Trees</p> <p>The street trees to be used can be any or all of the following in the locations as shown on the approved plans;</p> <ul style="list-style-type: none"> • Eleocarpus reticulatus (Blue Berry Ash) • Fraxinus griffithii (Evergreen Ash) • Tristianopsis Laurina (Luscious Water Gum) • Lophostemon Confertus (Brush Box) <p>Each tree is to have a minimum pot size of 100lt or if the approved landscape plan specifies larger, the larger pot size is to be adopted. The tree will need to be formatively pruned so that the tree has a straight trunk clear of any branches to minimum height of 1m above soil level.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>

Before Issue of a Subdivision Certificate

105.	<p>(F015) Linen Plans and 88B Instruments</p> <p>In order to enable a Subdivision Certificate to be issued for submission to the LPI Service, the applicant is required to lodge a separate application along with one (1) original and ten (10) copies of the proposed plan of subdivision and one (1) original and two (2) copies of the proposed 88b instrument (where proposed).</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
106.	<p>(F020) Linen Plans and 88B Instruments</p> <p>The applicant shall pay the standard fee for purpose of subdivision certificate administration of plan checking and release.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
107.	<p>(F030) Linen Plans and 88B Instruments</p>

	<p>The final plan of subdivision must be supported by an 88B Instrument, approved by Council. The 88B instrument shall properly reflect the requirements of the conditions of development consent, the plans forming part of the consent, and Council's standards, codes and policy's. Part 2 of the 88B instrument shall contain a provision that any easements, right of ways or covenants shall not be extinguished or altered without the written consent of Council.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
108.	<p>(F035) Linen Plans and 88B Instruments</p> <p>Where common drainage lines or other drainage lines are required, a drainage easement shall be created in accordance with Council's minimum widths as scheduled in Council's Design Specification for Subdivisions (as amended).</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
109.	<p>(F037) Liverpool City Council clearance - Roads Act/ Local Government Act</p> <p>Prior to the issue of a Subdivision Certificate, the Principal Certifying Authority shall ensure that all works associated with a S138 Roads Act approval or S68 Local Government Act approval have been inspected and signed off by Liverpool City Council.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
110.	<p>(F045) Linen Plans and 88B Instruments</p> <p>Correct notation concerning easements is required. The prepared 88B Instrument should be forwarded initially to Council. The land value of the easement and costs associated with checking the instrument are to be borne by the applicant. Part 2 of the 88B Instrument shall contain a provision that the easement may not be extinguished or altered without the written consent of Council.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
111.	<p>(F070) Linen Plans and 88B Instruments</p> <p>A Restriction as to User over Proposed Lots (53 and 54) is to be created under Section 88B of the Conveyancing Act 1919 in the following terms:</p> <p>No further development of the lot burdened is to take place unless it is approved by a Development Consent. Such approval is likely to require, but not be restricted to, construction of road and drainage works, the provision of lot fill, and payment of Section 7.11 Contributions and Special Infrastructure Contributions.</p> <p>The Restriction as to User may not be extinguished or altered except with the consent of Liverpool City Council.</p> <p>Note: The final wording of the recital of the Restriction as to User is to be to Council's satisfaction.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
112.	<p>(F073) Linen Plans & 88B (Temporary Access Roads)</p> <p>The Temporary Access Road over lot 54 shall have a restrictive covenant preventing sale of the land without Council's permission. Council shall not reasonably withhold permission for removal of the covenant over lot 54 when proper legal access is completed over neighbouring lands and the temporary access road works and services demolished or relocated to Council's satisfaction.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
113.	<p>(F080) Linen Plans and 88B Instruments</p> <p>The final plan of subdivision must be supported by an 88B Instrument. This instrument must burden the corner lots, with a restriction as to user that driveway crossings must not be located closer than 6m to the kerb and gutter tangent point.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
114.	<p>(F082) Linen Plans and 88B Instruments</p>

	<p>The final plan of subdivision must be supported by an 88B Instrument. This instrument must burden with a restriction as to user that the dwellings to be erected on each lot on lots of an area less than 300sqm, being proposed Lots (1, 2, 4, 6, 9, 11, 13,14, 16, 22, 26, 32, 34, 35, 37, 39, 42, 44, 46, 47, 49, 50, 51) are to be sited and constructed in accordance with the approved Building Envelope Plans and notice of determination (Development Consent) issued by Council for Development Application No. (177/2024). Any costs associated with the preparation and checking of the instrument are to be borne by the applicant.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
115.	<p>(F084) Linen Plans and 88B Instruments</p> <p>For any "zero lot" development, the applicant shall create an easement for maintenance and access 900mm wide for single storey development and 1200mm wide for two storey development. The benefitted and burdened lots are identified on the approved plans. A restriction as to user identifying the burdened lots is to be created within the Section 88B Instrument.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
116.	<p>(F086) Linen Plans and 88B Instruments</p> <p>The final plan of subdivision must be supported by an 88B Instrument. This instrument must burden with a restriction as to user and positive covenant over all proposed Lots that:</p> <p>Dark coloured roofing material with low solar reflectivity is prohibited for all future development. All future developments are to include high albedo and high emittance roofing materials and be light coloured.</p> <p>The restriction as to User may not be extinguished or altered except with the consent of Liverpool City Council. Note: The final wording of the recital of the Restriction as to User is to be to Council's satisfaction.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
117.	<p>(F088) Linen Plans and 88B Instruments</p> <p>Prior to the issue of the subdivision certificate a restriction to user and positive covenant relating to the "Temporary On-Site Detention System" shall be registered on proposed Lot 53. The restriction as to user and positive covenant shall be in Liverpool City Council's standard wording as detailed in Liverpool City Council's Design and Construction Guidelines and Construction Specification for Civil Works.</p> <p>The temporary onsite detention (OSD) basin facilities within Lot 53 shall be maintained by the developer until the downstream drainage system is connected to either the district detention basin or to the major trunk drainage system.</p> <p>Council's approval via written consent shall be obtained for the removal of the temporary OSD basin facilities and for undertaking further developments within Lot 53. The temporary on-site water quality control measures shall be maintained until the downstream regional basin is constructed and operational.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
118.	<p>(F090) Street Trees & Tree Planting</p> <p>Prior to the issue of a Subdivision Certificate, street trees are to be planted or an Outstanding Works Bond for Street Tree planting shall be lodged with Liverpool City Council.</p> <p>The Outstanding Works bond will be refunded once the street trees have been planted to Council's satisfaction and a separate Maintenance Bond has been lodged with Liverpool City Council.</p> <p>The value of the bonds shall be determined in accordance with Liverpool City Council's Bond Policy. The bond will be administered in accordance with this policy.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
119.	<p>(F092) Temporary Turning Heads</p>

	<p>Prior to the issue of a Subdivision Certificate, a management plan shall be prepared for the eventual decommissioning of the temporary turning heads. The plan is to include the demolition of all sacrificial works, the construction of any footpath, kerb and gutter and the embellishment of the verge.</p> <p>A schedule of works with quantities and estimates of construction and restoration, including any temporary services shall be provided by a registered quantity surveyor.</p> <p>The Outstanding Works bond will be refunded once the road reserve has been restored to Council's satisfaction and a separate Maintenance Bond has been lodged with Liverpool City Council.</p> <p>The value of the bonds shall be determined in accordance with Liverpool City Council's Bond Policy. The bond will be administered in accordance with this policy.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
120.	<p>(F105) Service Providers</p> <p>The following documentation must be provided before the issue of a subdivision certificate:</p> <p>(a) Written evidence of suitable arrangements with Sydney Water (Section 73 Compliance Certificate) for the supply of water and sewerage services to the development must be submitted to the certifier before the issue of a Subdivision Certificate. Council will not issue a Subdivision Certificate unless the method of sewerage disposal is by gravity reticulation mains to either Sydney Water branch and trunk sewers or Sydney Water point of treatment. Council will not accept any temporary facilities to service the site, including pump-out wet-wells.</p> <p>(b) Notification of arrangement for the development from Endeavour Energy must be submitted to Council.</p> <p>(c) Written certification from the relevant service providers that the telecommunications infrastructure is installed in accordance with:</p> <ul style="list-style-type: none"> i) The requirements of the Telecommunications Act 1997; ii) For a fibre ready facility, the NBN Co's standard specifications current at the time of installation; and iii) For a line that is to connect a lot to telecommunications infrastructure external to the premises, the line must be located underground. <p>Unless otherwise stipulated by telecommunications legislation at the time of construction, the development must be provided with all necessary pits and pipes, and conduits to accommodate the future connections of optic fibre technology telecommunications.</p> <p>Condition reason: To promote orderly development supported by adequate infrastructure.</p>
121.	<p>(F130) Bonds</p> <p>A maintenance bond in the form of a bank guarantee or cash bond, shall be lodged with Council prior to the issue of a subdivision certificate. The bond shall cover maintenance and any damage to roads, drainage lines, public reserves or other council property or works required as a result of work not in accordance with Council's standards, and /or development consent conditions. The bond will be held by Council for a minimum period of 6 months from the date of Council's acceptance of final works.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
122.	<p>(F150) Dilapidation Report</p> <p>Any rectification works required by Council regarding the condition of Council infrastructure shall be undertaken, at full cost to the developer.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
123.	<p>(F160) Validation Report</p>

	<p>Before the issue of a subdivision certificate, a detailed validation report must be submitted to the certifier. The Report must be prepared in accordance with:</p> <ol style="list-style-type: none"> 1. NSW Contaminated Land Planning Guidelines (1998); 2. Relevant EPA guidelines. In particular the Contaminated Land Guidelines – Consultants Reporting on Contaminated Land (NSW EPA 2020); and 3. National Environmental Protection (Assessment of Site Contamination) Measure 1999 (as amended 2013). <p>The Validation Report must be prepared or reviewed and approved by a suitably qualified environmental consultant.</p> <p>The report's cover or title page of the document must include a personalised electronic seal for either the CEnvP(SC) or CPSS CSAM scheme.</p> <p>The Validation report must verify that the land is suitable for the purposed use(s), and that the remediation and validation of the site has been undertaken in accordance with the approved Remediation Action Plan.</p> <p>Note: The 'suitably qualified environmental consultant' must be certified under either the Environment Institute of Australia and New Zealand's Certified Environmental Practitioner (Site Contamination) Scheme (CEnvP(SC)) or the Soil Science Australia Certified Professional Soil Scientist Contaminated Site Assessment and Management (CPSS CSAM) Scheme.</p> <p>Condition reason: To ensure the suitability of land, mitigate potential risks to human health and the environment and facilitate compliance with legislative requirements.</p>
124.	<p>(F162) Remediation Work - Notice of Completion</p> <p>Within thirty (30) days of completion of remediation work, a notice of completion as required to be provided to Council under Clause 4.14 of State Environmental Planning Policy (Resilience and Hazards) 2021, chapter 4, to confirm that the remediation has been carried out in accordance with the Remedial Action Plan, requirement(s) of this consent, and State Environmental Planning Policy (Resilience and Hazards) 2021, chapter 4.</p> <p>The notice of completion of remediation work shall be in writing and prepared in accordance with Clause 4.15 of State Environmental Planning Policy (Resilience and Hazards) 2021, chapter 4.</p> <p>Note: A site audit statement (within the meaning of Part 4 of the Contaminated Land Management Act 1997) may be given in partial compliance with this requirement.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
125.	<p>(F164) Occupational Hygienist Report for Asbestos removal</p> <p>On completion of the asbestos removal works, an Occupational hygienist shall provide documentation in the form of an asbestos clearance certificate to the Principal Certifier.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
126.	<p>(F180) Decommissioning of On-Site Sewage Management System/s</p> <p>Following the decommissioning of the on-site sewage management system and before the issue of a subdivision certificate, a certificate must be submitted to Liverpool City Council certifying that the system was decommissioned in accordance with NSW Health Advisory Note 3 – Destruction, Removal or Reuse of Septic Tanks, Collection Wells and Aerated Wastewater Treatment Systems (AWTS) and other Sewage Management Facilities (SMF). A template decommissioning certificate can be found on Councils website www.liverpool.nsw.gov.au</p> <p>Condition reason: To mitigate potential risks to human health and the environment.</p>
127.	<p>(F200) Completion of Subdivision Works</p> <p>Prior to the issue of a Subdivision Certificate, the Principal Certifying Authority shall ensure that all subdivision works required by this consent have been satisfactorily completed or that suitable arrangements have been made with Liverpool City Council for any outstanding works.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
128.	<p>(F205) Street Naming</p>

	<p>Prior to the issue of a Subdivision Certificate, an application for proposed street names must be lodged with and approved by Liverpool City Council and the signs erected on-site.</p> <p>The proposed names must be in accordance with Council's Street Naming Policy.</p> <p>Notes: Allow eight (8) weeks for notification, advertising and approval.</p> <p>Condition reason: To ensure new street names are approved and displayed in accordance with Council's Street Naming Policy.</p>
129.	<p>(F216) Outstanding Works Bond for Temporary OSD/Stormwater Pre-Treatment Systems</p> <p>Prior to the issue of the Subdivision Certificate an Outstanding Works Bond for the decommissioning of the temporary OSD/Water Quality systems including pipe removal, basin filling and works to existing pit structures shall be lodged with Liverpool City Council.</p> <p>The Outstanding Works bond will be refunded once the OSD/stormwater pre-treatment treatment system works have been decommissioned to Council's satisfaction and a separate Maintenance Bond has been lodged with Liverpool City Council.</p> <p>The value of the bonds shall be determined in accordance with Liverpool City Council's Bond Policy. The bond will be administered in accordance with this policy.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
130.	<p>(F217) Outstanding Works Bond for Temporary Access Roads</p> <p>A management plan shall be prepared for the eventual decommissioning of the temporary access road works. The plan is to include the relocation of any temporary services and shall be signed off by the relevant service authorities, which has elected to utilise the temporary access road corridor over lot 54. A schedule of works with quantities and estimates of construction and restoration, including any temporary services shall be provided.</p> <p>The Outstanding Works bond will be refunded once an alternate public road access has been provided and the temporary access road works have been decommissioned to Council's satisfaction and a separate Maintenance Bond has been lodged with Liverpool City Council.</p> <p>The value of the bonds shall be determined in accordance with Liverpool City Council's Bond Policy. The bond will be administered in accordance with this policy.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
131.	<p>(F225) Linemarking & Signage</p> <p>Prior to the issue of select (an Occupation Certificate / a Subdivision Certificate) and installation of regulatory / advisory linemarking and signage, plans are to be lodged with Liverpool City Council and approved by the Local Traffic Committee.</p> <p>Note: Allow eight (8) weeks for approval by the Local Traffic Committee.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
132.	<p>(F230) Rectification of Damage</p> <p>Prior to the issue of a Subdivision Certificate, any damage to Council infrastructure not identified in the dilapidation report, as a result of the development shall be rectified at no cost to Liverpool City Council.</p> <p>Any rectification works within Fifteenth Avenue or Sixteenth Avenue will require a Roads Act application. The application is to be submitted and approved by Liverpool City Council prior to such works commencing.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
133.	<p>(F235) Subdivision Compliance</p>

Prior to the issue of a Subdivision Certificate the following compliance documentation shall be submitted to the Principal Certifying Authority. A copy of the following documentation shall be provided to Council where Council is not the Principal Certifying Authority:

- a) Work as Executed (WAE) drawings of all civil works. The WAE drawings shall be marked in red on copies of the stamped Construction Certificate drawings signed, certified and dated by a registered surveyor or the design engineer. The Work as Executed drawings shall be prepared in accordance with Council's Design Guidelines. Electronic copies of the WAE shall be provided in DWG format and PDF format to Council along with two hard copies of the WAE plans.
- b) A collation of attribute data is to be provided for all civil works. The data shall be completed in accordance with Councils 'WAE Submission Standard' and the excel template 'Inclusion of Attribute Data'. This standard and excel template can be obtained by contacting Council's Asset Planning & Management Department on 1300 36 2170.
- c) The WAE drawings shall clearly indicate the 1% Annual Exceedance Probability flood lines (local and mainstream flooding).
- d) The WAE drawings shall be accompanied by plans indicating the depth of fill for the entire development site. The plans must show, by various shadings or cross hatchings, the depth of any fill within 0.3m depth ranges.
- e) CCTV footage in DVD format to Council's requirements and a report in "SEWRAT" format for all drainage within future public roads and public land. Inspections are to be carried out in accordance with the Conduit Inspection Reporting Code of Australia WSA 05-2006. Any damage that is identified is to be rectified in consultation with Liverpool City Council.
- f) Surveyor's Certificate certifying that all pipes and services are located wholly within the property or within appropriate easements and that no services encroach boundaries.
- g) Documentation for all road pavement materials used demonstrating compliance with Council Design Guidelines and Construction Specification.
- h) A Geotechnical Report certifying that all earthworks and road formation have been completed in accordance with AS3798 and Council's Design Guidelines and Construction specifications. The report shall include:
 - Compaction reports for road pavement construction
 - Compaction reports for bulk earthworks and lot regrading
 - Verification of any imported fill material
 - Soil classification for all residential lots
 - Statement of Compliance
- i) Structural Engineer's construction certification of all structures

Condition reason: To ensure fairness, transparency and probity.

134. **(F240) Footpaths**

Construction of 1.5m wide by 100mm thick (with one layer of SL72 reinforcing mesh) concrete path paving on one side of all residential access roads and both sides of all collector and distributor roads. Path paving will not be required in minor cul-de-sac with less than fifteen lots.

Condition reason: To ensure fairness, transparency and probity.

135. **(F245) Stormwater Compliance**

	<p>Prior to the issue of an Subdivision Certificate the Principal Certifying Authority shall ensure that the:</p> <p>(a) On-site detention system/s</p> <p>(b) Stormwater pre-treatment system/s</p> <p>Details of the approved and constructed system/s shall be provided as part of the Works-As-Executed drawings.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
136.	<p>(F250) Restriction as to User and Positive Covenant</p> <p>Prior to the issue of a Subdivision Certificate a restriction as to user and positive covenant relating to the:</p> <p>(a) On-site detention system/s</p> <p>(b) Stormwater pre-treatment system/s</p> <p>Shall be registered on the title of the property. The restriction as to user and positive covenant shall be in Liverpool City Council's standard wording as detailed in Liverpool City Council's Design and Construction Guidelines and Construction Specification for Civil Works.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
137.	<p>(F407) Repair of infrastructure</p> <p>Before the issue of a Subdivision Certificate:</p> <ol style="list-style-type: none"> any public infrastructure damaged as a result of the carrying out of work approved under this consent (including damage caused by, but not limited to, delivery vehicles, waste collection, contractors, sub-contractors, concreting vehicles) must be fully repaired to the written satisfaction of Council, and at no cost to Council; or if the works in (a) are not carried out to Council's satisfaction, Council may carry out the works required and the costs of any such works must be paid as directed by Council and in the first instance will be paid using the security deposit required to be paid under this consent. <p>Condition reason: To ensure any damage to public infrastructure is rectified.</p>
138.	<p>(F590) Street Lighting in New Subdivisions</p> <p>The approved street lighting designs are to be implemented along all new and existing streets within the proposed development in accordance with Liverpool City Council standards and to the satisfaction of Council. Endeavour Energy pole numbers and the date poles were energised are to be submitted to Council's Traffic Management Section prior to submitting OC or SC application.</p> <p>All cost associated with the installation of street lighting shall be borne by the developer.</p> <p>Condition reason: To ensure adequate street lighting is provided for the development.</p>

**Land Subdivision
Before Issue of a Construction Certificate**

139.	(B951) Flooding Requirements
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Prior to Issue of Construction Certificate

1) Existing overland flows running through the site shall be captured and managed to ensure that the proposed development does not have adverse flooding impact on adjoining properties (Reference: R02751-FL, Overland Flow Study for 365 & 375 Fifteenth Avenue Austral, Revision: A, dated 14 December 2023, C&M Consulting Engineers Pty Ltd).

2) The stormwater drainage system for the proposed development must account for future developments on upstream properties. The design of the stormwater pipe system shall ensure it has sufficient capacity to handle increased post-development flows from these upstream sources.

3) The proposed development shall be consistent with the Council's design of Basin 17 and its trunk drainage system.

4) During the 1% AEP storm event, the depth of flooding on the road shall not exceed 0.2 meters, and the product of velocity and depth shall not exceed 0.4 square meters per second.

5) Stormwater flows generated from the proposed development site shall be managed using interim on-site detention (OSD) basins as detailed in the stormwater management report (Ref: R02751-SWMP, Stormwater Management Plan for 365 & 375 Fifteenth Avenue Austral, Revision: A, dated December 2023) and accompanying design plans (Ref: Drawing Nos. 02751_201, 02751_202, 02751_651 & 02751_652, Revision: 01, dated: 06/12/2023) by C&M Consulting Engineers Pty Ltd.

The basins shall be designed to ensure that peak post-development discharges from the site do not exceed peak pre-development discharges for the 20%, 5%, and 1% AEP storm events. The design must also demonstrate that the site discharge will drain by gravity to the nominated point of discharge. The interim OSD basin shall be maintained on-site until Basin 17 and the associated trunk drainage system are constructed, and the stormwater networks to the basin are established.

6) Interim on-site water quality treatment facilities shall be provided to ensure that stormwater runoff leaving the site complies with Council's water quality standards, as outlined in the stormwater management report (Ref: R02751-SWMP, Stormwater Management Plan for 365 & 375 Fifteenth Avenue Austral, Revision: A, dated December 2023) and the accompanying design plans (Ref: Drawing Nos. 02751_201, 02751_202, 02751_651 & 02751_652, Revision: 01, dated 06/12/2023) by C&M Consulting Engineers Pty Ltd.

The water quality treatment works shall be designed using MUSIC modelling software, and the performance of the water quality treatment system must be verified using Council's MUSIC link. Interim water quality basins shall be maintained on-site until Basin 17 and the streetscape raingardens are constructed in accordance with Council's masterplan.

7) Interim streetscape silt trap devices shall be provided at the proposed raingarden locations (marked as "Proposed Raingarden Locations" in Schedule 1 - Austral & Leppington North Precinct DCP, 18 June 2021). The design of the silt trap shall be in accordance with interim silt trap device construction details provided in Liverpool Growth Centre Precincts DCP, 18 June 2021, and/or the detailed design of the streetscape raingarden presented in the Development of Streetscape Raingarden Masterplan for Austral and Leppington North.

Condition reason: To ensure fairness, transparency and probity.

Before Issue of an Subdivision Certificate

140. (F006) Payment of Development Contributions

Payment of section 7.11 contributions

Before the release of the first subdivision certificate (Linen Plan), the applicant must pay a total contribution of \$3,538,964.00 as calculated at the date of this consent to Council under section 7.11 of the EP&A Act in accordance with the Austral and Leppington North Contributions Plan 2021

The applicant must pay the following contributions to council for:

Facilities	Amount (\$)	Job No.
Liverpool Contributions Plan 2021 ALN		
Local Community Facilities - Land	\$38,363	GL.3011210001870.10227
Local Recreation - Land	\$1,638,624	GL.3011210001869.10228
Local Recreation - Works	\$467,789	GL.3011210001869.10229
Local Transport Facilities - Land Residential	\$127,764	GL.3011210001865.10230
Local Transport Facilities - Works Residential	\$295,964	GL.3011210001865.10231
Local Transport Facilities - Land Non Residential	\$0	GL.3011210001865.10230
Local Transport Facilities - Works Non Residential	\$0	GL.3011210001865.10231
Local Drainage Facilities - Land	\$397,386	GL.3011210001866.10232
Local Drainage Facilities - Works	\$558,462	GL.3011210001866.10233
Administration	\$14,612	GL.3011210001872.10234
TOTAL	\$3,538,964	

The cost (and consequently the levy amount) must be indexed between the date of DA determination and the date of payment in accordance with the following formula:

$$\text{Indexed development cost (\$)} = (\$Co \times \text{Current PPI}) / \text{Base PPI}$$

Where:

\$Co	<i>is the original development cost estimate assessed at the time of the issue of the development consent</i>
Current PPI	<i>is the Producer Price Index (Building Construction New South Wales) ABS Catalogue No. 6427.30 as published by the Australian Bureau of Statistics at the quarter immediately prior to the date of payment</i>
Base PPI	<i>is the Consumer Price Index (Building Construction New South Wales) ABS Catalogue No. 6427.30 as published by the Australian Bureau of Statistics at the quarter ending immediately prior to the date of imposition of the condition requiring payment of a contribution</i>

Payment of section 7.11 contributions must be made directly to Liverpool City Council.

Contact Liverpool City Council for the current amount payable (contributions are indexed quarterly) on the day of payment.

Contributions can be paid on any date after the issue of this notice of determination, prior to the mandatory timing.

A copy of the development contributions plan is available on Council's website.

Condition reason: To ensure development contributions are paid to address increased demand for public amenities and services or to address increased demand for regional infrastructure or to ensure any planning agreement is finalised at the specified time.

141. **(F007) Special Infrastructure Contribution (SIC)**

	<p>The applicant is to make a special infrastructure contribution in accordance with any determination made by the Minister administering the Environmental Planning and Assessment Act 1979 under Section 7.23 of that Act and is in force on the date of this consent, and must obtain a certificate to that effect from the Department of Planning (Growth Centres Commission) before a subdivision certificate, is issued in relation to any part of the development to which this consent relates.</p> <p>Condition reason: To ensure any SIC is finalised at the specified time.</p>
142.	<p>(F015) Linen Plans and 88B Instruments</p> <p>In order to enable a Subdivision Certificate to be issued for submission to the LPI Service, the applicant is required to lodge a separate application along with one (1) original and ten (10) copies of the proposed plan of subdivision and one (1) original and two (2) copies of the proposed 88b instrument (where proposed).</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
143.	<p>(F020) Linen Plans and 88B Instruments</p> <p>The applicant shall pay the standard fee for purpose of subdivision certificate administration of plan checking and release.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
144.	<p>(F030) Linen Plans and 88B Instruments</p> <p>The final plan of subdivision must be supported by an 88B Instrument, approved by Council. The 88B instrument shall properly reflect the requirements of the conditions of development consent, the plans forming part of the consent, and Council's standards, codes and policy's. Part 2 of the 88B instrument shall contain a provision that any easements, right of ways or covenants shall not be extinguished or altered without the written consent of Council.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
145.	<p>(F035) Linen Plans and 88B Instruments</p> <p>Where common drainage lines or other drainage lines are required, a drainage easement shall be created in accordance with Council's minimum widths as scheduled in Council's Design Specification for Subdivisions (as amended).</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
146.	<p>(F037) Liverpool City Council clearance - Roads Act/ Local Government Act</p> <p>Prior to the issue of a Subdivision Certificate, the Principal Certifying Authority shall ensure that all works associated with a S138 Roads Act approval or S68 Local Government Act approval have been inspected and signed off by Liverpool City Council.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
147.	<p>(F045) Linen Plans and 88B Instruments</p> <p>Correct notation concerning easements is required. The prepared 88B Instrument should be forwarded initially to Council. The land value of the easement and costs associated with checking the instrument are to be borne by the applicant. Part 2 of the 88B Instrument shall contain a provision that the easement may not be extinguished or altered without the written consent of Council.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
148.	<p>(F070) Linen Plans and 88B Instruments</p> <p>A Restriction as to User over Proposed Lots (53 and 54) is to be created under Section 88B of the Conveyancing Act 1919 in the following terms:</p> <p>No further development of the lot burdened is to take place unless it is approved by a Development Consent. Such approval is likely to require, but not be restricted to, construction of road and drainage works, the provision of lot fill, and payment of Section 7.11 Contributions and Special Infrastructure Contributions.</p> <p>The Restriction as to User may not be extinguished or altered except with the consent of Liverpool City Council.</p> <p>Note: The final wording of the recital of the Restriction as to User is to be to Council's satisfaction.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>

149.	<p>(F073) Linen Plans & 88B (Temporary Access Roads)</p> <p>The Temporary Access Road over lot 54 shall have a restrictive covenant preventing sale of the land without Council's permission. Council shall not reasonably withhold permission for removal of the covenant over lot 54 when proper legal access is completed over neighbouring lands and the temporary access road works and services demolished or relocated to Council's satisfaction.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
150.	<p>(F080) Linen Plans and 88B Instruments</p> <p>The final plan of subdivision must be supported by an 88B Instrument. This instrument must burden the corner lots, with a restriction as to user that driveway crossings must not be located closer than 6m to the kerb and gutter tangent point.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
151.	<p>(F082) Linen Plans and 88B Instruments</p> <p>The final plan of subdivision must be supported by an 88B Instrument. This instrument must burden with a restriction as to user that the dwellings to be erected on each lot on lots of an area less than 300sqm, being proposed Lots (1, 2, 4, 6, 9, 11, 13,14, 16, 22, 26, 32, 34, 35, 37, 39, 42, 44, 46, 47, 49, 50, 51) are to be sited and constructed in accordance with the approved Building Envelope Plans and notice of determination (Development Consent) issued by Council for Development Application No. (177/2024. Any costs associated with the preparation and checking of the instrument are to be borne by the applicant.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
152.	<p>(F084) Linen Plans and 88B Instruments</p> <p>For any "zero lot" development, the applicant shall create an easement for maintenance and access 900mm wide for single storey development and 1200mm wide for two storey development. The benefited and burdened lots are identified on the approved plans. A restriction as to user identifying the burdened lots is to be created within the Section 88B Instrument.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
153.	<p>(F086) Linen Plans and 88B Instruments</p> <p>The final plan of subdivision must be supported by an 88B Instrument. This instrument must burden with a restriction as to user and positive covenant over all proposed Lots that:</p> <p>Dark coloured roofing material with low solar reflectivity is prohibited for all future development. All future developments are to include high albedo and high emittance roofing materials and be light coloured.</p> <p>The restriction as to User may not be extinguished or altered except with the consent of Liverpool City Council. Note: The final wording of the recital of the Restriction as to User is to be to Council's satisfaction.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
154.	<p>(F088) Linen Plans and 88B Instruments</p> <p>Prior to the issue of the subdivision certificate a restriction to user and positive covenant relating to the "Temporary On-Site Detention System" shall be registered on proposed Lot 53. The restriction as to user and positive covenant shall be in Liverpool City Council's standard wording as detailed in Liverpool City Council's Design and Construction Guidelines and Construction Specification for Civil Works.</p> <p>The temporary onsite detention (OSD) basin facilities within Lot 53 shall be maintained by the developer until the downstream drainage system is connected to either the district detention basin or to the major trunk drainage system.</p> <p>Council's approval via written consent shall be obtained for the removal of the temporary OSD basin facilities and for undertaking further developments within Lot 53. The temporary on-site water quality control measures shall be maintained until the downstream regional basin is constructed and operational.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
155.	<p>(F090) Street Trees & Tree Planting</p>

	<p>Prior to the issue of a Subdivision Certificate, street trees are to be planted or an Outstanding Works Bond for Street Tree planting shall be lodged with Liverpool City Council.</p> <p>The Outstanding Works bond will be refunded once the street trees have been planted to Council's satisfaction and a separate Maintenance Bond has been lodged with Liverpool City Council.</p> <p>The value of the bonds shall be determined in accordance with Liverpool City Council's Bond Policy. The bond will be administered in accordance with this policy.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
156.	<p>(F092) Temporary Turning Heads</p> <p>Prior to the issue of a Subdivision Certificate, a management plan shall be prepared for the eventual decommissioning of the temporary turning heads. The plan is to include the demolition of all sacrificial works, the construction of any footpath, kerb and gutter and the embellishment of the verge.</p> <p>A schedule of works with quantities and estimates of construction and restoration, including any temporary services shall be provided by a registered quantity surveyor.</p> <p>The Outstanding Works bond will be refunded once the road reserve has been restored to Council's satisfaction and a separate Maintenance Bond has been lodged with Liverpool City Council.</p> <p>The value of the bonds shall be determined in accordance with Liverpool City Council's Bond Policy. The bond will be administered in accordance with this policy.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
157.	<p>(F105) Service Providers</p> <p>The following documentation must be provided before the issue of a subdivision certificate:</p> <p>(a) Written evidence of suitable arrangements with Sydney Water (Section 73 Compliance Certificate) for the supply of water and sewerage services to the development must be submitted to the certifier before the issue of a Subdivision Certificate. Council will not issue a Subdivision Certificate unless the method of sewerage disposal is by gravity reticulation mains to either Sydney Water branch and trunk sewers or Sydney Water point of treatment. Council will not accept any temporary facilities to service the site, including pump-out wet-wells.</p> <p>(b) Notification of arrangement for the development from Endeavour Energy must be submitted to Council.</p> <p>(c) Written certification from the relevant service providers that the telecommunications infrastructure is installed in accordance with:</p> <p>i) The requirements of the Telecommunications Act 1997;</p> <p>ii) For a fibre ready facility, the NBN Co's standard specifications current at the time of installation; and</p> <p>iii) For a line that is to connect a lot to telecommunications infrastructure external to the premises, the line must be located underground.</p> <p>Unless otherwise stipulated by telecommunications legislation at the time of construction, the development must be provided with all necessary pits and pipes, and conduits to accommodate the future connections of optic fibre technology telecommunications.</p> <p>Condition reason: To promote orderly development supported by adequate infrastructure.</p>
158.	<p>(F130) Bonds</p> <p>A maintenance bond in the form of a bank guarantee or cash bond, shall be lodged with Council prior to the issue of a subdivision certificate. The bond shall cover maintenance and any damage to roads, drainage lines, public reserves or other council property or works required as a result of work not in accordance with Council's standards, and /or development consent conditions. The bond will be held by Council for a minimum period of 6 months from the date of Council's acceptance of final works.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
159.	<p>(F150) Dilapidation Report</p>

	<p>Any rectification works required by Council regarding the condition of Council infrastructure shall be undertaken, at full cost to the developer.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
160.	<p>(F160) Validation Report</p> <p>Before the issue of a subdivision certificate, a detailed validation report must be submitted to the certifier. The Report must be prepared in accordance with:</p> <ol style="list-style-type: none"> 1. NSW Contaminated Land Planning Guidelines (1998); 2. Relevant EPA guidelines. In particular the Contaminated Land Guidelines – Consultants Reporting on Contaminated Land (NSW EPA 2020); and 3. National Environmental Protection (Assessment of Site Contamination) Measure 1999 (as amended 2013). <p>The Validation Report must be prepared or reviewed and approved by a suitably qualified environmental consultant.</p> <p>The report's cover or title page of the document must include a personalised electronic seal for either the CEnvP(SC) or CPSS CSAM scheme.</p> <p>The Validation report must verify that the land is suitable for the purposed use(s), and that the remediation and validation of the site has been undertaken in accordance with the approved Remediation Action Plan.</p> <p>Note: The 'suitably qualified environmental consultant' must be certified under either the Environment Institute of Australia and New Zealand's Certified Environmental Practitioner (Site Contamination) Scheme (CEnvP(SC)) or the Soil Science Australia Certified Professional Soil Scientist Contaminated Site Assessment and Management (CPSS CSAM) Scheme.</p> <p>Condition reason: To ensure the suitability of land, mitigate potential risks to human health and the environment and facilitate compliance with legislative requirements.</p>
161.	<p>(F162) Remediation Work - Notice of Completion</p> <p>Within thirty (30) days of completion of remediation work, a notice of completion as required to be provided to Council under Clause 4.14 of State Environmental Planning Policy (Resilience and Hazards) 2021, chapter 4, to confirm that the remediation has been carried out in accordance with the Remedial Action Plan, requirement(s) of this consent, and State Environmental Planning Policy (Resilience and Hazards) 2021, chapter 4.</p> <p>The notice of completion of remediation work shall be in writing and prepared in accordance with Clause 4.15 of State Environmental Planning Policy (Resilience and Hazards) 2021, chapter 4.</p> <p>Note: A site audit statement (within the meaning of Part 4 of the Contaminated Land Management Act 1997) may be given in partial compliance with this requirement.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
162.	<p>(F164) Occupational Hygienist Report for Asbestos removal</p> <p>On completion of the asbestos removal works, an Occupational hygienist shall provide documentation in the form of an asbestos clearance certificate to the Principal Certifier.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
163.	<p>(F180) Decommissioning of On-Site Sewage Management System/s</p> <p>Following the decommissioning of the on-site sewage management system and before the issue of a subdivision certificate, a certificate must be submitted to Liverpool City Council certifying that the system was decommissioned in accordance with NSW Health Advisory Note 3 – Destruction, Removal or Reuse of Septic Tanks, Collection Wells and Aerated Wastewater Treatment Systems (AWTS) and other Sewage Management Facilities (SMF). A template decommissioning certificate can be found on Councils website www.liverpool.nsw.gov.au</p> <p>Condition reason: To mitigate potential risks to human health and the environment.</p>
164.	<p>(F200) Completion of Subdivision Works</p> <p>Prior to the issue of a Subdivision Certificate, the Principal Certifying Authority shall ensure that all subdivision works required by this consent have been satisfactorily completed or that suitable arrangements have been made with Liverpool City Council for any outstanding works.</p>

	Condition reason: To ensure fairness, transparency and probity.
165.	<p>(F205) Street Naming</p> <p>Prior to the issue of a Subdivision Certificate, an application for proposed street names must be lodged with and approved by Liverpool City Council and the signs erected on-site.</p> <p>The proposed names must be in accordance with Council's Street Naming Policy.</p> <p>Notes: Allow eight (8) weeks for notification, advertising and approval.</p> <p>Condition reason: To ensure new street names are approved and displayed in accordance with Council's Street Naming Policy.</p>
166.	<p>(F216) Outstanding Works Bond for Temporary OSD/Stormwater Pre-Treatment Systems</p> <p>Prior to the issue of the Subdivision Certificate an Outstanding Works Bond for the decommissioning of the temporary OSD/Water Quality systems including pipe removal, basin filling and works to existing pit structures shall be lodged with Liverpool City Council.</p> <p>The Outstanding Works bond will be refunded once the OSD/stormwater pre-treatment treatment system works have been decommissioned to Council's satisfaction and a separate Maintenance Bond has been lodged with Liverpool City Council.</p> <p>The value of the bonds shall be determined in accordance with Liverpool City Council's Bond Policy. The bond will be administered in accordance with this policy.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
167.	<p>(F217) Outstanding Works Bond for Temporary Access Roads</p> <p>A management plan shall be prepared for the eventual decommissioning of the temporary access road works. The plan is to include the relocation of any temporary services and shall be signed off by the relevant service authorities, which has elected to utilise the temporary access road corridor over lot 54. A schedule of works with quantities and estimates of construction and restoration, including any temporary services shall be provided.</p> <p>The Outstanding Works bond will be refunded once an alternate public road access has been provided and the temporary access road works have been decommissioned to Council's satisfaction and a separate Maintenance Bond has been lodged with Liverpool City Council.</p> <p>The value of the bonds shall be determined in accordance with Liverpool City Council's Bond Policy. The bond will be administered in accordance with this policy.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
168.	<p>(F225) Linemarking & Signage</p> <p>Prior to the issue of select (an Occupation Certificate / a Subdivision Certificate) and installation of regulatory / advisory linemarking and signage, plans are to be lodged with Liverpool City Council and approved by the Local Traffic Committee.</p> <p>Note: Allow eight (8) weeks for approval by the Local Traffic Committee.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
169.	<p>(F230) Rectification of Damage</p> <p>Prior to the issue of a Subdivision Certificate, any damage to Council infrastructure not identified in the dilapidation report, as a result of the development shall be rectified at no cost to Liverpool City Council.</p> <p>Any rectification works within Fifteenth Avenue or Sixteenth Avenue will require a Roads Act application. The application is to be submitted and approved by Liverpool City Council prior to such works commencing.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
170.	(F235) Subdivision Compliance

Prior to the issue of a Subdivision Certificate the following compliance documentation shall be submitted to the Principal Certifying Authority. A copy of the following documentation shall be provided to Council where Council is not the Principal Certifying Authority:

- a) Work as Executed (WAE) drawings of all civil works. The WAE drawings shall be marked in red on copies of the stamped Construction Certificate drawings signed, certified and dated by a registered surveyor or the design engineer. The Work as Executed drawings shall be prepared in accordance with Council's Design Guidelines. Electronic copies of the WAE shall be provided in DWG format and PDF format to Council along with two hard copies of the WAE plans.
- b) A collation of attribute data is to be provided for all civil works. The data shall be completed in accordance with Councils 'WAE Submission Standard' and the excel template 'Inclusion of Attribute Data'. This standard and excel template can be obtained by contacting Council's Asset Planning & Management Department on 1300 36 2170.
- c) The WAE drawings shall clearly indicate the 1% Annual Exceedance Probability flood lines (local and mainstream flooding).
- d) The WAE drawings shall be accompanied by plans indicating the depth of fill for the entire development site. The plans must show, by various shadings or cross hatching, the depth of any fill within 0.3m depth ranges.
- e) CCTV footage in DVD format to Council's requirements and a report in "SEWRAT" format for all drainage within future public roads and public land. Inspections are to be carried out in accordance with the Conduit Inspection Reporting Code of Australia WSA 05-2006. Any damage that is identified is to be rectified in consultation with Liverpool City Council.
- f) Surveyor's Certificate certifying that all pipes and services are located wholly within the property or within appropriate easements and that no services encroach boundaries.
- g) Documentation for all road pavement materials used demonstrating compliance with Council Design Guidelines and Construction Specification.
- h) A Geotechnical Report certifying that all earthworks and road formation have been completed in accordance with AS3798 and Council's Design Guidelines and Construction specifications. The report shall include:
 - Compaction reports for road pavement construction
 - Compaction reports for bulk earthworks and lot regrading
 - Verification of any imported fill material
 - Soil classification for all residential lots
 - Statement of Compliance
- i) Structural Engineer's construction certification of all structures

Condition reason: To ensure fairness, transparency and probity.

171. **(F240) Footpaths**

Construction of 1.5m wide by 100mm thick (with one layer of SL72 reinforcing mesh) concrete path paving on one side of all residential access roads and both sides of all collector and distributor roads. Path paving will not be required in minor cul-de-sac with less than fifteen lots.

Condition reason: To ensure fairness, transparency and probity.

172. **(F245) Stormwater Compliance**

	<p>Prior to the issue of an Subdivision Certificate the Principal Certifying Authority shall ensure that the:</p> <p>(a) On-site detention system/s</p> <p>(b) Stormwater pre-treatment system/s</p> <p>Details of the approved and constructed system/s shall be provided as part of the Works-As-Executed drawings.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
173.	<p>(F250) Restriction as to User and Positive Covenant</p> <p>Prior to the issue of a Subdivision Certificate a restriction as to user and positive covenant relating to the:</p> <p>(a) On-site detention system/s</p> <p>(b) Stormwater pre-treatment system/s</p> <p>Shall be registered on the title of the property. The restriction as to user and positive covenant shall be in Liverpool City Council's standard wording as detailed in Liverpool City Council's Design and Construction Guidelines and Construction Specification for Civil Works.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
174.	<p>(F407) Repair of infrastructure</p> <p>Before the issue of a Subdivision Certificate:</p> <ol style="list-style-type: none"> any public infrastructure damaged as a result of the carrying out of work approved under this consent (including damage caused by, but not limited to, delivery vehicles, waste collection, contractors, sub-contractors, concreting vehicles) must be fully repaired to the written satisfaction of Council, and at no cost to Council; or if the works in (a) are not carried out to Council's satisfaction, Council may carry out the works required and the costs of any such works must be paid as directed by Council and in the first instance will be paid using the security deposit required to be paid under this consent. <p>Condition reason: To ensure any damage to public infrastructure is rectified.</p>
175.	<p>(F590) Street Lighting in New Subdivisions</p> <p>The approved street lighting designs are to be implemented along all new and existing streets within the proposed development in accordance with Liverpool City Council standards and to the satisfaction of Council. Endeavour Energy pole numbers and the date poles were energised are to be submitted to Council's Traffic Management Section prior to submitting OC or SC application.</p> <p>All cost associated with the installation of street lighting shall be borne by the developer.</p> <p>Condition reason: To ensure adequate street lighting is provided for the development.</p>
176.	<p>(F954) Waste Transport Records</p> <p>Prior to issue of the Subdivision Certificate, both the PCA and Council are to be provided with records of all waste transport and disposal dockets, demonstrating that waste materials from the project have been deposited at the waste facilities nominated in the approved waste management plan.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
177.	<p>(F955) Temporary Turning Heads</p> <p>All temporary turning heads are to be equipped with appropriate signage, at the developers expense, directing that there be 'No Stopping' in the area of the turning head required for truck turning. This signage is to be maintained until the temporary turning head is removed, and the road in question is opened to the free and continuous passage of all traffic.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
178.	<p>(F956) Street Name Allocation</p> <p>The applicant is to contact Council's Strategic Planning Division, at minimum 8 weeks prior to the issue of the subdivision certificate for the allocation of street names for the proposed roads.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
179.	<p>(F958) Linen Plans and 88B Instruments</p>

	<p>The final plan of subdivision must be supported by an 88B Instrument. This instrument must burden with a restriction as to user and positive covenant over all proposed Lots that:</p> <p>Lot 54 is to be developed for residential purposes with no less than 25 dwellings per hectare.</p> <p>The restriction as to User may not be extinguished or altered except with the consent of Liverpool City Council. Note: The final wording of the recital of the Restriction as to User is to be to Council's satisfaction.</p>
	<p>Condition reason: To ensure fairness, transparency and probity.</p>
180.	<p>(F953) Linen Plans and 88B Instruments</p> <p>A Restriction as to User over Proposed Lot 53 is to be created under Section 88B of the Conveyancing Act 1919 in the following terms:</p> <p>Proposed Lot 53 is to remain as a residue lot and the lot is not to be sold until the temporary basin has been decommissioned (which includes removal of pipe/s and structures associated with the basin construction, and basin filling).</p> <p>The Restriction as to User may not be extinguished or altered except with the consent of Liverpool City Council.</p> <p>Note: The final wording of the recital of the Restriction as to User is to be to Council's satisfaction.</p>
	<p>Condition reason: To ensure fairness, transparency and probity.</p>
181.	<p>(F957) Linen Plans and 88B Instruments</p> <p>The final plan of subdivision must be supported by an 88B Instrument. This instrument must burden with a restriction as to user and positive covenant over all proposed Lots that:</p> <p>Lot 53 is to remain a residue parcel until consolidation and development with the adjoining property (385 Fifteenth Avenue) occurs. No development is to occur on Lot 53 until public road access via the extension of Clearfield Avenue is available.</p> <p>The restriction as to User may not be extinguished or altered except with the consent of Liverpool City Council. Note: The final wording of the recital of the Restriction as to User is to be to Council's satisfaction.</p>
	<p>Condition reason: To ensure fairness, transparency and probity.</p>

Demolition Work Before Demolition Work Commences

183.	<p>(C004) Asbestos removal signage</p> <p>Before demolition work commences involving the removal of asbestos, a standard commercially manufactured sign containing the words 'DANGER: Asbestos removal in progress' (measuring not less than 400mm x 300mm) must be erected in a prominent position at the entry point/s of the site and maintained for the entire duration of the removal of the asbestos.</p>
	<p>Condition reason: To alert the public to any danger arising from the removal of asbestos</p>
184.	<p>(C040) Demolition Works</p>

	<p>Demolition works shall be carried out in accordance with the following:</p> <p>(a) Prior to the commencement of any works on the land, a detailed demolition work plan designed in accordance with the Australian Standard AS 2601-2001 – The Demolition of Structures, prepared by a suitably qualified person with suitable expertise or experience, shall be submitted to and approved by Council and shall include the identification of any hazardous materials, method of demolition, precautions to be employed to minimise any dust nuisance and the disposal methods for hazardous materials.</p> <p>(b) Prior to commencement of any works on the land, the demolition Contractor(s) licence details must be provided to Council.</p> <p>(c) The handling or removal of any asbestos product from the building/site must be carried out by a SafeWork NSW licensed contractor irrespective of the size or nature of the works. Under no circumstances shall any asbestos on site be handled or removed by a non-licensed person. The licensed contractor shall carry out all works in accordance with SafeWork NSW requirements.</p> <p>Condition reason: To ensure that the demolition of buildings is carried out without impacting on public and environmental safety.</p>
185.	<p>(C042) Disconnection of services before demolition work</p> <p>Before demolition work commences, all services, such as water, telecommunications, gas, electricity and sewerage, must be disconnected in accordance with the relevant authority's requirements.</p> <p>Condition reason: To protect life, infrastructure and services</p>
186.	<p>(C044) Hazardous material survey before demolition</p> <p>Before demolition work commences, a hazardous materials survey of the site must be prepared by a suitably qualified person and a report of the survey results must be provided to council at least one week before demolition commences.</p> <p>Hazardous materials include, but are not limited to, asbestos materials, synthetic mineral fibre, roof dust, PCB materials and lead based paint.</p> <p>The report must include at least the following information:</p> <ol style="list-style-type: none"> 1. the location of all hazardous material throughout the site 2. a description of the hazardous material 3. the form in which the hazardous material is found, e.g. AC sheeting, transformers, contaminated soil, roof dust 4. an estimation of the quantity of each hazardous material by volume, number, surface area or weight 5. a brief description of the method for removal, handling, on-site storage and transportation of the hazardous materials 6. identification of the disposal sites to which the hazardous materials will be taken <p>Condition reason: To require a plan for safely managing hazardous materials</p>
187.	<p>(C046) Notice of commencement for demolition</p> <p>At least one week before demolition work commences, written notice must be provided to council and the occupiers of neighbouring premises of the work commencing. The notice must include:</p> <ol style="list-style-type: none"> 1. name 2. address, 3. contact telephone number, 4. licence type and license number of any demolition waste removal contractor and, if applicable, asbestos removal contractor, and 5. the contact telephone number of council and 6. the contact telephone number of SafeWork NSW (4921 2900). <p>Condition reason: To advise neighbours about the commencement of demolition work and provide contact details for enquiries</p>
188.	<p>(C048) Site preparation</p>

	<p>Before demolition work commences the following requirements, as specified in the approved demolition management plan, must be in place until the demolition work and demolition waste removal are complete:</p> <ol style="list-style-type: none"> 1. Protective fencing and any hoardings to the perimeter on the site 2. Access to and from the site 3. Construction traffic management measures 4. Protective measures for on-site tree preservation and trees in adjoining public domain 5. Onsite temporary toilets 6. A garbage container with a tight-fitting lid <p>Condition reason: To ensure fairness, transparency and probity.</p>
189.	<p>(C055) Site Facilities</p> <p>Adequate refuse disposal methods and builders storage facilities shall be installed on the site. Builders' wastes, materials or sheds are not to be placed on any property other than that which this approval relates to.</p> <p>Condition reason: To ensure the required site management measures are implemented before the commencement of building work.</p>
190.	<p>(C117) Erosion and sediment controls in place</p> <p>Before any site work commences, The principal certifier, must be satisfied the erosion and sediment controls in the erosion and sediment control plan are in place. These controls must remain in place until any bare earth has been stabilised in accordance with 'Managing Urban Stormwater: Soils and Construction' prepared by Landcom (the Blue Book) (as amended from time to time).</p> <p>Condition reason: To ensure sediment laden runoff and site debris do not impact local stormwater systems and waterways.</p>
191.	<p>(C126) Environmental Management</p> <p>Adequate soil and sediment control measures shall be installed and maintained. Furthermore, suitable site practices shall be adopted to ensure that only clean and unpolluted waters are permitted to enter Council's stormwater drainage system during construction/demolition. Measures must include, as a minimum:</p> <ol style="list-style-type: none"> 1. Siltation fencing; 2. Protection of the public stormwater system; and 3. Site entry construction to prevent vehicles that enter and leave the site from tracking loose material onto the adjoining public place. <p>Condition reason: To ensure fairness, transparency and probity.</p>
192.	<p>(C250) Notification</p> <p>Notification to surrounding residents is to be undertaken within a 100 metre radius from the site. A letter box drop in the form of an informative pamphlet or the like is to be carried out at least 5 days prior to the event to local residents informing them of the event details and including contact details of the site supervisor for the event.</p> <p>Condition reason: To advise neighbours of the commencement of building works.</p>
193.	<p>(C466) Dilapidation report</p> <p>Before any site work commences, a dilapidation report must be prepared by a suitably qualified engineer detailing the structural condition of adjoining buildings, structures or works and public land, to the satisfaction of the Principal Certifying Authority</p> <p>Where access has not been granted to any adjoining properties to prepare the dilapidation report, the report must be based on a survey of what can be observed externally and demonstrate, in writing, to the satisfaction of the Principal Certifying Authority, that all reasonable steps were taken to obtain access to the adjoining properties.</p> <p>No less than 5 days before any site work commences, adjoining building owner(s) must be provided with a copy of the dilapidation report for their property(ies) and a copy of the report(s) must be provided to Council (where Council is not the principal certifier) at the same time.</p>

	<p>Condition reason: To establish and document the structural condition of adjoining properties and public land for comparison as site work progresses and is completed and ensure neighbours and council are provided with the dilapidation report.</p>
194.	<p>(C501) Return of existing bins</p> <p>Prior to commencing demolition or site clearing works, any existing domestic waste bins that have been issued to (insert address), must be returned to Liverpool City Council. Please ring Council on 1300 36 2170 to advise that the bins are empty and ready to be removed, so their removal can be noted on Council's rates system.</p> <p>Condition reason: To protect against Council-issued residential waste bins being used and potentially damaged by builders using them as site waste bins for waste building materials.</p>
195.	<p>(C502) Remove and destroy refrigerants</p> <p>Prior to any works commencing, any air-conditioning or refrigeration systems fitted to the buildings or outbuildings to be demolished, must have the refrigerants present in those systems extracted into a durable, air-tight container by a licensed air-conditioning technician. This container and its contents must be sent intact, for secure destruction, to a facility licensed to destroy such refrigerants. Documentary evidence that this has been completed, if these systems are present, must be sighted by the Principal Certifying Authority and included as part of the Occupation Certificate documentation.</p> <p>Condition reason: To ensure that development activities do not result in the liberation of CFC or HFC refrigerants that contribute to global warming and damage the environment, and requires any refrigerants to be captured and destroyed at a facility licensed to do that.</p>
196.	<p>(C531) Waste management plan - an approved document of this consent</p> <p>Before site work commences, a waste management plan for the development must be provided to the principal certifying authority</p> <p>Condition reason: To ensure resource recovery is promoted and local amenity protected during construction.</p>

During Demolition Work

197.	<p>(D950) Demolition Materials</p> <p>All demolition, excavation and construction wastes must be separated into their different types as they are generated and kept in separate spoil piles, bays, builder's site bins and/or skips. No waste materials, other than those specifically noted in the waste management plan as being re-used on site, are to be left on site after the completion of the works.</p> <p>Condition reason: To ensure fairness, transparency and probity.</p>
198.	<p>(D045) Hours of work</p> <p>Site work must only be carried out between the following times – For work/civil work/demolition work, including delivery of materials is only permitted on the site from 7:00am to 6:00pm on Monday to Friday For work/civil work/demolition work, including delivery of materials is only permitted on the site from 8:00am to 1:00pm on Saturday Site work is not to be carried out outside of these times except where there is an emergency, or for urgent work directed by a police officer or a public authority.</p> <p>Condition reason: To protect the amenity of the surrounding area.</p>
199.	<p>(D049) Security Fence</p> <p>A temporary security fence to WorkCover Authority requirements is to be provided to the property during the course of construction.</p> <p>Note: Fencing is not to be located on Council's reserve area.</p> <p>Condition reason: To ensure the required site management measures are implemented during construction.</p>

200.	(D055) Refuse Disposal
	Adequate refuse disposal methods and builders storage facilities shall be installed on the site. Builders' wastes, materials or sheds are not to be placed on any property other than that which this approval relates to.
	Condition reason: To ensure the required site management measures are implemented during construction.
201.	(D070) Notification of Damage
	The applicant/ builder shall be responsible to report to the Council of any damage to Council's footpath and road carriageway as a consequence of demolition or excavation or building activities or delivery/ departure of materials associated with this site and maintained the area until completion of the construction activities. Arrangements to the satisfaction of Council are to be made for making safe by temporary repairs to Council's footpath and road carriageway until permanent restoration and repair can be organised with Council at the applicant's cost.
	Condition reason: To ensure any damage to public infrastructure is rectified.
202.	(D075) Demolition Inspections
	The following inspections are required to be undertaken by Council in relation to approved demolition works:
	(a) immediately prior to the commencement of the demolition work, or handling of any building or structure that contains asbestos. The applicant shall also notify the occupants of the adjoining premises and Workcover NSW prior to the commencement of any works. Please note that demolition works are not permitted to commence on site until such time as a satisfactory inspection result is obtained from Council, and
	(b) immediately following completion of the demolition. Please note that proof of appropriate disposal of demolition materials (including asbestos) may be required at this time in accordance with the approved Waste Management Plan.
	To book an inspection with Council, please call 1300 362 170.
	Condition reason: To require approval to proceed with demolition work following each stage inspection.
203.	(D076) Handling of asbestos during demolition
	While demolition work is being carried out, any work involving the removal of asbestos must comply with the following requirements:
	1. Only an asbestos removal contractor who holds the required class of Asbestos Licence issued by SafeWork NSW must carry out the removal, handling and disposal of any asbestos material;
	2. Asbestos waste in any form must be disposed of at a waste facility licensed by the NSW Environment Protection Authority to accept asbestos waste; and
	3. Any asbestos waste load over 100kg (including asbestos contaminated soil) or 10m ² or more of asbestos sheeting must be registered with the EPA on-line reporting tool WasteLocate.
	Condition reason: To ensure that the removal of asbestos is undertaken safely and professionally
204.	(D130) Removal of dangerous and/or hazardous waste
	All dangerous and/or hazardous material must be removed by a suitably qualified and experienced contractor licensed by SafeWork NSW. The removal of such material must be carried out in accordance with the requirements of SafeWork NSW and the material must be transported and disposed of in accordance with NSW Environment Protection Authority requirements.
	Condition reason: To ensure safe removal and disposal of dangerous and/or hazardous material.
205.	(D180) Waste management

	<p>While site work is being carried out:</p> <ol style="list-style-type: none"> 1. all waste management must be undertaken in accordance with the waste management plan; and 2. upon disposal of waste, records of the disposal must be compiled and provided to principal certifier, detailing the following: <ul style="list-style-type: none"> • The contact details of the person(s) who removed the waste; • The waste carrier vehicle registration; • The date and time of waste collection; • A description of the waste (type of waste and estimated quantity) and whether the waste is to be reused, recycled or go to landfill; • The address of the disposal location(s) where the waste was taken; • The corresponding tip docket/receipt from the site(s) to which the waste is transferred, noting date and time of delivery, description (type and quantity) of waste. <p>If waste has been removed from the site under an EPA Resource Recovery Order or Exemption, records in relation to that Order or Exemption must be maintained and provided to the principal certifier and Council.</p>
	<p>Condition reason: To require records to be provided, during site work, documenting the lawful disposal of waste.</p>
206.	<p>(D205) Vegetation - Existing Vegetation</p> <p>All existing trees and areas of native vegetation not identified for removal on approved plans of the proposed development shall be protected from damage during site works. This protection shall consist of 1800mm high protective fencing, securely installed beneath the outer canopy of any tree to be retained. Trees may be fenced off in clusters where it is not practical to fence off individual trees. There shall be no storing materials, washing machinery or changes to existing soil levels within the fenced areas.</p> <p>Condition reason: To minimise impacts to adjacent vegetation and habitat.</p>
207.	<p>(D265) Vegetation Clearing - Fauna Protection</p> <p>Prior to the removal of each tree, they shall be examined by a qualified ecologist for the presence of hollows, active nests of birds or fauna. The removal of trees with hollows or active nests shall be undertaken under the supervision of a qualified and appropriately licenced ecologist, in a manner recommended by the ecologist. Any native fauna encountered shall be relocated by a qualified ecologist, or member of a wildlife rescue organisation, with necessary permits.</p> <p>Condition reason: To minimise harm caused to fauna during vegetation clearing.</p>
208.	<p>(D426) Soil management</p> <p>While site work is being carried out, the Principal Certifying Authority must be satisfied all soil removed from or imported to the site is managed in accordance with the following requirements:</p> <ol style="list-style-type: none"> 1. All excavated material removed from the site must be classified in accordance with the EPA's Waste Classification Guidelines before it is disposed of at an approved waste management facility and the classification and the volume of material removed must be reported to the Principal Certifying Authority 2. All fill material imported to the site must be: <ol style="list-style-type: none"> 1. Virgin Excavated Natural Material as defined in Schedule 1 of the <i>Protection of the Environment Operations Act 1997</i>; or 2. a material identified as being subject to a resource recovery exemption by the NSW EPA; or 3. a combination of Virgin Excavated Natural Material as defined in Schedule 1 of the <i>Protection of the Environment Operations Act 1997</i> and a material identified as being subject to a resource recovery exemption by the NSW EPA. <p>Condition reason: To ensure soil removed from the site is appropriately disposed of and soil imported to the site is not contaminated and is safe for future occupants.</p>

209.	(D430) Unidentified Contamination
	Any new information which arises during remediation, demolition or construction works that has the potential to alter previous conclusions about site contamination and remediation must be immediately notified in writing to the certifier and Liverpool City Council.
	A section 4.55 Application under the Environmental Planning and Assessment Act 1979 must be made for any proposed works outside the scope of the approved development consent.
	Condition reason: To ensure the suitability of land for the development.
210.	(D450) Air Quality
	During construction where operations involve excavation, filling or grading of land, or removal of vegetation, including ground cover, the consent holder is to ensure dust is suppressed by regular watering until such time as the soil is stabilised to prevent airborne dust transport. Where wind velocity exceeds five knots the Principal Certifier may direct that work is not to proceed.
	Condition reason: To ensure site works are managed appropriately and do not result in air pollution.
211.	(D552) Implementation of the site management plans
	While site work is being carried out:
	<ol style="list-style-type: none"> 1. the measures required by the construction site management plan and the erosion and sediment control plan (plans) must be implemented at all times; and 2. a copy of these plans must be kept on site at all times and made available to Council officers upon request.
	Condition reason: To ensure site management measures are implemented during the carrying out of site work.
212.	(D560) Erosion Control
	Vehicular access to the site shall be controlled through the installation of wash down bays or shaker ramps to prevent tracking of sediment or dirt onto adjoining roadways. Where any sediment is deposited on adjoining roadways is shall be removed by means other than washing. All material is to be removed as soon as possible and the collected material is to be disposed of in a manner which will prevent its mobilisation.
	Condition reason: To ensure the required site management measures are implemented during construction.
213.	(D565) Water Quality
	During construction the consent holder is to ensure all topsoil, sand, aggregate, spoil or any other material that can be moved by water is stored clear of any drainage line, easement, water body, stormwater drain, footpath, kerb or road surface.
	Condition reason: To ensure site works are managed appropriately and do not result in water pollution.
214.	(D574) Pollution Control - Truck Movements
	The loading and unloading of all vehicles associated with the development must be undertaken within the property boundary of the premises subject to this consent.
	Measures must be implemented to prevent tracking of sediment by vehicles onto roads.
	Vehicle loads must be covered when entering and exiting the site with material.
	Condition reason: To mitigate potential risks to the environment during construction and facilitate compliance with legislative requirements.
215.	(D584) Skeletal Remains
	In the event that skeletal remains are uncovered, work must cease immediately in that area and the area secured. NSW Police must be contacted and no further action taken until written advice has been provided by the NSW Police. If the remains are determined to be of Aboriginal origin, the Office of Environment and Heritage must be notified by ringing the Enviroline 131 555 and a management plan prior to works re-commencing must be developed in consultation with relevant Aboriginal stakeholders.

	Condition reason: To ensure fairness, transparency and probity.
216.	(D600) Correct waste separation and removal All demolition, excavation and construction wastes must be separated as they are generated and kept in separate spoil piles, bays, builder's skips and/or site bins. No wastes other than those noted on the approved waste management plan as being re-used on site, are to be left on site after the completion of the works. Condition reason: To ensure that separation of waste by type is undertaken in an ongoing basis throughout the building process, and that the wastes are kept separate and not mixed, to facilitate waste management and recycling.
217.	(D605) Containment of site wastes during building All demolition, excavation or construction wastes, e.g. wrapping, packaging materials, bags, insulation, sand, soil etc., must be kept fully enclosed at all times to prevent them from becoming displaced in strong wind conditions or from washing into sewers, storm drains or creeks, or onto adjacent properties or public land during wet weather. Condition reason: To ensure that waste materials from the demolition, excavation or construction are kept appropriately contained on site, irrespective of weather conditions, and do not make their way into the environment as pollutants.
218.	(D660) Construction Noise and Vibration Noise and vibration associated with excavation, demolition and construction activities shall comply with the management levels detailed within the 'Interim Construction Noise Guideline' published by the Department of Environment and Climate Change NSW (DECC 2009/265) dated July 2009 and acceptable vibration values prescribed within the Environmental Noise Management Assessing Vibration: A Technical Guideline (Department of Environment and Conservation, 2006). All feasible and reasonable noise and vibration mitigation measures shall be implemented and any activities which may exceed the construction noise management levels and vibration criteria shall be identified and managed in accordance with the approved Construction Environmental Management Plan (CEMP). Condition reason: To protect the amenity of the neighbourhood during construction.
219.	(D951) Demolition Waste All lightweight or granular demolition, excavation, or construction waste, e.g. wrapping, packaging materials, bags, insulation, sand, soil etc., must be kept fully enclosed at all times to prevent it from becoming displaced by the wind in strong wind conditions, or from washing into sewers, storm drains or creeks, or onto adjacent properties or public land during wet weather. Condition reason: To ensure fairness, transparency and probity.

On Completion of Demolition work

220.	(H005) Waste disposal verification statement On completion of demolition work: 1. a signed statement must be submitted to the Principal Certifying Authority verifying that demolition work, and any recycling of materials, was undertaken in accordance with the waste management plan approved under this consent, and 2. if the demolition work involved the removal of asbestos, an asbestos clearance certificate issued by a suitably qualified person, must be submitted to the Principal Certifying Authority within 14 days of completion of the demolition work. Condition reason: To provide for the submission of a statement verifying that demolition waste management and recycling has been undertaken in accordance with the approved waste management plan
221.	(H026) Removal of waste upon completion

	<p>After completion of all site work:</p> <ol style="list-style-type: none"> 1. all refuse, spoil and material unsuitable for use on-site must be removed from the site and disposed of in accordance with the approved waste management plan; and 2. written evidence of the waste removal must be provided to the satisfaction of the Principal Certifying Authority <p>Condition reason: To ensure waste material is appropriately disposed or satisfactorily stored.</p>
222.	<p>(H064) Completion of landscape and tree works</p> <p>After the clearing of vegetation, the principal certifier must be satisfied all landscape and tree-works have been completed in accordance with approved plans and documents and any relevant conditions of this consent.</p> <p>Condition reason: To ensure the approved landscaping works have been completed in accordance with the approved landscaping plan(s).</p>
223.	<p>(H407) Repair of infrastructure</p> <p>After completion of all site work:</p> <ol style="list-style-type: none"> 1. any public infrastructure damaged as a result of the carrying out of work approved under this consent (including damage caused by, but not limited to, delivery vehicles, waste collection, contractors, sub-contractors, concreting vehicles) must be fully repaired to the written satisfaction of Council, and at no cost to Council; or 2. if the works in (a) are not carried out to Council's satisfaction, Council may carry out the works required and the costs of any such works must be paid as directed by Council and in the first instance will be paid using the security deposit required to be paid under this consent. <p>Condition reason: To ensure any damage to public infrastructure is rectified.</p>

Remediation Work Before Remediation Work Commences

224.	<p>(C055) Site Facilities</p> <p>Adequate refuse disposal methods and builders storage facilities shall be installed on the site. Builders' wastes, materials or sheds are not to be placed on any property other than that which this approval relates to.</p> <p>Condition reason: To ensure the required site management measures are implemented before the commencement of building work.</p>
225.	<p>(C117) Erosion and sediment controls in place</p> <p>Before any site work commences, The principal certifier, must be satisfied the erosion and sediment controls in the erosion and sediment control plan are in place. These controls must remain in place until any bare earth has been restabilised in accordance with 'Managing Urban Stormwater: Soils and Construction' prepared by Landcom (the Blue Book) (as amended from time to time).</p> <p>Condition reason: To ensure sediment laden runoff and site debris do not impact local stormwater systems and waterways.</p>
226.	<p>(C126) Environmental Management</p> <p>Adequate soil and sediment control measures shall be installed and maintained. Furthermore, suitable site practices shall be adopted to ensure that only clean and unpolluted waters are permitted to enter Council's stormwater drainage system during construction/demolition. Measures must include, as a minimum:</p> <ol style="list-style-type: none"> 1. Siltation fencing; 2. Protection of the public stormwater system; and 3. Site entry construction to prevent vehicles that enter and leave the site from tracking loose material onto the adjoining public place. <p>Condition reason: To ensure fairness, transparency and probity.</p>
227.	<p>(C250) Notification</p>

	<p>Notification to surrounding residents is to be undertaken within a 100 metre radius from the site. A letter box drop in the form of an informative pamphlet or the like is to be carried out at least 5 days prior to the event to local residents informing them of the event details and including contact details of the site supervisor for the event.</p> <p>Condition reason: To advise neighbours of the commencement of building works.</p>
228.	<p>(C466) Dilapidation report</p> <p>Before any site work commences, a dilapidation report must be prepared by a suitably qualified engineer detailing the structural condition of adjoining buildings, structures or works and public land, to the satisfaction of the Principal Certifying Authority</p> <p>Where access has not been granted to any adjoining properties to prepare the dilapidation report, the report must be based on a survey of what can be observed externally and demonstrate, in writing, to the satisfaction of the Principal Certifying Authority, that all reasonable steps were taken to obtain access to the adjoining properties.</p> <p>No less than 5 days before any site work commences, adjoining building owner(s) must be provided with a copy of the dilapidation report for their property(ies) and a copy of the report(s) must be provided to Council (where Council is not the principal certifier) at the same time.</p> <p>Condition reason: To establish and document the structural condition of adjoining properties and public land for comparison as site work progresses and is completed and ensure neighbours and council are provided with the dilapidation report.</p>
229.	<p>(C501) Return of existing bins</p> <p>Prior to commencing demolition or site clearing works, any existing domestic waste bins that have been issued to (insert address), must be returned to Liverpool City Council. Please ring Council on 1300 36 2170 to advise that the bins are empty and ready to be removed, so their removal can be noted on Council's rates system.</p> <p>Condition reason: To protect against Council-issued residential waste bins being used and potentially damaged by builders using them as site waste bins for waste building materials.</p>

During Remediation Work

230.	<p>(D045) Hours of work</p> <p>Site work must only be carried out between the following times – For work/civil work/demolition work, including delivery of materials is only permitted on the site from 7:00am to 6:00pm on Monday to Friday For work/civil work/demolition work, including delivery of materials is only permitted on the site from 8:00am to 1:00pm on Saturday Site work is not to be carried out outside of these times except where there is an emergency, or for urgent work directed by a police officer or a public authority.</p> <p>Condition reason: To protect the amenity of the surrounding area.</p>
231.	<p>(D049) Security Fence</p> <p>A temporary security fence to WorkCover Authority requirements is to be provided to the property during the course of construction.</p> <p>Note: Fencing is not to be located on Council's reserve area.</p> <p>Condition reason: To ensure the required site management measures are implemented during construction.</p>
232.	<p>(D055) Refuse Disposal</p> <p>Adequate refuse disposal methods and builders storage facilities shall be installed on the site. Builders' wastes, materials or sheds are not to be placed on any property other than that which this approval relates to.</p> <p>Condition reason: To ensure the required site management measures are implemented during construction.</p>
233.	<p>(D070) Notification of Damage</p>

	<p>The applicant/ builder shall be responsible to report to the Council of any damage to Council's footpath and road carriageway as a consequence of demolition or excavation or building activities or delivery/ departure of materials associated with this site and maintained the area until completion of the construction activities. Arrangements to the satisfaction of Council are to be made for making safe by temporary repairs to Council's footpath and road carriageway until permanent restoration and repair can be organised with Council at the applicant's cost.</p> <p>Condition reason: To ensure any damage to public infrastructure is rectified.</p>
234.	<p>(D130) Removal of dangerous and/or hazardous waste</p> <p>All dangerous and/or hazardous material must be removed by a suitably qualified and experienced contractor licensed by SafeWork NSW. The removal of such material must be carried out in accordance with the requirements of SafeWork NSW and the material must be transported and disposed of in accordance with NSW Environment Protection Authority requirements.</p> <p>Condition reason: To ensure safe removal and disposal of dangerous and/or hazardous material.</p>
235.	<p>(D180) Waste management</p> <p>While site work is being carried out:</p> <ol style="list-style-type: none"> 1. all waste management must be undertaken in accordance with the waste management plan; and 2. upon disposal of waste, records of the disposal must be compiled and provided to principal certifier, detailing the following: <ul style="list-style-type: none"> • The contact details of the person(s) who removed the waste; • The waste carrier vehicle registration; • The date and time of waste collection; • A description of the waste (type of waste and estimated quantity) and whether the waste is to be reused, recycled or go to landfill; • The address of the disposal location(s) where the waste was taken; • The corresponding tip docket/receipt from the site(s) to which the waste is transferred, noting date and time of delivery, description (type and quantity) of waste. <p>If waste has been removed from the site under an EPA Resource Recovery Order or Exemption, records in relation to that Order or Exemption must be maintained and provided to the principal certifier and Council.</p> <p>Condition reason: To require records to be provided, during site work, documenting the lawful disposal of waste.</p>
236.	<p>(D205) Vegetation - Existing Vegetation</p> <p>All existing trees and areas of native vegetation not identified for removal on approved plans of the proposed development shall be protected from damage during site works. This protection shall consist of 1800mm high protective fencing, securely installed beneath the outer canopy of any tree to be retained. Trees may be fenced off in clusters where it is not practical to fence off individual trees. There shall be no storing materials, washing machinery or changes to existing soil levels within the fenced areas.</p> <p>Condition reason: To minimise impacts to adjacent vegetation and habitat.</p>
237.	<p>(D265) Vegetation Clearing - Fauna Protection</p> <p>Prior to the removal of each tree, they shall be examined by a qualified ecologist for the presence of hollows, active nests of birds or fauna. The removal of trees with hollows or active nests shall be undertaken under the supervision of a qualified and appropriately licenced ecologist, in a manner recommended by the ecologist. Any native fauna encountered shall be relocated by a qualified ecologist, or member of a wildlife rescue organisation, with necessary permits.</p> <p>Condition reason: To minimise harm caused to fauna during vegetation clearing.</p>
238.	<p>(D425) Site Remediation Works</p>

	<p>The site must be remediated in accordance with:</p> <ul style="list-style-type: none"> (a) Remediation Action Plan P34034.1_R02 Version: F01 prepared by Geotest Services Pty Ltd, dated 25 January 2024. (b) State Environmental Planning Policy (Resilience and Hazards) 2021; (c) National Environment Protection (Assessment of Site Contamination) Measure (ASC NEPM, 1999 as amended 2013); and (d) The guidelines in force under the Contaminated Land Management Act 1997. <p>A suitably qualified environmental consultant must be engaged to supervise all aspects of site remediation and validation works in accordance with the approved Remediation Action Plan.</p> <p>Liverpool City Council must be informed in writing of any proposed variation to the remediation works. Liverpool City Council must approve these variations in writing prior to commencement/ recommencement of works.</p> <p>Note: The 'suitably qualified environmental consultant' must be certified under either the Environment Institute of Australia and New Zealand's Certified Environmental Practitioner (Site Contamination) Scheme (CEnvP(SC)) or the Soil Science Australia Certified Professional Soil Scientist Contaminated Site Assessment and Management (CPSS CSAM) Scheme.</p> <p>Condition reason: To ensure the suitability of land for the proposed development.</p>
239.	<p>(D426) Soil management</p> <p>While site work is being carried out, the Principal Certifying Authority must be satisfied all soil removed from or imported to the site is managed in accordance with the following requirements:</p> <ul style="list-style-type: none"> 1. All excavated material removed from the site must be classified in accordance with the EPA's Waste Classification Guidelines before it is disposed of at an approved waste management facility and the classification and the volume of material removed must be reported to the Principal Certifying Authority 2. All fill material imported to the site must be: <ul style="list-style-type: none"> 1. Virgin Excavated Natural Material as defined in Schedule 1 of the <i>Protection of the Environment Operations Act 1997</i>; or 2. a material identified as being subject to a resource recovery exemption by the NSW EPA; or 3. a combination of Virgin Excavated Natural Material as defined in Schedule 1 of the <i>Protection of the Environment Operations Act 1997</i> and a material identified as being subject to a resource recovery exemption by the NSW EPA. <p>Condition reason: To ensure soil removed from the site is appropriately disposed of and soil imported to the site is not contaminated and is safe for future occupants.</p>
240.	<p>(D430) Unidentified Contamination</p> <p>Any new information which arises during remediation, demolition or construction works that has the potential to alter previous conclusions about site contamination and remediation must be immediately notified in writing to the certifier and Liverpool City Council.</p> <p>A section 4.55 Application under the Environmental Planning and Assessment Act 1979 must be made for any proposed works outside the scope of the approved development consent.</p> <p>Condition reason: To ensure the suitability of land for the development.</p>
241.	<p>(D450) Air Quality</p> <p>During construction where operations involve excavation, filling or grading of land, or removal of vegetation, including ground cover, the consent holder is to ensure dust is suppressed by regular watering until such time as the soil is stabilised to prevent airborne dust transport. Where wind velocity exceeds five knots the Principal Certifier may direct that work is not to proceed.</p> <p>Condition reason: To ensure site works are managed appropriately and do not result in air pollution.</p>

242.	(D475) Imported Fill Material
	During construction the consent holder is to ensure fill imported on to the site is be compatible with the existing soil characteristic for site drainage purposes.
	Condition reason: To ensure soils introduced onsite do not result in drainage issues.
243.	(D552) Implementation of the site management plans
	While site work is being carried out:
	1. the measures required by the construction site management plan and the erosion and sediment control plan (plans) must be implemented at all times; and
	2. a copy of these plans must be kept on site at all times and made available to Council officers upon request.
	Condition reason: To ensure site management measures are implemented during the carrying out of site work.
244.	(D555) Erosion Control - Maintenance
	Sediment and erosion control measures are to be adequately maintained during the works until the establishment of grass.
	Condition reason: To ensure the required site management measures are implemented during construction.
245.	(D560) Erosion Control
	Vehicular access to the site shall be controlled through the installation of wash down bays or shaker ramps to prevent tracking of sediment or dirt onto adjoining roadways. Where any sediment is deposited on adjoining roadways is shall be removed by means other than washing. All material is to be removed as soon as possible and the collected material is to be disposed of in a manner which will prevent its mobilisation.
	Condition reason: To ensure the required site management measures are implemented during construction.
246.	(D565) Water Quality
	During construction the consent holder is to ensure all topsoil, sand, aggregate, spoil or any other material that can be moved by water is stored clear of any drainage line, easement, water body, stormwater drain, footpath, kerb or road surface.
	Condition reason: To ensure site works are managed appropriately and do not result in water pollution.
247.	(D574) Pollution Control - Truck Movements
	The loading and unloading of all vehicles associated with the development must be undertaken within the property boundary of the premises subject to this consent.
	Measures must be implemented to prevent tracking of sediment by vehicles onto roads.
	Vehicle loads must be covered when entering and exiting the site with material.
	Condition reason: To mitigate potential risks to the environment during construction and facilitate compliance with legislative requirements.
248.	(D584) Skeletal Remains
	In the event that skeletal remains are uncovered, work must cease immediately in that area and the area secured. NSW Police must be contacted and no further action taken until written advice has been provided by the NSW Police. If the remains are determined to be of Aboriginal origin, the Office of Environment and Heritage must be notified by ringing the Enviroline 131 555 and a management plan prior to works re-commencing must be developed in consultation with relevant Aboriginal stakeholders.
	Condition reason: To ensure fairness, transparency and probity.
249.	(D600) Correct waste separation and removal

	<p>All demolition, excavation and construction wastes must be separated as they are generated and kept in separate spoil piles, bays, builder's skips and/or site bins. No wastes other than those noted on the approved waste management plan as being re-used on site, are to be left on site after the completion of the works.</p> <p>Condition reason: To ensure that separation of waste by type is undertaken in an ongoing basis throughout the building process, and that the wastes are kept separate and not mixed, to facilitate waste management and recycling.</p>
250.	<p>(D605) Containment of site wastes during building</p> <p>All demolition, excavation or construction wastes, e.g. wrapping, packaging materials, bags, insulation, sand, soil etc., must be kept fully enclosed at all times to prevent them from becoming displaced in strong wind conditions or from washing into sewers, storm drains or creeks, or onto adjacent properties or public land during wet weather.</p> <p>Condition reason: To ensure that waste materials from the demolition, excavation or construction are kept appropriately contained on site, irrespective of weather conditions, and do not make their way into the environment as pollutants.</p>
251.	<p>(D660) Construction Noise and Vibration</p> <p>Noise and vibration associated with excavation, demolition and construction activities shall comply with the management levels detailed within the 'Interim Construction Noise Guideline' published by the Department of Environment and Climate Change NSW (DECC 2009/265) dated July 2009 and acceptable vibration values prescribed within the Environmental Noise Management Assessing Vibration: A Technical Guideline (Department of Environment and Conservation, 2006).</p> <p>All feasible and reasonable noise and vibration mitigation measures shall be implemented and any activities which may exceed the construction noise management levels and vibration criteria shall be identified and managed in accordance with the approved Construction Environmental Management Plan (CEMP).</p> <p>Condition reason: To protect the amenity of the neighbourhood during construction.</p>

On Completion of Remediation work

252.	<p>(H026) Removal of waste upon completion</p> <p>After completion of all site work:</p> <ol style="list-style-type: none"> all refuse, spoil and material unsuitable for use on-site must be removed from the site and disposed of in accordance with the approved waste management plan; and written evidence of the waste removal must be provided to the satisfaction of the Principal Certifying Authority <p>Condition reason: To ensure waste material is appropriately disposed or satisfactorily stored.</p>
253.	<p>(H407) Repair of infrastructure</p> <p>After completion of all site work:</p> <ol style="list-style-type: none"> any public infrastructure damaged as a result of the carrying out of work approved under this consent (including damage caused by, but not limited to, delivery vehicles, waste collection, contractors, sub-contractors, concreting vehicles) must be fully repaired to the written satisfaction of Council, and at no cost to Council; or if the works in (a) are not carried out to Council's satisfaction, Council may carry out the works required and the costs of any such works must be paid as directed by Council and in the first instance will be paid using the security deposit required to be paid under this consent. <p>Condition reason: To ensure any damage to public infrastructure is rectified.</p>

General advisory notes

This consent contains the conditions imposed by the consent authority which are to be complied with when carrying out the approved development. However, this consent is not an exhaustive list of all obligations which may relate to the carrying out of the development under the EP&A Act, EP&A Regulation and other legislation. Some of these additional obligations are set out in the [Conditions of development consent: advisory notes](#). The consent should be read together with the Conditions of development consent: advisory notes to ensure the development is carried out lawfully.

The approved development must be carried out in accordance with the conditions of this consent. It is an offence under the EP&A Act to carry out development that is not in accordance with this consent.

A document referred to in this consent is taken to be a reference to the version of that document which applies at the date the consent is issued, unless otherwise stated in the conditions of this consent.

Dictionary

The following terms have the following meanings for the purpose of this determination (except where the context clearly indicates otherwise):

Approved plans and documents means the plans and documents endorsed by the consent authority, a copy of which is included in this notice of determination.

AS means Australian Standard published by Standards Australia International Limited and means the current standard which applies at the time the consent is issued.

Building work means any physical activity involved in the erection of a building.

Certifier means a council or a person that is registered to carry out certification work under the Building and Development Certifiers Act 2018.

Construction certificate means a certificate to the effect that building work completed in accordance with specified plans and specifications or standards will comply with the requirements of the EP&A Regulation and Environmental Planning and Assessment (Development Certification and Fire Safety) Regulation 2021.

Council means LIVERPOOL CITY COUNCIL.

Court means the Land and Environment Court of NSW.

EPA means the NSW Environment Protection Authority.

EP&A Act means the *Environmental Planning and Assessment Act 1979*.

EP&A Regulation means the *Environmental Planning and Assessment Regulation 2021*.

Independent Planning Commission means Independent Planning Commission of New South Wales constituted by section 2.7 of the EP&A Act.

Local planning panel means LIVERPOOL LOCAL PLANNING PANEL.

Occupation certificate means a certificate that authorises the occupation and use of a new building or a change of building use for an existing building in accordance with this consent.

Principal certifier means the certifier appointed as the principal certifier for building work or subdivision work under section 6.6(1) or 6.12(1) of the EP&A Act respectively.

Site work means any work that is physically carried out on the land to which the development the subject of this development consent is to be carried out, including but not limited to building work, subdivision work, demolition work, clearing of vegetation or remediation work.

Stormwater drainage system means all works and facilities relating to:

the collection of stormwater,

the reuse of stormwater,

the detention of stormwater,

the controlled release of stormwater, and

connections to easements and public stormwater systems.

Strata certificate means a certificate in the approved form issued under Part 4 of the *Strata Schemes Development Act 2015* that authorises the registration of a strata plan, strata plan of subdivision or notice of conversion.

Subdivision certificate means a certificate that authorises the registration of a plan of subdivision under Part 23 of the *Conveyancing Act 1919*.

Subdivision works certificate means a certificate to the effect that subdivision work completed in accordance with specified plans and specifications will comply with the requirements of the EP&A Regulation.

Sydney district or regional planning panel means SYDNEY WESTERN CITY PLANNING PANEL.



Liverpool City Council
Locked Bag 7064
LIVERPOOL BC NSW 1871

Your reference: CNR-68313 DA-177/2024
Our reference: DA20240430001700-Original-1

ATTENTION: Tamim Omar

Date: Wednesday 5 June 2024

Dear Sir/Madam,

Integrated Development Application
s100B - Subdivision - Subdivision
365-375 Fifteenth Avenue Austral NSW 2179, 362//DP2475, 363//DP2475

I refer to your correspondence dated 07/05/2024 seeking general terms of approval for the above Integrated Development Application.

The New South Wales Rural Fire Service (NSW RFS) has considered the information submitted. General Terms of Approval, under Division 4.8 of the *Environmental Planning and Assessment Act 1979*, and a Bush Fire Safety Authority, under section 100B of the *Rural Fires Act 1997*, are now issued subject to the following conditions:

Asset Protection Zones

The intent of measures is to provide sufficient space and maintain reduced fuel loads so as to ensure radiant heat levels of buildings are below critical limits and to prevent direct flame contact with a building. To achieve this, the following conditions shall apply:

1. At the issue of a subdivision certificate, and in perpetuity to ensure ongoing protection from the impact of bush fires, the entirety of the proposed residential lots must be managed as an inner protection area (IPA) in accordance with the requirements of Appendix 4 of *Planning for Bush Fire Protection 2019*. When establishing and maintaining an IPA the following requirements apply:

- tree canopy cover should be less than 15% at maturity;
- trees at maturity should not touch or overhang the building;
- lower limbs should be removed up to a height of 2 metres above the ground;
- tree canopies should be separated by 2 to 5 metres;
- preference should be given to smooth barked and evergreen trees;
- large discontinuities or gaps in vegetation should be provided to slow down or break the progress of fire towards buildings;
- shrubs should not be located under trees;
- shrubs should not form more than 10% ground cover; and
- clumps of shrubs should be separated from exposed windows and doors by a distance of at least twice the height of the vegetation.
- grass should be kept mown (as a guide grass should be kept to no more than 100mm in height); and

1

Postal address

NSW Rural Fire Service
Locked Bag 17
GRANVILLE NSW 2142

Street address

NSW Rural Fire Service
4 Murray Rose Ave
SYDNEY OLYMPIC PARK NSW 2127

T (02) 8741 5555
F (02) 8741 5550
www.rfs.nsw.gov.au





- leaves and vegetation debris should be removed.

2. At the issue of a subdivision certificate, if the land immediately to the west of proposed Lots 7, 8, 41, 40, 68, and entire residue Lot 53 as numbered on the Subdivision Plan (ref: S.15856, revision H, dated 22 March 2024, prepared by P. S. Graham & Associates Pty Ltd) has not been developed for residential purposes and the bush fire hazard removed, a suitably worded instrument(s) must be created pursuant to section 88 of the *Conveyancing Act 1919* over the lots for provision of asset protection zone to be managed as an inner protection area. The instrument will prohibit the construction of buildings other than class 10b structures within the lots for a distance of 16 metres measured from the western boundary of the subdivision. The instrument may be lifted upon commencement of any future proposed development on the adjoining lot 385 Fifteenth Avenue Austral, but only if the bush fire hazard is removed as part of the proposal.

The name of authority empowered to release, vary or modify the instrument shall be Liverpool City Council.

Access – Public Roads

The intent of measures is to provide safe operational access to structures and water supply for emergency services, while residents are seeking to evacuate from an area. To achieve this, the following conditions shall apply:

3. Proposed access Road no.s 2, 3 and 4 must comply with the following requirements of Table 5.3b of *Planning for Bush Fire Protection 2019*:

- are two-way sealed roads with minimum 5.5 metre carriageway width kerb to kerb;
- a minimum vertical clearance of 4 metre to any overhanging obstructions, including tree branches, is provided.
- parking is provided outside of the carriageway width;
- are through roads, and these are linked to the internal road system at an interval of no greater than 500 metre;
- curves of roads have a minimum inner radius of 6 metre;
- the maximum grade road is 15 degrees and average grade of not more than 10 degrees;
- the road crossfall does not exceed 3 degrees;
- traffic management devices are constructed to not prohibit access by emergency services vehicles;
- dead end roads are not recommended, but if unavoidable, are not more than 200 metres in length, incorporate a minimum 12 metres outer radius turning circle, and are clearly sign posted as a dead end;
- the capacity of perimeter and non-perimeter road surfaces and any bridges/causeways is sufficient to carry fully loaded firefighting vehicles; bridges/causeways are to clearly indicate load rating;
- hydrants are located outside of parking reserves and road carriageways to ensure accessibility to reticulated water for fire suppression; and
- hydrants are provided in accordance with the relevant clauses of AS 2419.1:2005 - *Fire hydrant installations System design, installation and commissioning*.

Water and Utility Services

The intent of measures is to provide adequate services of water for the protection of buildings during and after the passage of a bush fire, and to locate gas and electricity so as not to contribute to the risk of fire to a building. To achieve this, the following conditions shall apply:

4. The provision of water, electricity and gas must comply with the following in accordance with Table 5.3c of *Planning for Bush Fire Protection 2019*:

- reticulated water is to be provided to the development where available;





- fire hydrant, spacing, design and sizing complies with the relevant clauses of Australian Standard AS 2419.1:2005;
- hydrants are not located within any road carriageway;
- reticulated water supply to urban subdivisions uses a ring main system for areas with perimeter roads;
- fire hydrant flows and pressures comply with the relevant clauses of AS 2419.1:2005;
- all above-ground water service pipes are metal, including and up to any taps;
- where practicable, electrical transmission lines are underground;
- where overhead, electrical transmission lines are proposed as follows:
 - a. lines are installed with short pole spacing (30 metres), unless crossing gullies, gorges or riparian areas; and
 - b. no part of a tree is closer to a power line than the distance set out in accordance with the specifications in *ISSC3 Guideline for Managing Vegetation Near Power Lines*.
- reticulated or bottled gas is installed and maintained in accordance with AS/NZS 1596:2014 and the requirements of relevant authorities, and metal piping is used;
- reticulated or bottled gas is installed and maintained in accordance with AS/NZS 1596:2014 - *The storage and handling of LP Gas*, the requirements of relevant authorities, and metal piping is used;
- all fixed gas cylinders are kept clear of all flammable materials to a distance of 10 metres and shielded on the hazard side;
- connections to and from gas cylinders are metal; polymer-sheathed flexible gas supply lines are not used; and
- above-ground gas service pipes are metal, including and up to any outlets.

Landscaping Assessment

The intent of measures is to minimise the risk of bush fire attack and provide protection for emergency services personnel, residents and others assisting fire fighting activities. To achieve this, the following conditions shall apply:

5. Landscaping within the required asset protection zone must comply with Appendix 4 of *Planning for Bush Fire Protection 2019*. In this regard, the following principles are to be incorporated:

- A minimum 1 metre wide area (or to the property boundary where the setbacks are less than 1 metre), suitable for pedestrian traffic, must be provided around the immediate curtilage of the building;
- Planting is limited in the immediate vicinity of the building;
- Planting does not provide a continuous canopy to the building (i.e. trees or shrubs are isolated or located in small clusters);
- Landscape species are chosen to ensure tree canopy cover is less than 15% (IPA), and less than 30% (OPA) at maturity and trees do not touch or overhang buildings;
- Avoid species with rough fibrous bark, or which retain/shed bark in long strips or retain dead material in their canopies;
- Use smooth bark species of trees species which generally do not carry a fire up the bark into the crown;
- Avoid planting of deciduous species that may increase fuel at surface/ ground level (i.e. leaf litter);
- Avoid climbing species to walls and pergolas;
- Locate combustible materials such as woodchips/mulch, flammable fuel stores away from the building;
- Locate combustible structures such as garden sheds, pergolas and materials such as timber garden furniture away from the building; and
- Low flammability vegetation species are used.

General Advice – Consent Authority to Note





- Development applications lodged on lots created within this subdivision may be subject to further assessment under the *Environmental Planning & Assessment Act 1979*. Future dwellings on bush fire prone land are required to address the requirements of *Planning for Bush Fire Protection 2019*.

For any queries regarding this correspondence, please contact Rohini Belapurkar on 1300 NSW RFS.

Yours sincerely,

Nika Fomin
Manager Planning & Environment Services
Built & Natural Environment





BUSH FIRE SAFETY AUTHORITY

Subdivision – Subdivision

365-375 Fifteenth Avenue Austral NSW 2179, 362//DP2475, 363//DP2475

RFS Reference: DA20240430001700-Original-1

Your Reference: CNR-68313 DA-177/2024

This Bush Fire Safety Authority is issued on behalf of the Commissioner of the NSW Rural Fire Service under s100b of the Rural Fires Act (1997) subject to the attached General Terms of Approval.

This authority confirms that, subject to the General Terms of Approval being met, the proposed development will meet the NSW Rural Fire Service requirements for Bush Fire Safety under *s100b of the Rural Fires Act 1997*.

Nika Fomin

Manager Planning & Environment Services
Built & Natural Environment

Wednesday 5 June 2024



Transport for NSW

20 May 2024

TfNSW Reference: SYD24/00843/01
Council Reference DA-117/2024 (CNR-68313)

Mr. John Ajaka
Chief Executive Officer
Liverpool City Council
Locked Bag 7064
Liverpool BC NSW 1871

Attention: Tamim Omar



STAGED SUBDIVISION OF 79 LOTS 365-375 FIFTEENTH AVENUE, AUSTRAL

Dear Mr Ajaka,

Transport for NSW (**TfNSW**) is in receipt of Council's correspondence dated 30 April 2024 relevant to the abovementioned development application (**DA**). The application was referred to TfNSW for comment in accordance with Clause 109 of the *Environmental Planning and Assessment Regulation 2021*.

- The subject site is within an area under investigation for the proposed Fifteenth Avenue upgrade to support the new Western Sydney International Airport and Aerotropolis Precinct.
- TfNSW advises that the DA's proposed ultimate vehicle access should consider access via the indicative layout plan (**ILP**) road network.

As such, TfNSW recommends that the following requirements are to be included in any Development Consent issued by the relevant Planning Authority:

1. All buildings and structures together with any improvements integral to the future use of the site shall be wholly within the freehold property (unlimited in height or depth), along the Fifteenth Avenue boundary.
2. The developer shall be responsible for all public utility adjustment/relocation works, necessitated by the above work, and as required by the various public utility authorities and/or their agents.
3. A Road Occupancy Licence (ROL) should be obtained from the Transport Management Centre (TMC) for any works that may impact on traffic flows on Fifteenth Avenue during construction activities. A ROL can be obtained through <https://myrta.com/oplinc2/pages/security/oplincLogin.jsf>.

Any relevant queries regarding matter please contact Zeliha Cansiz, Development Assessment Officer via development.sydney@transport.nsw.gov.au.

Yours sincerely,



Brendan Pegg
Senior Manager Land Use Assessment Central and Western
Planning and Programs, Greater Sydney Division

OFFICIAL

4 Parramatta Square, 12 Darcy Street, Parramatta NSW 2150
PO Box 973 Parramatta CBD NSW 2124

W transport.nsw.gov.au



28 August 2024

Our Ref: 217839

Tamim Omar

Liverpool City Council

omart@liverpool.nsw.gov.au

RE: Development Application DA-177/2024 at 365-375 Fifteenth Avenue, Austral

Thank you for notifying Sydney Water of DA-177/2024 at 365-375 Fifteenth Avenue, Austral which proposes for a residential subdivision of two (2) lots into 79 lots over 2 stages, two (2) residue allotments, demolition of existing structures, road construction and earthworks. Sydney Water has reviewed the application based on the information supplied and provides the following comments to assist in planning the servicing needs of the proposed development.

Water Servicing

- The proposed development is located within the Cecil Park Water Supply Zone. This WSZ has limited capacity to service growth.
- The potable water servicing is **dependent** on the **following** –
- The following amplification works are to be **developer delivered**.
 - Amplification of existing main DN100 along Fifteenth Avenue to DN300/DN200 from Craik Ave up to fronting the development.
 - Detailed requirements will be provided at the Section 73 stage.
- Amplifications, adjustments, and/or minor extensions may be required.

Wastewater Servicing

- Wastewater servicing is currently unavailable to this property.
- The development falls within an initial wastewater servicing area for Austral/Leppington, where Sydney Water is planning for services by FY 2024. The area however has a capacity constraint that limits the number of dwellings that can be connected to the system before FY 2026 and **this development is not within the allocated capacity**.
- Sydney Water is planning to construct the Upper South Creek Advanced Water Recycling Centre (AWRC) to support population and economic growth in Western Sydney, and this facility and associated trunk infrastructure will have capacity to fully service this development. We anticipate this will be available by FY 2026.
- To keep up to date with any future opportunities, the proponent should lodge a s73 application with Sydney Water if they have not done so already.
- Sydney Water will continue to communicate with Council and the development industry regarding timescales and potential future capacity uplifts where applicable. The Council account manager will keep you up to date on our timescales as we progress the AWRC. You can keep up-to date by visiting our AWRC projects page on our Sydney Water Talk projects website: [Upper South Creek Advanced Water Recycling Centre | Sydney Water Talk](#)

This advice is not formal approval of our servicing requirements. Detailed requirements, including any potential extensions or amplifications, will be provided once the development is referred to Sydney

Sydney Water Corporation ABN 49 776 225 038

1 Smith Street, Parramatta, NSW 2150 | PO Box 399, Parramatta, NSW 2124

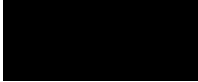
Telephone 13 20 92 Media (24/7) 8849 5151 sydneywater.com.au



Water for a Section 73 application. More information about the Section 73 application process is available on our web page in the [Land Development Manual](#)

Further advice and requirements for this proposal are in Attachments 1 and 2. If you require any further information, please contact the Growth Planning Team at urbangrowth@sydneywater.com.au

Yours sincerely,



Cassie Loughlin

Commercial Growth Manager

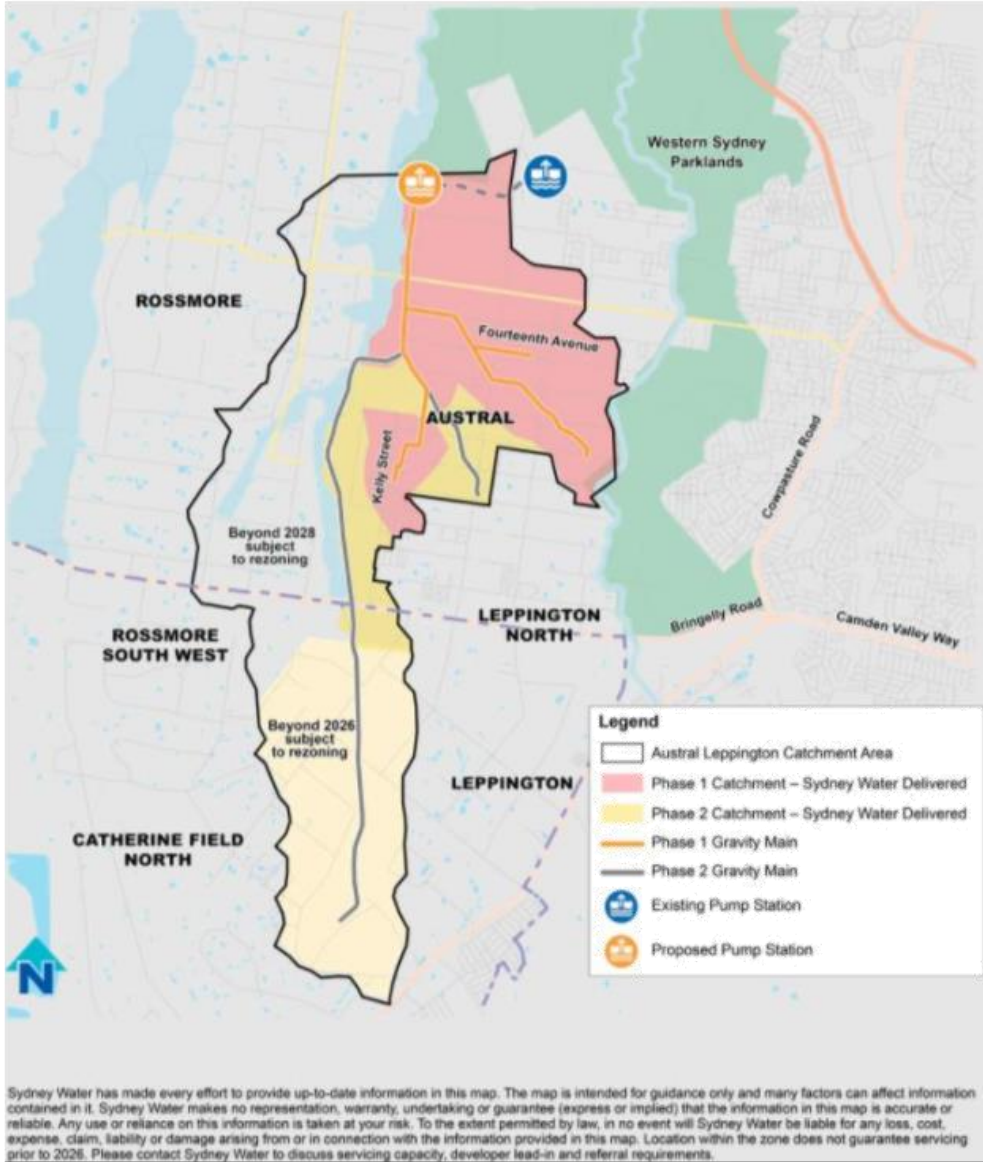
Sydney Water Corporation ABN 49 776 225 038

1 Smith Street, Parramatta, NSW 2150 | PO Box 399, Parramatta, NSW 2124

Telephone 13 20 92 **Media (24/7)** 8849 5151 sydneywater.com.au



Attachment 1



Sydney Water Corporation ABN 49 776 225 038

1 Smith Street, Parramatta, NSW 2150 | PO Box 399, Parramatta, NSW 2124

Telephone 13 20 92 Media (24/7) 8849 5151 sydneywater.com.au



Attachment 2

Section 73 Compliance Certificate

A Section 73 Compliance Certificate under the Sydney Water Act 1994 must be obtained from Sydney Water.

The proponent is advised to make an early application for the certificate, as there may be water and wastewater pipes to be built that can take some time. This can also impact on other services and buildings, driveways or landscape designs.

Applications must be made through an authorised Water Servicing Coordinator. For help either visit www.sydneywater.com.au > Plumbing, building and developing > Developing > Land development or telephone 13 20 92.

Building Plan Approval

The approved plans must be submitted to the Sydney Water [Tap in™](#) online service to determine whether the development will affect any Sydney Water sewer or water main, stormwater drains and/or easement, and if further requirements need to be met.

The [Tap in™](#) service provides 24/7 access to a range of services, including:

- building plan approvals
- connection and disconnection approvals
- diagrams
- trade waste approvals
- pressure information
- water meter installations
- pressure boosting and pump approvals
- changes to an existing service or asset, e.g. relocating or moving an asset.

Sydney Water's [Tap in™](#) online service is available at:

<https://www.sydneywater.com.au/SW/plumbing-building-developing/building/sydney-water-tap-in/index.htm>

Sydney Water recommends developers apply for Building Plan approval early as in some instances the initial assessment will identify that an Out of Scope Building Plan Approval will be required.

Sydney Water Corporation ABN 49 776 225 038

1 Smith Street, Parramatta, NSW 2150 | PO Box 399, Parramatta, NSW 2124

Telephone 13 20 92 Media (24/7) 8849 5151 sydneywater.com.au



Out of Scope Building Plan Approval

Sydney Water will need to undertake a detailed review of building plans:

1. That affect or are likely to affect any of the following:
 - Wastewater pipes larger than 300mm in size
 - Pressure wastewater pipes
 - Drinking water or recycled water pipes
 - Our property boundary
 - An easement in our favour
 - Stormwater infrastructure within 10m of the property boundary.
2. Where the building plan includes:
 - Construction of a retaining wall over, or within the zone of influence of our assets
 - Excavation of a basement or building over, or adjacent to, one of our assets
 - Dewatering – removing water from solid material or soil.

The detailed review is to ensure that:

- our assets will not be damaged during, or because of the construction of the development
- we can access our assets for operation and maintenance
- your building will be protected if we need to work on our assets in the future.

The developer will be required to pay Sydney Water for the costs associated with the detailed review.

Tree Planting

Certain tree species placed in close proximity to Sydney Water's underground assets have the potential to inflict damage through invasive root penetration and soil destabilisation. Sydney Water requires that all proposed or removed trees and vegetation included within the proposal adhere to the specifications and requirements within Section 46 of the Sydney Water Act (1994) and *Diagram 5 – Planting Trees* within our [Technical guidelines – Building over and adjacent to pipe assets](#). Please note these guidelines include more examples of potential activities impacting our assets which may also apply to your development.

If any tree planting proposed breaches our policy, Sydney Water may need to issue an order to remove every tree breaching the act, or directly remove every tree breaching the Act and bill the developer or Council for their removal.

Sydney Water Corporation ABN 49 776 225 038

1 Smith Street, Parramatta, NSW 2150 | PO Box 399, Parramatta, NSW 2124

Telephone 13 20 92 Media (24/7) 8849 5151 sydneywater.com.au



Sydney Water Development Application Information Sheet for Proponent

Sydney Water has provided advice to the Department/Council on your proposed development. Further steps are required before Sydney Water connections and final approvals can be granted. Without relevant Sydney Water approval, your Subdivision Certificate or Occupation Certificate, Construction Certificate, may not be issued. Please read the information below to assist with your development. Further information can also be found on our website (sydneywater.com.au).

Building Plan Approval

Why have I been advised a Building Plan Approval?

Demolition, excavation, construction or modification to existing buildings and structures all have the potential to damage or limit access to our water, wastewater or stormwater services. That's why we need to review and approve your building plans before you start any work. In many cases, you need a Building Plan Approval before council can allow you to start demolishing or constructing.

How do I apply for a Building Plan Approval?

The approved plans must be submitted to the Sydney Water [Tap in®](#) online service to determine whether the development will affect any Sydney Water wastewater, water, stormwater mains and/or easement, and if further requirements need to be met.

Sydney Water recommends you apply for Building Plan approval early as in some instances a detailed engineering assessment would be required when building over or near our critical assets. This can be a lengthy process and may also impact development designs.

You will be required to pay Sydney Water for the costs associated with any detailed review.

Section 73 Compliance Certificate

Why have I been advised a Section 73 application?

If you are developing or subdividing land and needing water or wastewater, you may need to apply for a Section 73 Compliance Certificate before council can issue an Occupation or Subdivision Certificate.

If we have noted a requirement for a Section 73 Compliance Certificate in our advice to Council, one must be obtained from Sydney Water under the *Sydney Water Act 1994*. These include secondary homes or granny flats in an area with Priority Sewerage Scheme or with a GFA greater than 60 m².

How do I apply for a Section 73 Compliance Certificate?

You can choose to use a water servicing coordinator for works of any size. If you only have minor works, you can apply directly through Sydney Water Developer Direct.

We suggest you lodge an early application for the certificate, as there may be additional connections or pipes to be built or additional steps to protect our existing assets. This can also impact other services, buildings, driveways, or landscape designs.

Feasibility

Why have I been advised to carry out a Feasibility enquiry?

If the development presents potentially large water servicing demands on drinking water, wastewater, recycled water and stormwater where applicable or asset impacts are anticipated, further investigation may be required to determine the servicing requirements for the site.

It is recommended that a Water Servicing Coordinator is engaged to ensure early discussion on your proposed development so it is considered in any potential planning that we might be undertaking. We advise you do this as soon as possible to prevent potential delays to your development approvals or servicing.

How do I apply for a Feasibility?

To apply for a Feasibility, you will need to contact a Water Servicing Coordinator. Tell them you have been advised to lodge a Feasibility as part of your development application.

Growth Data Form

Why do I need to complete a Growth Data Form as part of the Feasibility application?

If you have been requested to provide growth data, it is likely your planning proposal may lead to development with significant servicing needs, especially in areas not previously identified for substantial growth. To ensure thorough servicing advice and explore staged servicing options, we need anticipated growth data and indicative development staging, including yield per stage, as specified in the Growth Data Form in Appendix 1 of this information sheet.

Infrastructure Contributions

What are infrastructure contributions?

Infrastructure contributions are a payment towards the cost of infrastructure needed to provide water-related services to new developments. The contributions are set to be reintroduced by Sydney Water from 1 July 2024 followed a decision by the NSW Government.

Please note existing charges still apply for the recycled water schemes provided by Sydney Water.

How do infrastructure contributions impact me?

Infrastructure contributions for drinking water and wastewater will be payable for all developments that require a Section 73 Compliance Certificate to be issued from 1 July 2024 onwards. The contributions will be gradually reintroduced such that they will be capped at 25 percent in 2024-25 and 50 percent in 2025-26, with full contributions payable from 1 July 2026 onwards, in line with a transition plan approved by the NSW Government.

You can find more information on the reintroduction of drinking water and wastewater contributions at [Infrastructure contributions | Sydney Water Talk](#).

I am building in the Western Sydney Aerotropolis Precincts. How does this impact me?

The NSW Government has appointed Sydney Water as the Regional Stormwater Authority in the initial Western Sydney Aerotropolis precincts, including the Mamre Road Precinct.

If you are building in the Aerotropolis Initial Precincts, you will be required to pay infrastructure contributions towards Sydney Water's stormwater and recycled water servicing. The estimated amount of contributions for stormwater and recycled water servicing will be provided at the Notice of Requirements issued during the Section 73 application.

You can find more information on Mamre Road and Aerotropolis Infrastructure Contributions at [Mamre Road and Aerotropolis development](#).

Water Servicing Coordinator

What is a Water Servicing Coordinator?

Water Servicing Coordinators are accredited providers who can manage your Sydney Water applications for you.

They can design new pipes, manage applications for Section 73 Compliance Certificates and Feasibilities, applications for approval to move or extend our pipes, design and construction of new pipes, and applications for approval to build over or next to assets.

All Water Servicing Coordinators have designer accreditation and can provide design services.

How do I find a Water Servicing Coordinator?

Please follow this link to find a list of Water Servicing Coordinators: [Water servicing coordinators](#)

Quick Links

[Building plan approvals](#)

[Section 73 Compliance Certificates](#)

[Steps for first time developers](#)

[Water servicing coordinators](#)

[Infrastructure contributions | Sydney Water Talk](#)

[Managing trade wastewater](#)

[Growth Servicing Plan](#)

[Mamre Road and Aerotropolis development](#)

Trade wastewater for business customers

I am a business customer and my development may generate commercial or industrial trade wastewater. What do I do?

If your development is going to generate trade wastewater, you must have written approval to connect your business to our network, and properly install and maintain appropriate treatment equipment before any business activities can commence. It is illegal to discharge trade wastewater into the Sydney Water sewerage system without permission.

How to apply for approval to discharge?

Complete an application for connection to discharge trade wastewater at Sydney Water [Tap in@](#) or contact businesscustomers@sydneywater.com.au for further information.



Appendix 1. Example of growth data form

The following is an example of the level of intel that we require to assess the potential staging and phasing of asset upgrades. We acknowledge that this information is an indication only and is provided as a guide to assist SW to provide more nuanced feasibility or servicing advice. We note that timescales are often subject to developer intent/demand and approval timescales. Sydney Water uses the information at its own risk.

Anticipated growth timescales													
Project name:	Address:	Sydney Water Ref. Number and DA Ref Number:											
Development Type	Ultimate growth (additional)	Total # stages	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	Continue as required
Example (dwelling multi)	2050	5	0	0	350	350	500	500	350	0	0	0	
Example (job number)	1600	6	0	200	200	300	300	300	300	0	0	0	
Dwellings (single)													
Dwellings (multi)													
Jobs (number)													
Jobs (GFA)													